# 26 UNIT TOWNHOUSE DEVELOPMENT

## *4560,4570,4580, 208 STREET & 20815, 45A AVENUE, LANGLEY*

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2025-10-2

| NO | DATE | REVISION / ISSUED |
|---|---|---|
| 3 | SEP 10 -24 | REISSUED FOR REZONING & DP |
| 2 | AUG 16 -24 | ISSUED FOR REZONING & DP |
| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
COVER PAGE
INDEX AND
CONTACT LIST

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | N/A | A-1.0 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## CONTEXT MAP


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LANGLEY, BC.

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**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
CONTEXT MAP

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.1 |
| DESIGN: | AA. | |
| DRAWN: | AA. | |
| PROJECT NO: | - | |

N

## AERIAL MAP

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2024-10-21

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PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

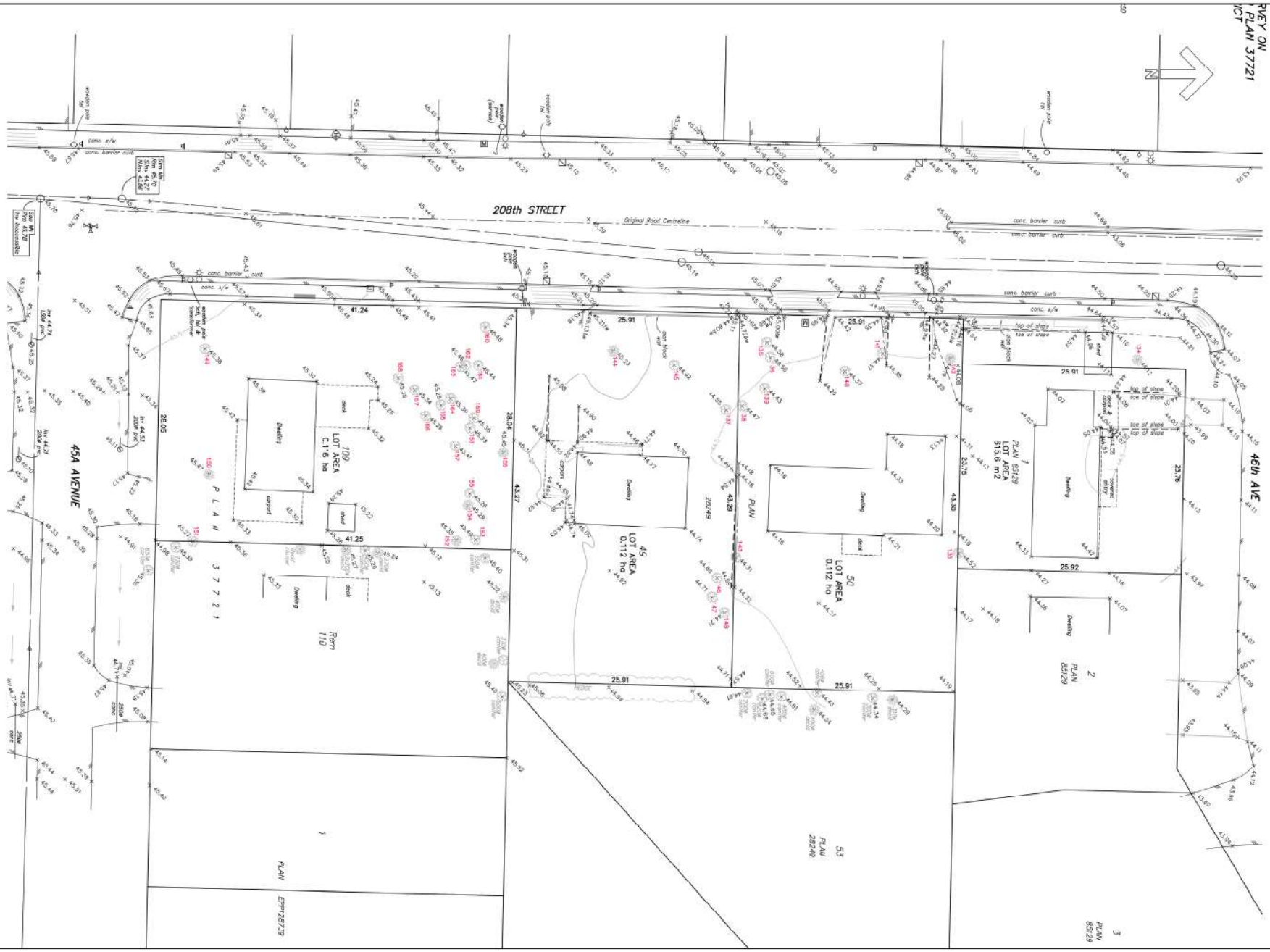
FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

AERIAL MAP AND CONTEXT PHOTOS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.2 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

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2025-10-7

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| 1 | JUL 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20615 - 45A AVENUE,
LANGLEY, BC.

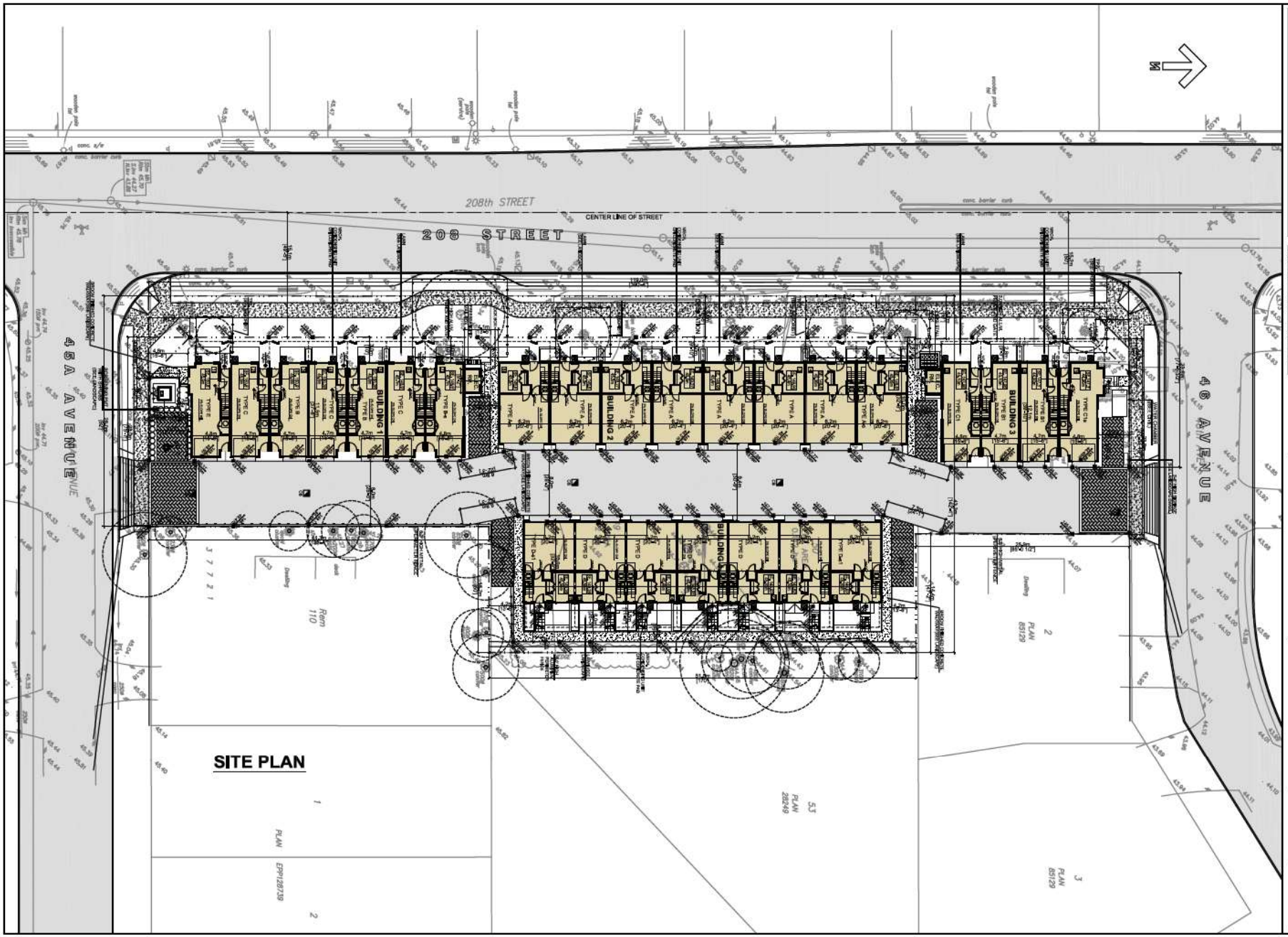
FOR:

**LEONE HOMES INC.**
238 - 13988 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

SURVEY PLAN

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS | A-1.3 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |





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PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

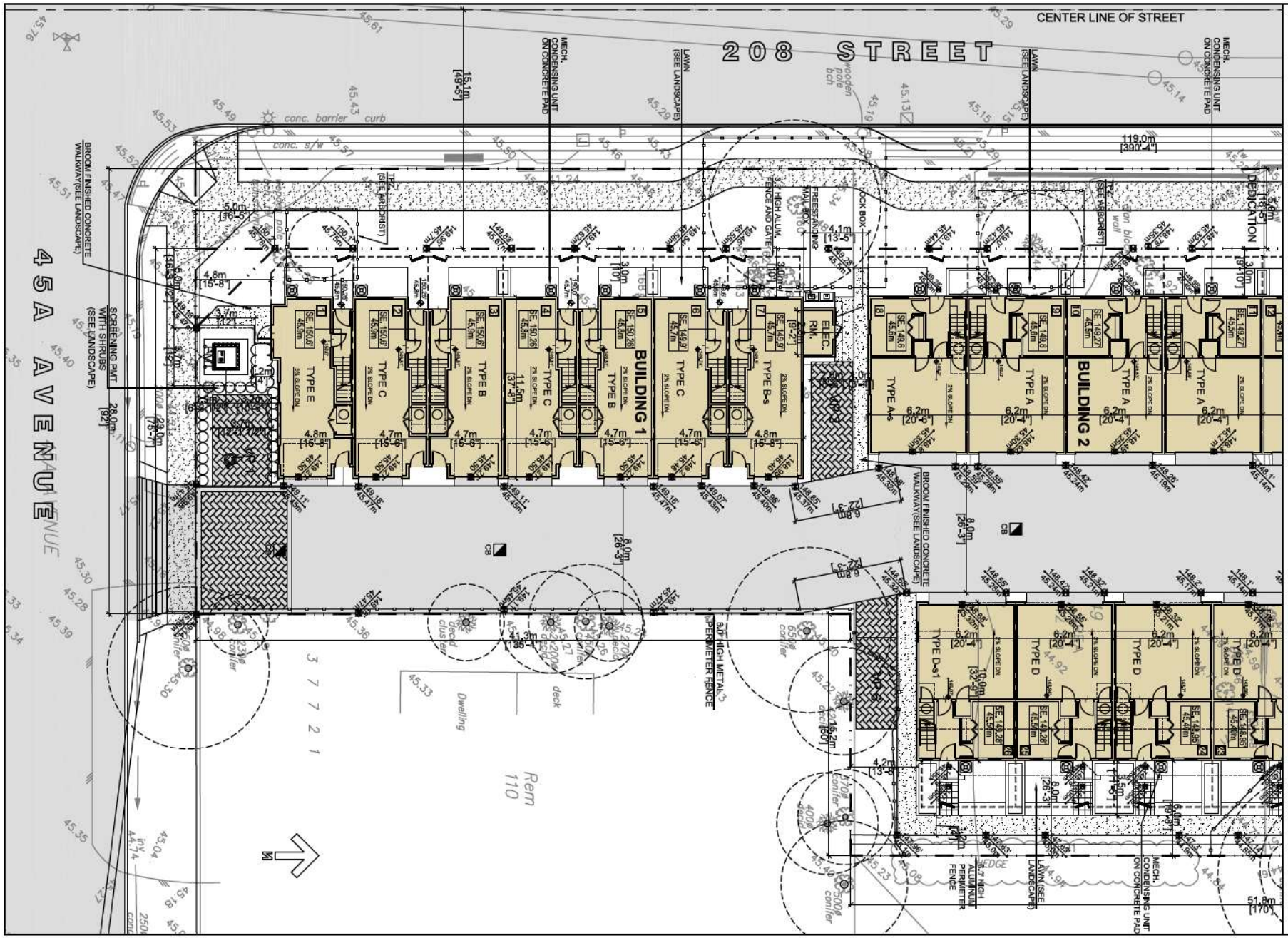
FOR:

**LEONE HOMES INC.**
238 – 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

SITE PLAN

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.4 |
| DESIGN: | AA. | |
| DRAWN: | AA. | |
| PROJECT NO: | - | |

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PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

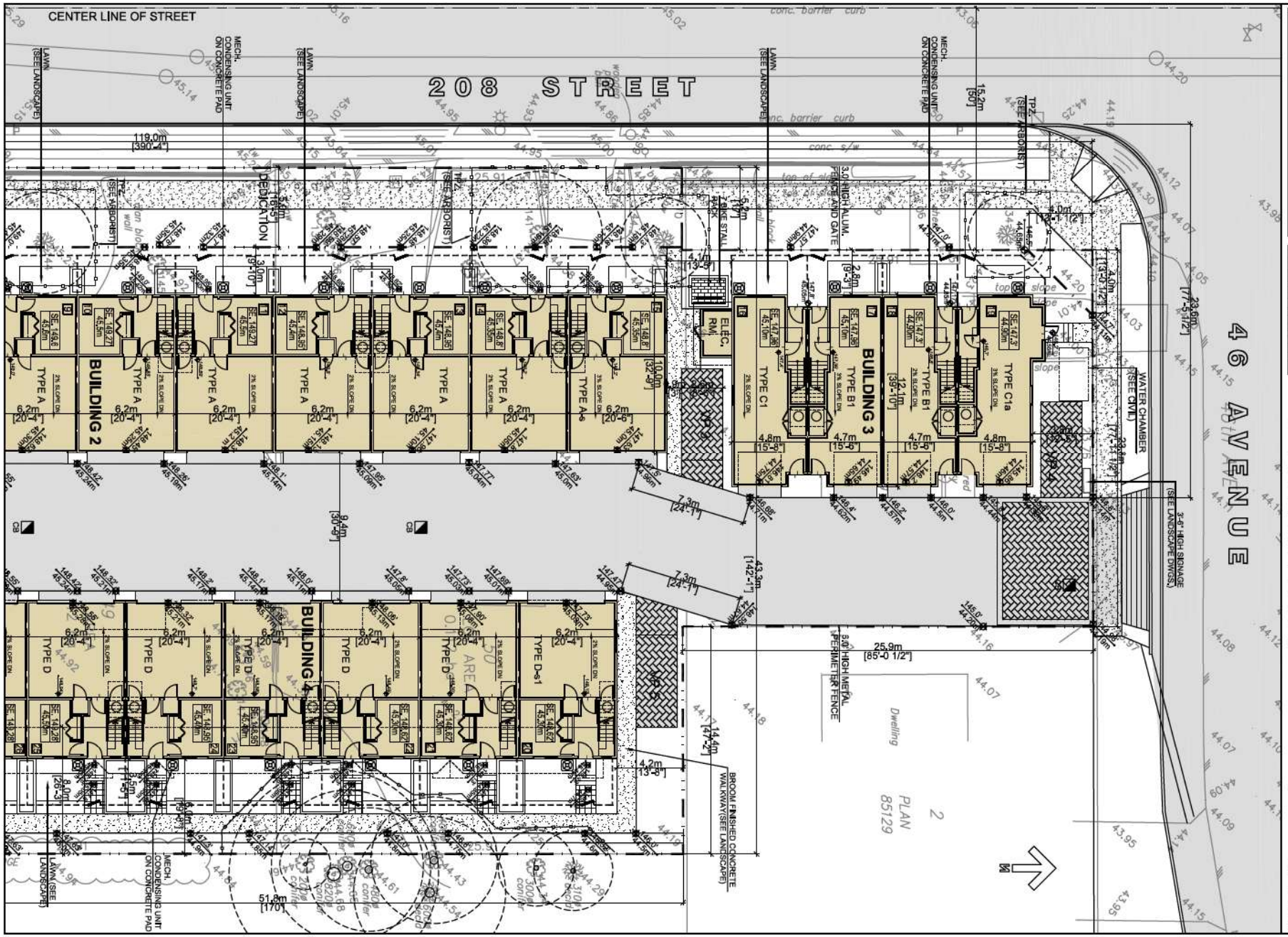
FOR;

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

SITE PLAN - PART 1

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.4a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

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PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

SITE PLAN-PART 2

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.4b |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## STATISTICS :

**CIVIC ADDRESS :**
4560, 4570, 4580, 208 STREET &
20815, 45A AVENUE, LANGLEY, BC.

**LEGAL DESCRIPTION:**
LOT 1, PLAN 85129,
LOTS 49 & 50, PLAN 28249,
LOT 109, PLAN 37721,
SECTION 36, TOWNSHIP 7,
NEW WESTMINSTER DISTRICT

**ZONING :**
EXISTING : RS1
PROPOSED : CD

**SITE AREA :**
BEFORE DEDICATION : 0.40 HA. = 0.99 ACRE
43,164 SQ.FT. = 4,010 m²

AFTER DEDICATION : 37,773 SQ.FT. = 3509 m²
0.35 HA. = 0.86 ACRE

**DEDICATIONS :**
( 5M = 16'-5" DEDICATION ALONG 208 STREET,
4M.X4M. TRIANGLE CORNER CUT AT NORTH-WEST &
5M.X5M. TRIANGLE CORNER CUT AT SOUTH-WEST )

**GROSS FLOOR AREA :**

| | | |
|---|---|---|
| BUILDING 1 | : 12285 SQ.FT. | 1141.2 M² |
| BUILDING 2 | : 15956 SQ.FT. | 1482.3 M² |
| BUILDING 3 | : 7582 SQ.FT. | 704.4 M² |
| BUILDING 4 | : 12910 SQ.FT. | 1199.3 M² |
| TOTAL AREA | : 48733 SQ.FT. = | 4527.2 m² |

**FSR :**
(PRIOR TO ROAD DEDICATION)
ALLOWED : MAX. 1.200
PROVIDED : 48733 / 43164 = 1.13

**FSR :**
(AFTER ROAD DEDICATION)
ALLOWED : MAX. 1.200
PROVIDED : 36601 / 37773 = 0.968

**DENSITY :**
PROVIDED : 26 UNIT / 0.99 ACRE :
30.2 UNIT / ACRE
74.2 UNIT / HA.

**UNIT MIX :**
SIDE BY SIDE CAR UNITS : 15
(INCLUDING 7 UNITS WITH 2-1/2 STOREY)
TANDEM UNITS : 11
TOTAL NO. OF UNITS : 26

**SITE COVERAGE :**
ALLOWED : MAX 45%
PROPOSED : 43.6%
(1582 SQM.)

**PARKING :**
2 / UNIT : 52
VISITORS
REQUIRED : 0.2 TOTAL UNITS
0.2 X 26 = 5.2
PROVIDED : 6 (INCLUDING 1 ACCESSIBLE)

VISITOR BIKE RACK : 6

**SITE SETBACKS :**
REQUIRED & PROVIDED :

NORTH : 3.0 M. (10.0')
WEST : 3.0 M. (10.0')
SOUTH : 3.0 M. (10.0')
EAST : 6.0M.(FOR 1ST & 2ND FLOORS)
8.0M. (FOR 3RD FLOOR)

**UNIT MIX**

| UNIT TYPE | NO. OF BED RM. | NO. OF UNITS | AREA (INC. GARAGE) (SQ.FT.) | AREA (EXC. GARAGE) (SQ.FT.) | TOTAL AREA (INC. GARAGE) (SQ.FT.) | TOTAL AREA (EXC. GARAGE) (SQ.FT.) |
|---|---|---|---|---|---|---|
| A | 4 | 6 | 1967 | 1555 | 11802 | 9330 |
| A-s | 4 | 2 | 2076 | 1664 | 4152 | 3328 |
| B | 3 | 2 | 1752 | 1294 | 3504 | 2588 |
| B1 | 3 | 2 | 1841 | 1352 | 3682 | 2704 |
| B-s | 3 | 1 | 1823 | 1359 | 1823 | 1359 |
| C | 3 | 3 | 1709 | 1251 | 5127 | 3753 |
| C1 | 3 | 1 | 1935 | 1439 | 1935 | 1439 |
| C1a | 3 | 1 | 1964 | 1439 | 1964 | 1439 |
| D | 4 | 5 | 1835 | 1423 | 9175 | 7115 |
| D-s1 | 4 | 2 | 1862 | 1450 | 3724 | 2900 |
| E | 3 | 1 | 1845 | 1368 | 1845 | 1368 |
| TOTAL | | 26 | | | 48733 | 37323 |

## CODE ANALYSIS

### 1.0 PROJECT DESCRIPTION

The proposed development is planned for a site bounded by 208 Street on the west, 45A Avenue on the south and 46 Avenue on the north. The project will consist of 4 buildings containing :

- Building 1 : 7 units with two tandem parking garage
- Building 2 : 8 units with two side by side parking garage
- Building 3 : 4 units with two tandem parking garage
- Building 4 : 7 units with two side by side parking garage

### 2.0 BUILDING CLASSIFICATION

This project may be considered under part 9 of the 2024 BCBC. Since all four buildings are within 600 m² maximum building area and 3 storey height limit allowed under part 9.
The buildings have the characteristics shown in the following table :

**CODE CLASSIFICATION SUMMARY**

| Building | Building area (m²) | No. of Soreys | Occupancy | Classification |
|---|---|---|---|---|
| 1 | 388 | 3 | C | Table 9.10.8.1 |
| 2 | 516 | 3 | C | Table 9.10.8.1 |
| 3 | 247 | 3 | C | Table 9.10.8.1 |
| 4 | 438 | 3 | C | Table 9.10.8.1 |

### 2.1 Building Classification Details

2.1.1. There are no storeys below ground
2.1.2. Storeys above ground (see 4.0 "Fire Separation")

- *Combustible construction is allowed (Table 9.10.8.1)*
- *Floor assemblies to have min. 45 minute F.R.R. (Table 9.10.8.1)*
- *Roof assemblies to have min. 60 minute F.R.R. (Table 9.10.8.1)*
- *Floor rating not required (Table 9.10.8.1)*

### 3.0 FIRE FIGHTING ACCESS

#### 3.1 Unobstructed path of travel requirements

Part 9 is not specific about the fire department access requirements.
Part 3 is more specific about fire fighters' path of travel and is used as a guide

### 4.0 FIRE SEPARATIONS

Party walls : **1 hour :** 9.10.9.14(3)
Floor within suites are not required to be fire separations or to have a fire resistance rating. Roofs are required to have 1 hr. fire resistance rating

### 5.0 SPATIAL SEPARATIONS AND UNPROTECTED OPENING

Spatial separation and amount of unprotected openings have been reviewed by, for each building on sheets A-3.1 and A-3.2 building elevations.

### 6.0 FIRE ALARM SYSTEM

A fire alarm system is not required for this type of Part 9 residential occupancy where each suite has direct access to an exterior exit door at grade, as per 9.10.18.2.(5)

Article 9.10.1.3.(8) requires sprinklers to be installed according to certain Part 3 requirements.

Sprinkler system shall be designed in conformance with Articles 3.2.5.8 to 3.2.5.11 and 3.2.5.17(which refer only to the sprinkler system and not to fire alarms).Therefore no fire alarm system will be provided.

### 7.0 SPRINKLER SYSTEM

The project will be sprinklered

### 8.0 EGRESS

Egress from suites conforms to Sentence 9.9.9.1.(2)

### 9.0 REQUIREMENTS FOR PERSONS WITH DISABILITIES

The buildings are not required to be accessible.


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20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
STATISTICS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | N/A | A-1.5 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

**F. ADAB ARCHITECTS INC.**

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| NO. | DATE | REVISION / ISSUED |
|---|---|---|
| 3 | SEP 10-24 | REISSUED FOR REZONING & DP |
| 2 | AUG 16-24 | ISSUED FOR REZONING & DP |
| 1 | JUL. 02-24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

BUILDING 2
PERSPECTIVE VIEW
FROM 208 STREET

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.6 |
| DESIGN: | AA. | |
| DRAWN: | AA. | |
| PROJECT NO: | - | |

**BUILDING 3**
**NORTH ELEVATION**

**BUILDING 1**
**WEST ELEVATION**


**F. ADAB ARCHITECTS INC.**

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| 1 | JUL. 02-24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDINGS 1 AND 3
COLORED ELEVATIONS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.7 |
| DESIGN: | AA. | |
| DRAWN: | AA. | |
| PROJECT NO: | - | |

**BUILDING 3**
**WEST ELEVATION**

**BUILDING 4**
**WEST ELEVATION**


**F. ADAB ARCHITECTS INC.**

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PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDINGS 3 AND 4
COLORED ELEVATIONS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-1.8 |
| DESIGN: | AA. | |
| DRAWN: | AA. | |
| PROJECT NO: | - | |

# Design Rationale

20815, 45A Avenue, Langley, BC.

## Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 26-unit townhome development at 20815, 45A Avenue & 4560, 4570, 4580 - 208 Street, Langley.

The project consists of 19 four-bedroom and 7 three-bedroom units. The four bedroom units have side-by-side garages and three bedroom units have tandem parking.

The areas of each unit are specified in the unit mix schedule and are all family oriented accommodations.

## Site Characteristics, History, and Context

This development proposal would occupy four single family lots facing 208 Street to the west, 45A Avenue to the south, and 46 Avenue to the north.

There is a 5.0-meter dedication along 208 Street. There is also a 4.0m x 4.0m corner cut on the north-west and a 5.0m x 5.0m corner cut on the south-west.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of four building blocks.

The buildings follow the existing grade elevations and responds to natural topography of the site.

## Zoning, Orientation

The building orientation responds to the size and shape of the site. 19 units are facing 208 Street and have pedestrian access off this street. One unit has a presence on 208 Street and 45A Avenue. Similarly, the end unit to the north has a presence on 46 Avenue as well as on 208 Street.

Low aluminum fences and gates are introduced along the street providing a safe and pleasant pedestrian route to the entries of the units.

Vehicular access is provided through an eight-meter internal road running from 45A Avenue to 46 Avenue.

## Massing, Form, and Character

The building design is influenced by Georgian style architecture and along with the finishing materials stands out differently from the other townhouse developments in the City of Langley.

Architectural articulations and decorative character introduce a harmonized linear form with a simple combination of Georgian style and West Coast character.

Entries are identifiable with individual gables and brackets.

The height and massing are reduced on Building 4 facing east neighbouring properties. By cutting the building back a introducing a mid roof the building gives an impression of a 2-1/2 storey on the east side.

Articulations and variations in window sizes enrich the style and character of the design and help defining the Georgian style.


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| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
DESIGN RATIONALE
SITE, ZONING, ORIENTATION, MASSING,FORM AND CHARACTER

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | N/A | A-1.9 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## *Livability, Energy Saving and Green Measures*

***The site is located in proximity to public amenities and transportation network.***

***Below are the public amenities that are within walking distance of the site:***

1- 9 minutes walk to Town + Field Church
2- 12 minutes walk to City Park
3- 15 minutes walk to the Stafford Middle School
4- 8 minutes walk to Iris Mooney Park
5- 8 minutes walk to Upland Elementary School
6- 11 minutes walk to Upland Park
7- 25 minutes walk to Brookswood Secondary School

***Many green building strategies have been incorporated into the project design including the following items:***

- The building envelope, glazing, and mechanical system are designed to meet the step 3 code requirements, Comply with the 2024 code and in compliance with ASHRAE 90, 2010
- Low emission adhesives paint and flooring will be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used minimizing the use of potable water
- All units have private patios at grade and decks on the 2nd floor contributing to the livability of the units and creating a family oriented environment
- The water consumption strategy will be used through the use of an alternate solution for the sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- The mechanical system is equipped with a heat pump system providing both cool and hot air. Also a heat recovery system 'HRV" will be provided for recycling the heat energy.
- All garages are equipped with electric chargers.


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PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C, V6V 2K3

DRAWING TITLE:
DESIGN RATIONALE
LIVABILITY, ENERGY SAVING
AND GREEN MEASURES

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | N/A | A-1.10 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## *Crime Prevention Through Environmental Design. "CPTED"*

The rationale behind the CPTED strategy takes into account standard measures as well as items specifically related to this proposal. These provisions are aimed to enhance safety and strengthen the perception of security.

The firm of AMR SYSTEMS LTD. is hired to study the CPTED strategy for the site and their study and report has been reviewed by the architect and the landscape designer and their recommendation are incorporated in the design.

***The proposed CPTED measure falls into the following categories:***

*Provision of identifiable territoriality*
*Provision of natural surveillance*
*Defining the hierarchy of space*
*Provision of access and perimeter control*

- The windows and balconies along 208 Street, 45A Avenue and 46 Avenue, ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the townhouse entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by a photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The Access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure resident's control. The Strata Corporation should implement a maintenance manual.


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| 3 | SEP 10-24 | REISSUED FOR REZONING & DP |
| 2 | JUNE 15-21 | ISSUED FOR REZONING & DP |
| 1 | JUL. 02-24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
DESIGN RATIONALE
CPTED

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | N/A | A-1.11 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## *Exterior Finishes and Colour*

The selection of the exterior finishes has been based on the enhanced durability/longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on richer urban elements. Brick is the main finish on base of the buildings. Board & batten is introduced on the projected bays with two contrast colors. Black panels combined with black vinyl windows in order to emphasize on vertical elements on bays. 4" lap siding is also provided with warm beige color between the bays. Natural maple wood is used under the entry gables and brackets.

No vinyl material is introduced on any facades of the buildings.

The colours are selected with emphasis on black brick, black and white board & batten, black panels and windows and the natural maple wood colour in selected areas.

**BUILDING 1 WEST ELEVATION**

## *EXTERIOR FINISH COLOUR SCHEME*

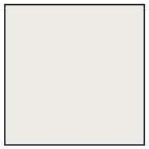
1
**ASPHALT SHINGLE ROOF :**
MOUNTAIN SLATE -
BY IKO ROYAL ESTATE

2
**BRICK**
ONYX IRONSPOT - BY I.X.L.

3
**HARDIE SIDING**
WEATHERED CLIFF-
BY JAMES HARDIE MAGNOLIA COLLECTION

4
**HARDIE PANELS, FASCIAS & TRIMS**
SW 6258 TRICORN BLACK -
BY SHERWIN WILLIAMS (251)

5
**6" TRIMS, BAND BOARDS & BRACKETS -**
NATURAL MAPLE WOOD



6
**HARDIE BOARD & BATTEN :**
SW 7005 PURE WHITE-
BY SHERWIN WILLIAMS

7
**HARDIE BOARD & BATTEN :**
SW 7069 IRON ORE-
BY SHERWIN WILLIAMS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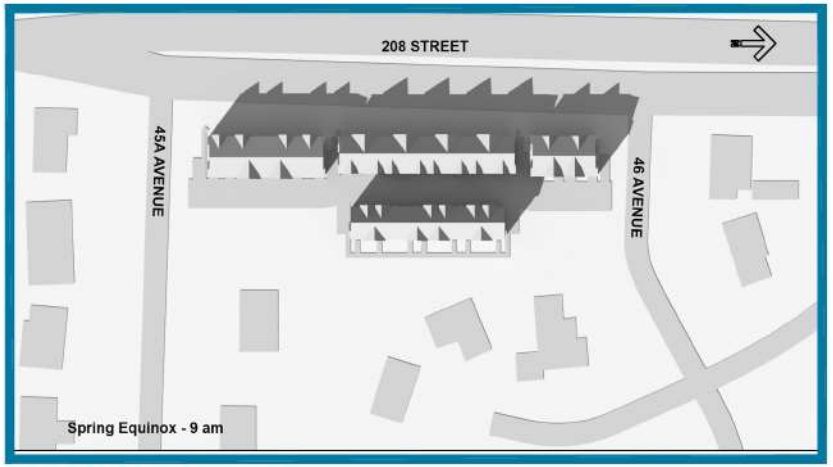
PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

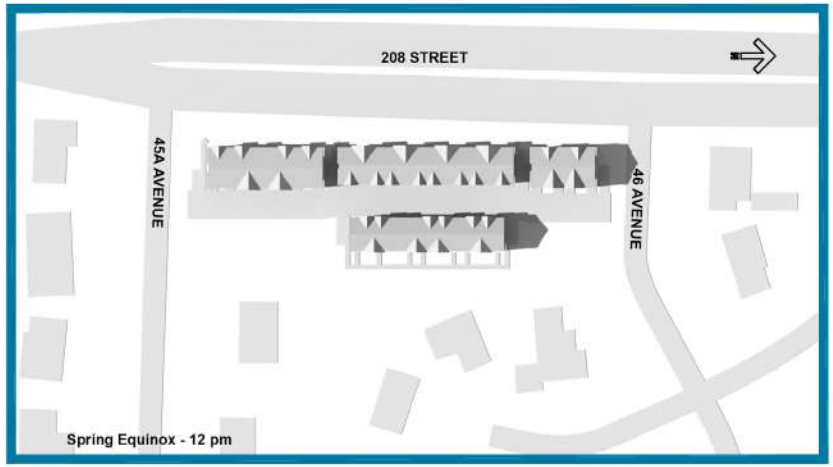
DRAWING TITLE:
EXTERIOR FINISHES

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | N/A | A-1.12 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

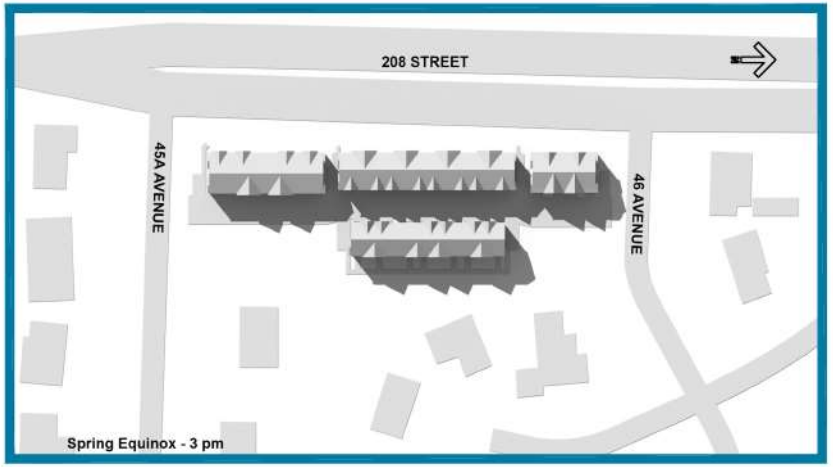
# SHADOW ANALYSIS




MARCH 21 - 9 AM




MARCH 21 - 12 PM




MARCH 21 - 3 PM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| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20816 - 45A AVENUE,
LANGLEY, BC.

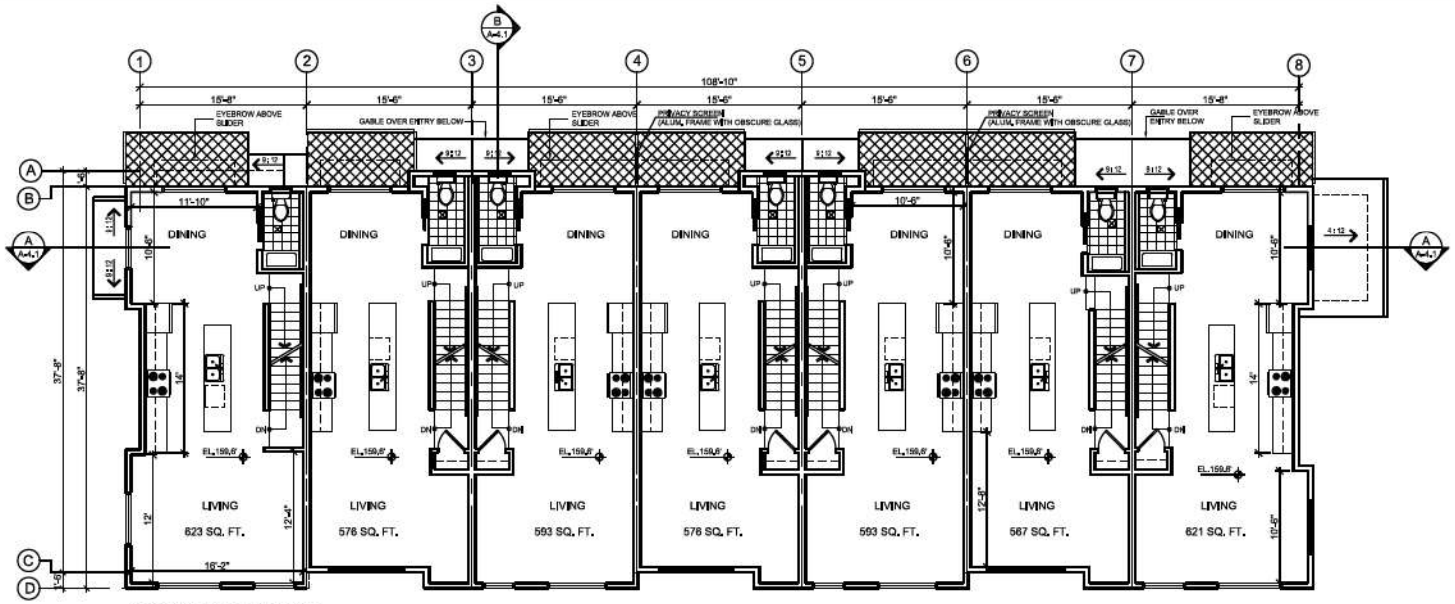
FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

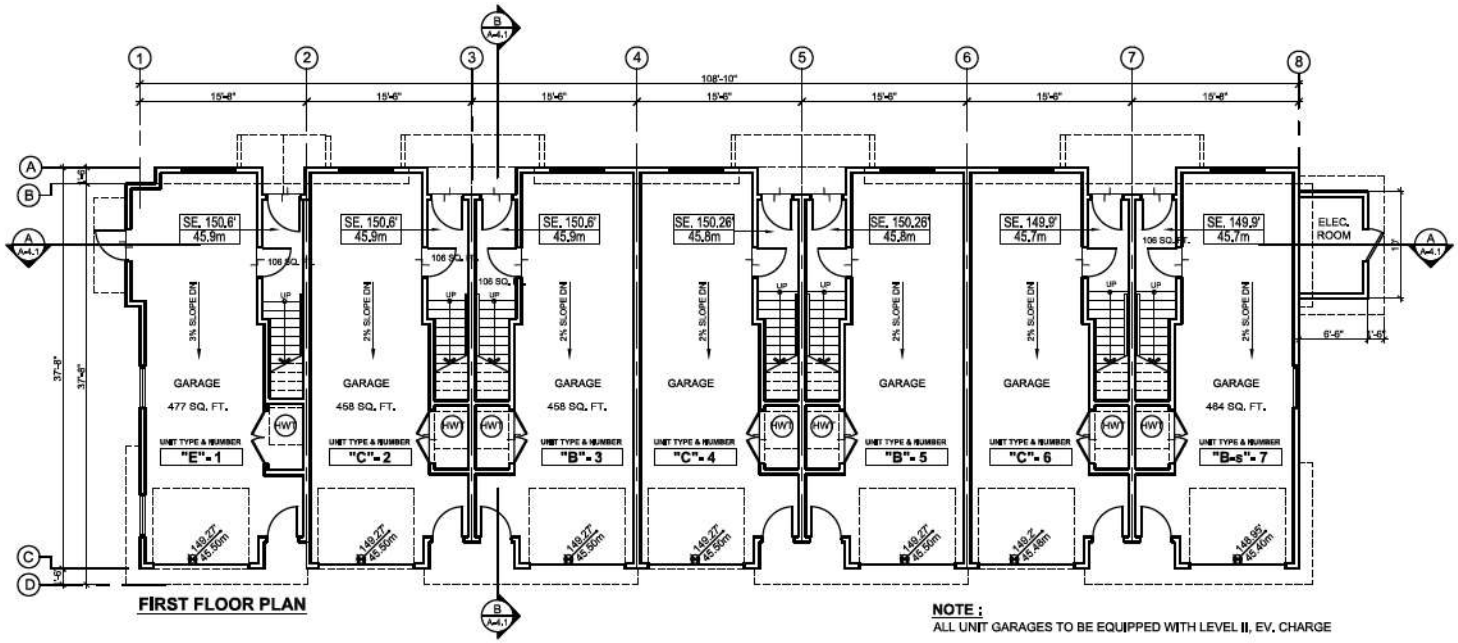
DRAWING TITLE:

SHADOW ANALYSIS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | N/A | A-1.13 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




**SECOND FLOOR PLAN**




**FIRST FLOOR PLAN**

**NOTE :**
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE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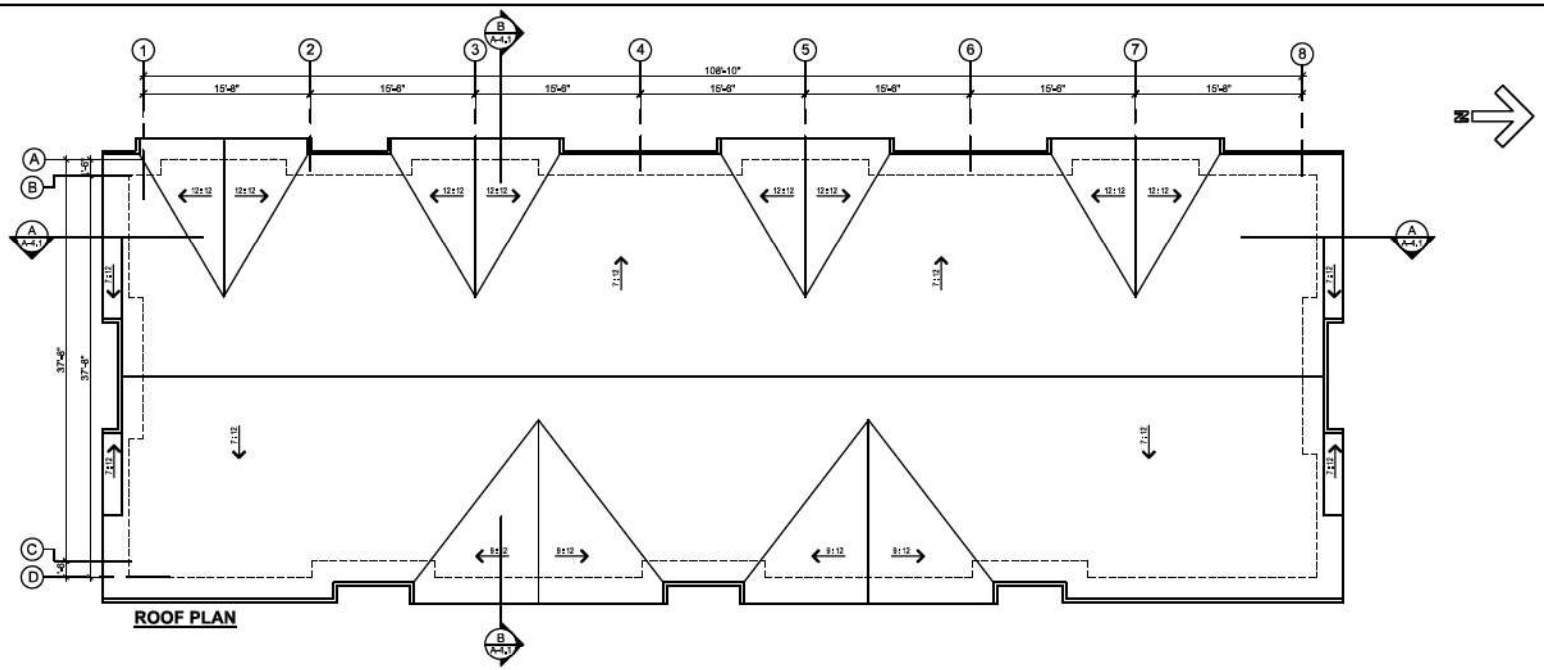
20815 - 45A AVENUE,
LANGLEY, BC.

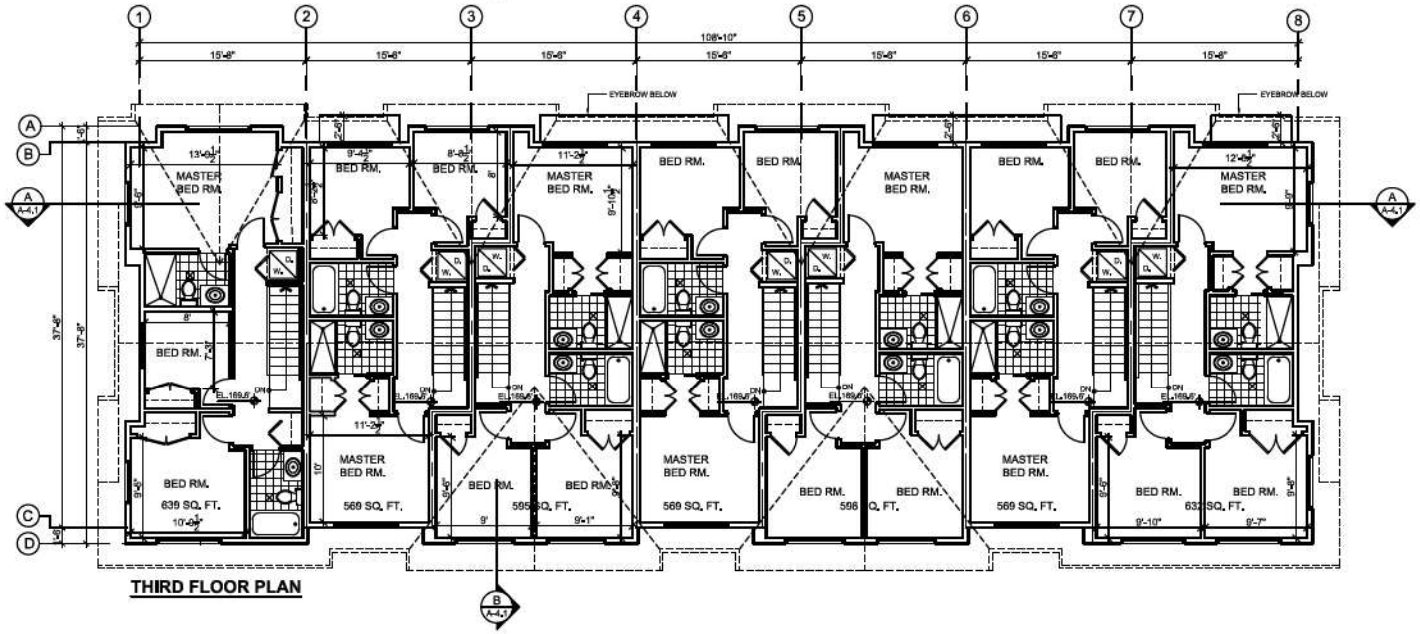
FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 1
FIRST AND SECOND
FLOOR PLANS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-2.1a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




ROOF PLAN




THIRD FLOOR PLAN


**F. ADAB ARCHITECTS INC.**

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PROJECT TITLE:

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20815 - 45A AVENUE,
LANGLEY, BC.

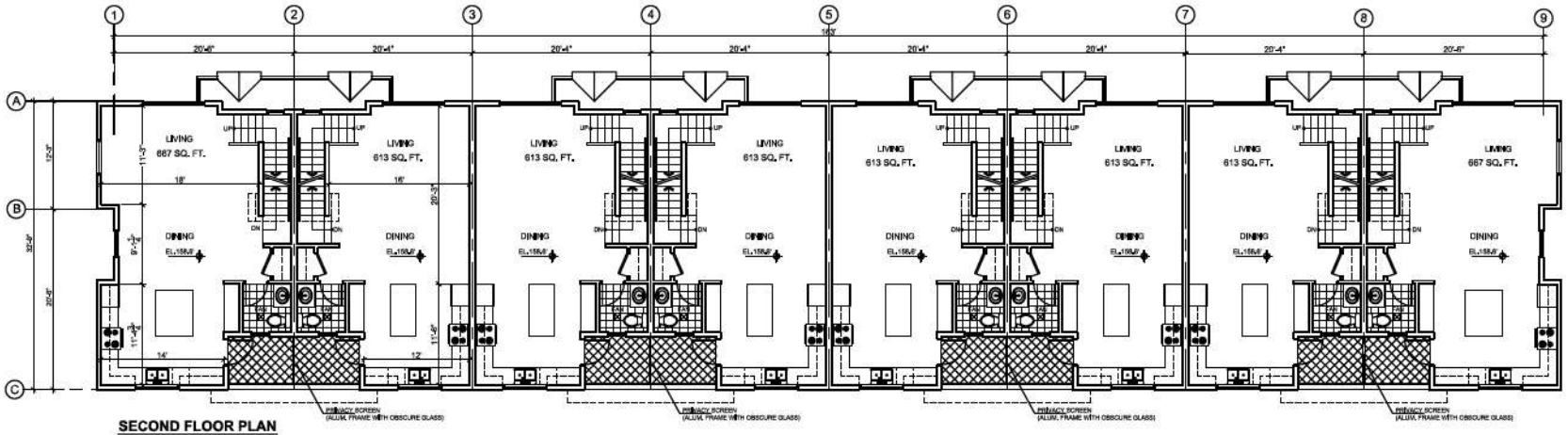
FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

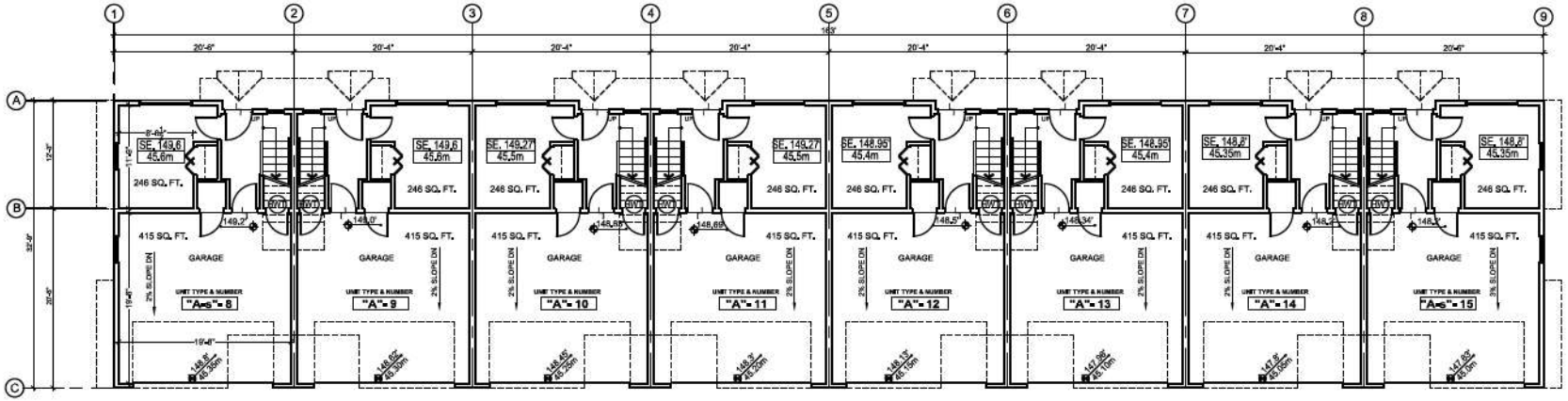
DRAWING TITLE:

BUILDING 1
THIRD FLOOR &
ROOF PLAN

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-2.1b |
| DESIGNE | A.A. | |
| DRAWNE | A.A. | |
| PROJECT NO: | - | |




**SECOND FLOOR PLAN**




**FIRST FLOOR PLAN**

**NOTE :**

ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-0033
E-MAIL: mia@mailjonladab.com



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| NO. | DATE | REVISION / ISSUED |
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| 3 | SEP 10 -24 | REISSUED FOR REZONING & DP |
| 2 | AUG 16 -24 | ISSUED FOR REZONING & DP |
| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

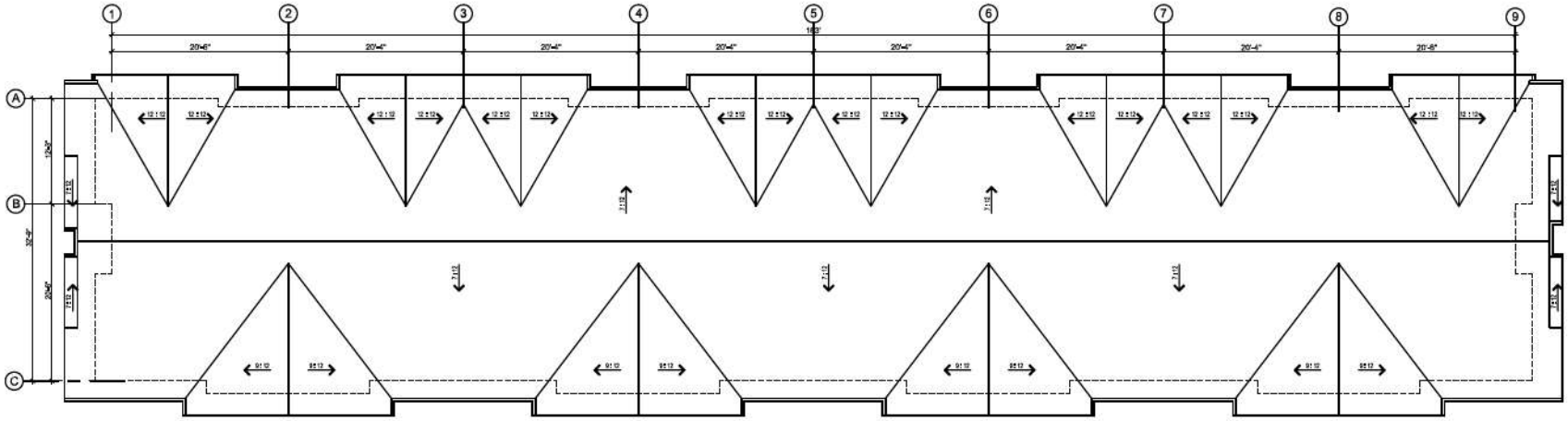
FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

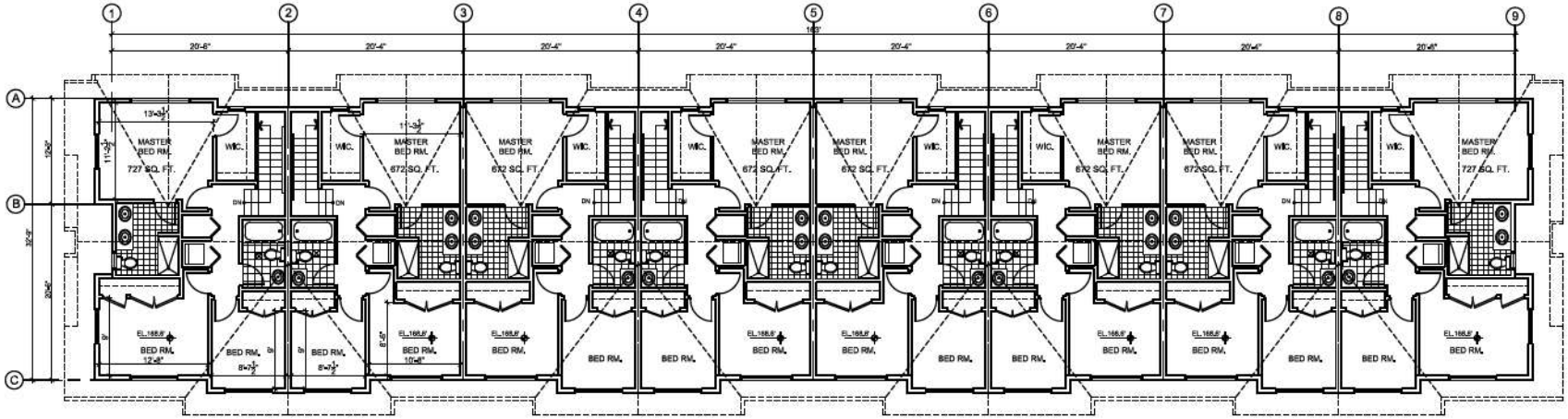
DRAWING TITLE:

BUILDING 2
FIRST & SECOND
FLOOR PLANS

| | | |
|---|---|---|
| DATE: | Sep 2021 | SHEET NO: |
| SCALE: | NTS. | A-2.2a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |



ROOF PLAN




THIRD FLOOR PLAN


**F. ADAB ARCHITECTS INC.**

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E-MAIL: mia@mailgoriladsiv.com



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2024-09-27

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PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

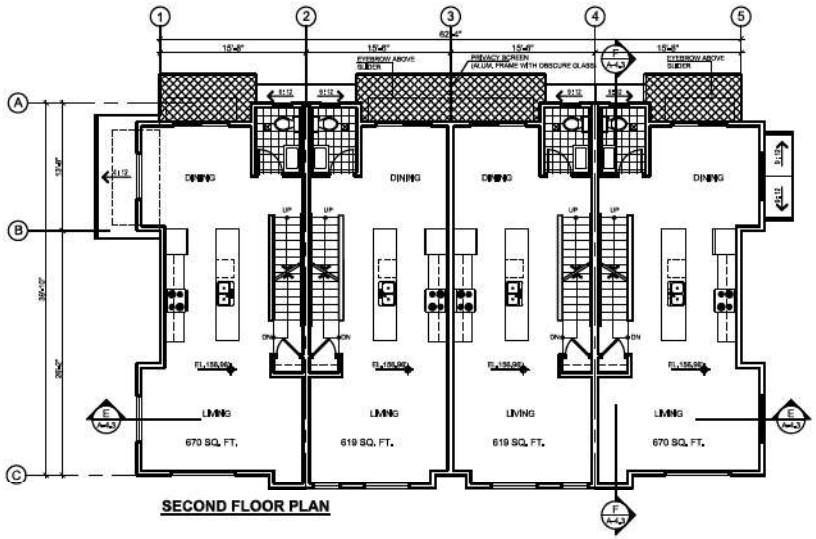
FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

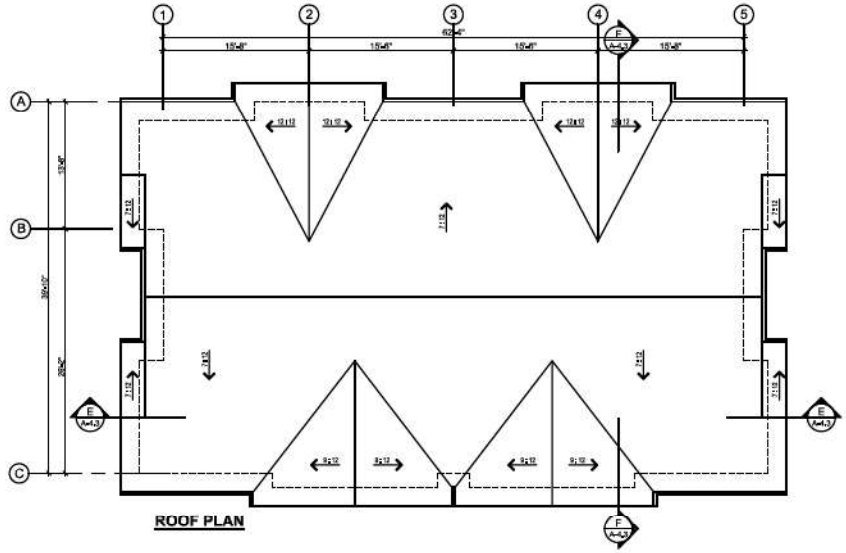
DRAWING TITLE:

BUILDING 2
THIRD FLOOR &
ROOF PLAN

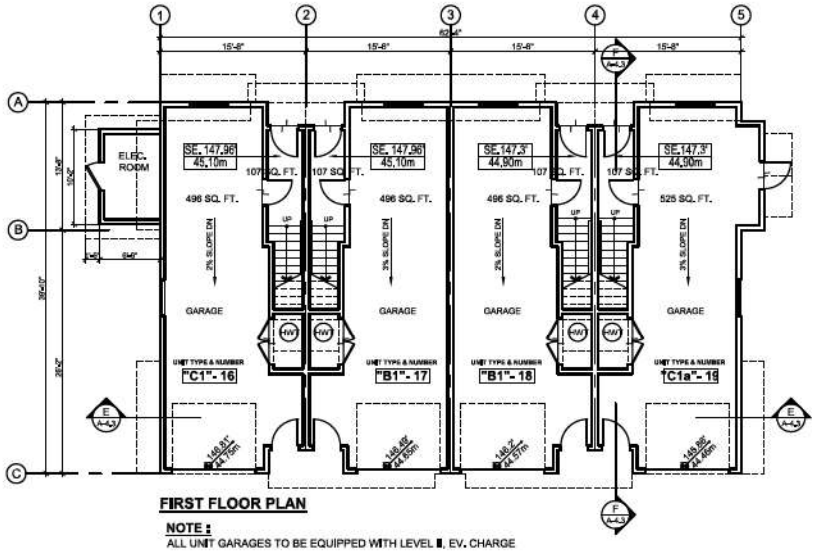
| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-2.2b |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




SECOND FLOOR PLAN

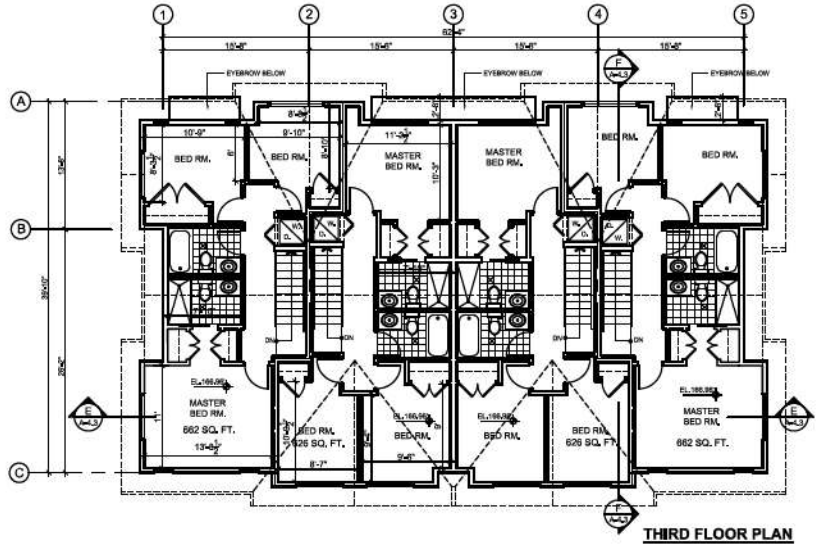


ROOF PLAN




FIRST FLOOR PLAN

**NOTE :**
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE




THIRD FLOOR PLAN


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 985-3033
E-MAIL: info@fadabarchitects.com



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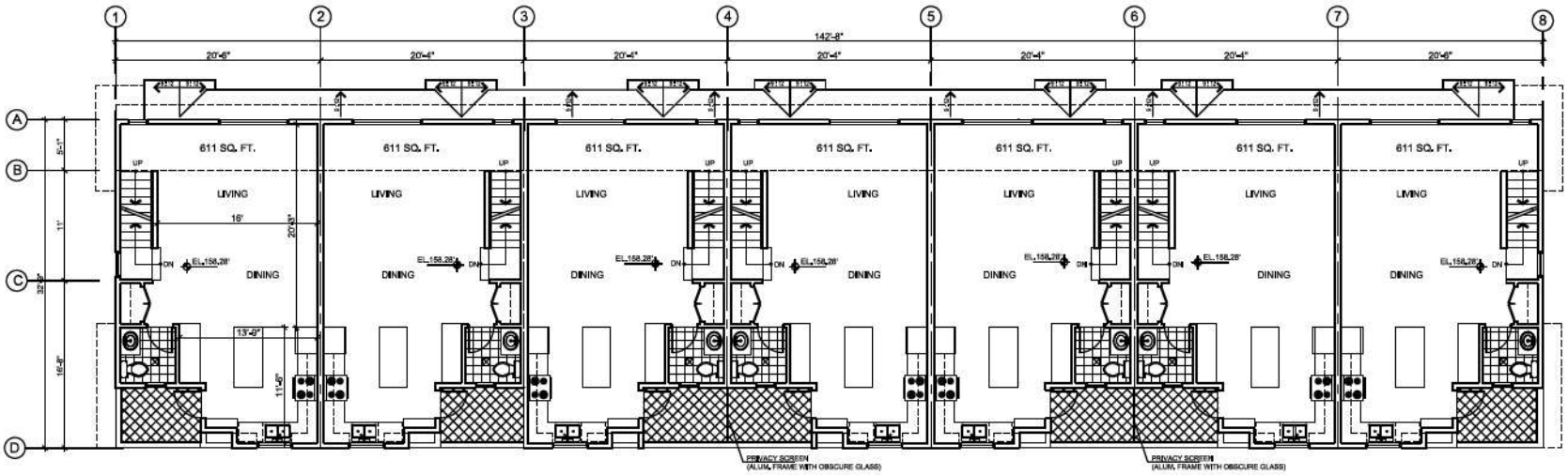
PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

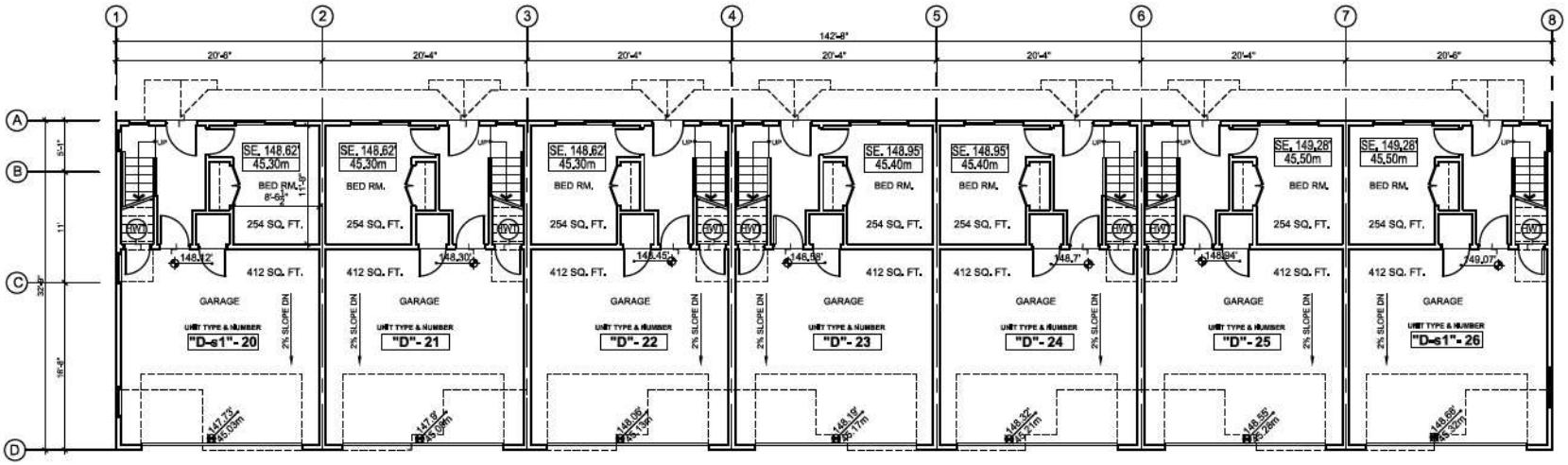
FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 3
FLOOR PLANS

| | | |
|---|---|---|
| DATE: | Sep 2021 | SHEET NO: |
| SCALE: | NTS. | A-2.3 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




## SECOND FLOOR PLAN




## FIRST FLOOR PLAN

**NOTE :**

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**F. ADAB ARCHITECTS INC.**

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2024-10-21

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| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

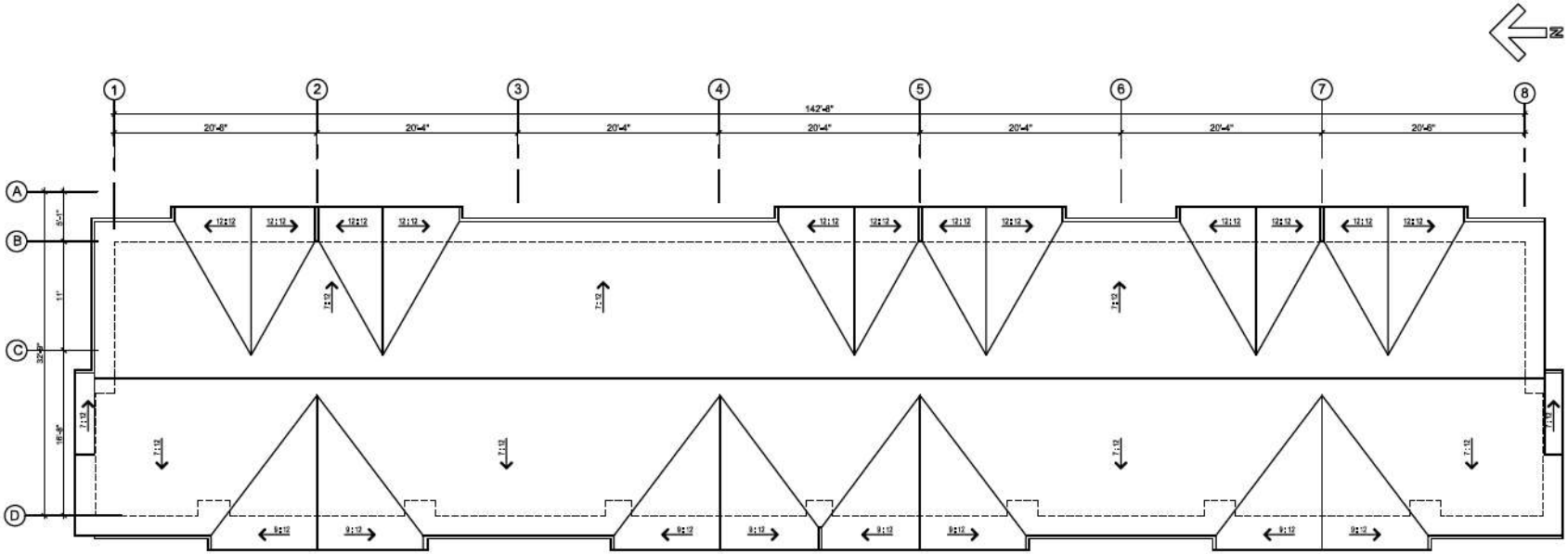
FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

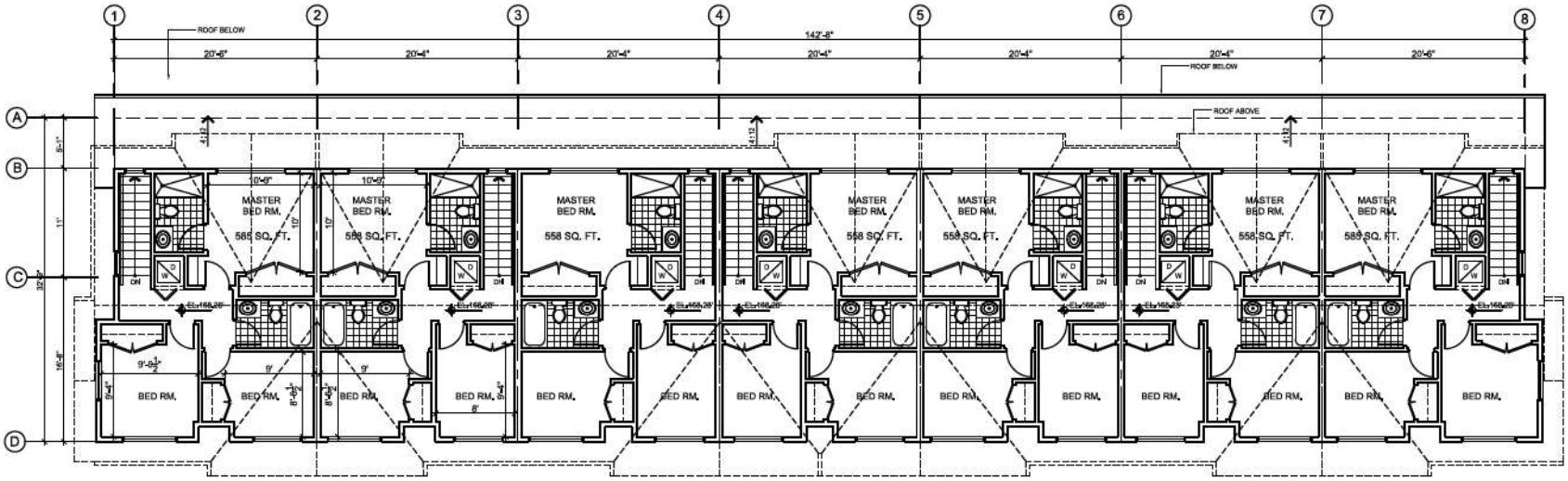
DRAWING TITLE:

BUILDING 4
FIRST & SECOND
FLOOR PLANS

| | | |
|---|---|---|
| DATE: | Sep 2021 | SHEET NO: |
| SCALE: | NTS. | A-2.4a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




ROOF PLAN




THIRD FLOOR PLAN


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
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PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

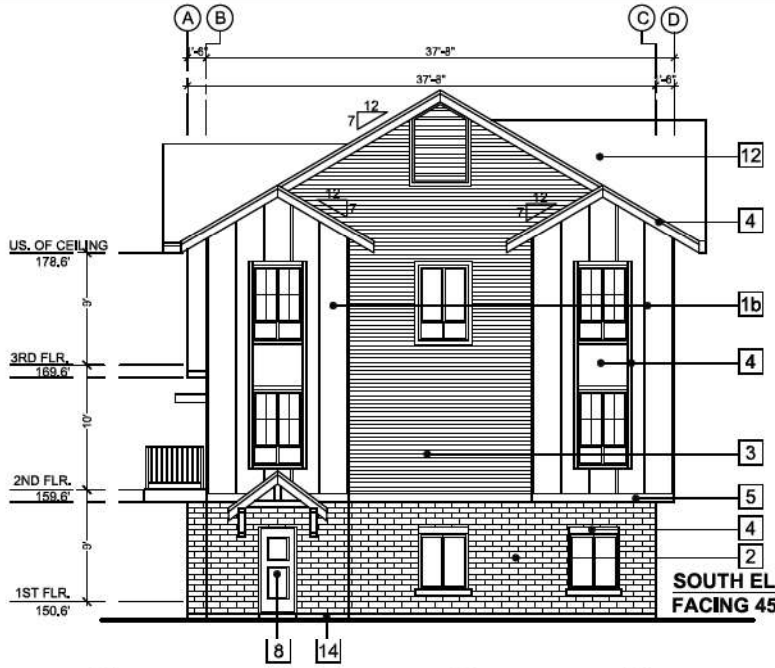
DRAWING TITLE:

BUILDING 4
THIRD FLOOR &
ROOF PLAN

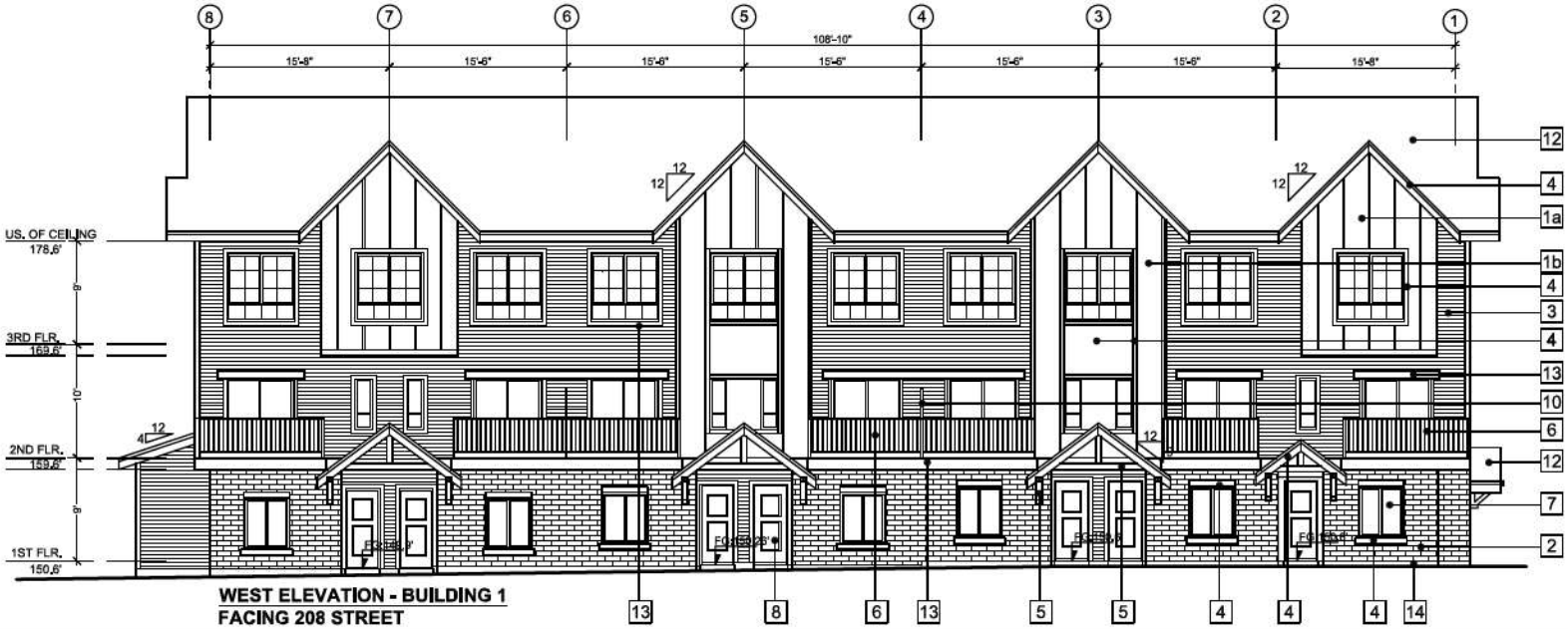
| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-2.4b |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

| | | | |
|---|---|---|---|
| 1a | **HARDIE BOARD & BATTEN :** SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255) | 8 | **ENTRY DOORS & MAN DOORS AT GARAGE** PAINTED WOOD : SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | **HARDIE BOARD & BATTEN :** SW 7089 IRON ORE- BY SHERWIN WILLIAMS (251) | 9 | **GARAGE DOORS** - SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS |
| 2 | **BRICK** ONYX IRONSPOT(SMOOTH) - BY L.X.L. (BLACK MORTAR) | 10 | **PRIVACY SCREEN** - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED) |
| 3 | **HARDIE SIDING** WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME | 11 | **SOFFITS** VINYL - BLACK |
| 4 | **HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS** SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) | 12 | **ASPHALT SHINGLE ROOF :** MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR) |
| 5 | **6" TRIMS, BAND BOARDS & BRACKETS -** NATURAL STAINED MAPLE WOOD | 13 | **EYEBROWS & TRIMS AT SIDING** SW 7035 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249) |
| 6 | **RAILING** ALUMINUM - BLACK | 14 | **EXPOSED CONCRETE BASE** |
| 7 | **WINDOWS - VENT GRILLS** VINYL -BLACK | | |




**SOUTH ELEVATION - BUILDING 1**
**FACING 45A AVENUE**




**WEST ELEVATION - BUILDING 1**
**FACING 208 STREET**


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3H4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: mfa@mullganfadab.com



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PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

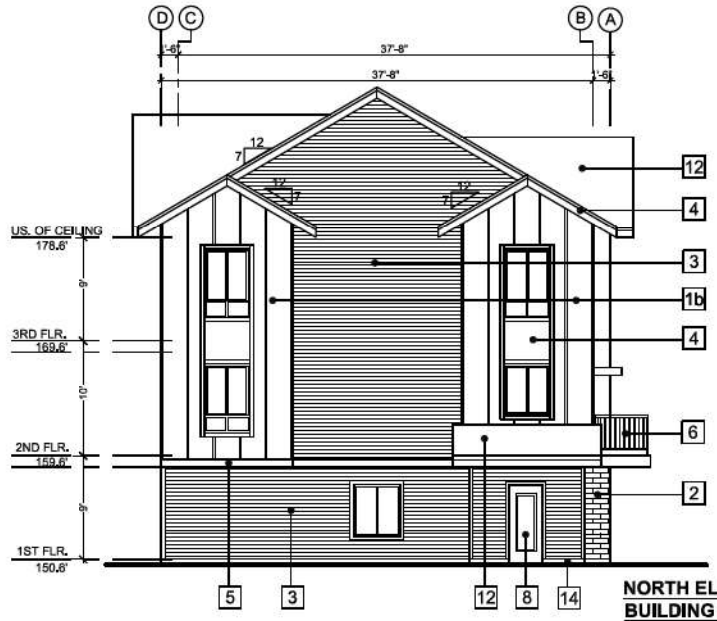
FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 1
WEST AND SOUTH
ELEVATIONS

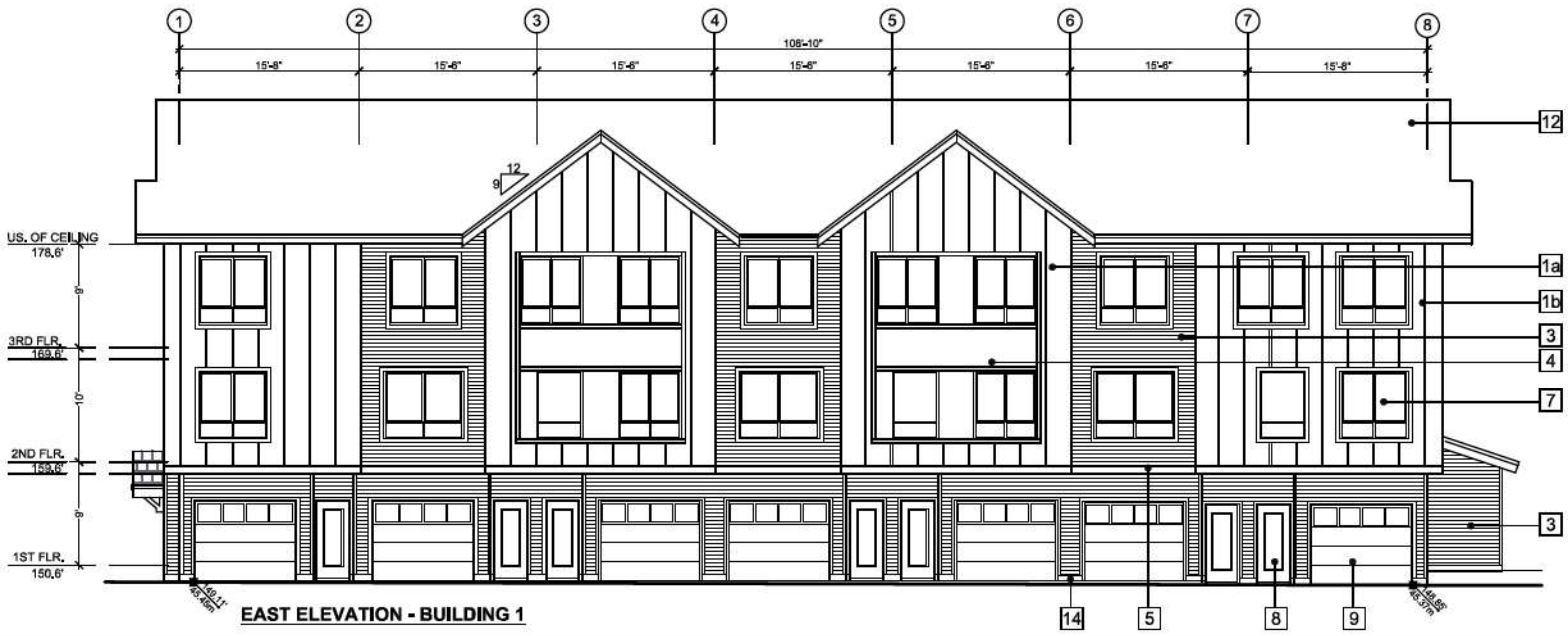
| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-3.1a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

| | | | |
|---|---|---|---|
| 1a | **HARDIE BOARD & BATTEN :** SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255) | 8 | **ENTRY DOORS & MAN DOORS AT GARAGE** PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | **HARDIE BOARD & BATTEN :** SW 7069 IRON ORE- BY SHERWIN WILLIAMS (251) | 9 | **GARAGE DOORS** - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS |
| 2 | **BRICK** ONYX IRONSPOT(SMOOTH) - BY I.X.L. (BLACK MORTAR) | 10 | **PRIVACY SCREEN** - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED) |
| 3 | **HARDIE SIDING** WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME | 11 | **SOFFITS** VINYL - BLACK |
| 4 | **HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS** SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) | 12 | **ASPHALT SHINGLE ROOF :** MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR) |
| 5 | **6" TRIMS, BAND BOARDS & BRACKETS -** NATURAL STAINED MAPLE WOOD | 13 | **EYEBROWS & TRIMS AT SIDING** SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249) |
| 6 | **RAILING** ALUMINUM - BLACK | 14 | **EXPOSED CONCRETE BASE** |
| 7 | **WINDOWS - VENT GRILLS** VINYL -BLACK | | |




**NORTH ELEVATION - BUILDING 1**




**EAST ELEVATION - BUILDING 1**


**F. ADAB ARCHITECTS INC.**

#139-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 985-0020 FAX: (604) 985-0033
E-MAIL: info@mail@fadab.com



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| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

BUILDING 1
NORTH AND EAST
ELEVATIONS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-3.1b |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

| | | | |
|---|---|---|---|
| 1a | HARDIE BOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255) | 8 | ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | HARDIE BOARD & BATTEN : SW 7069 IRON ORE- BY SHERWIN WILLIAMS (251) | 9 | GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS |
| 2 | BRICK ONYX IRONSPOT(SMOOTH) - BY LX.L. (BLACK MORTAR) | 10 | PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED) |
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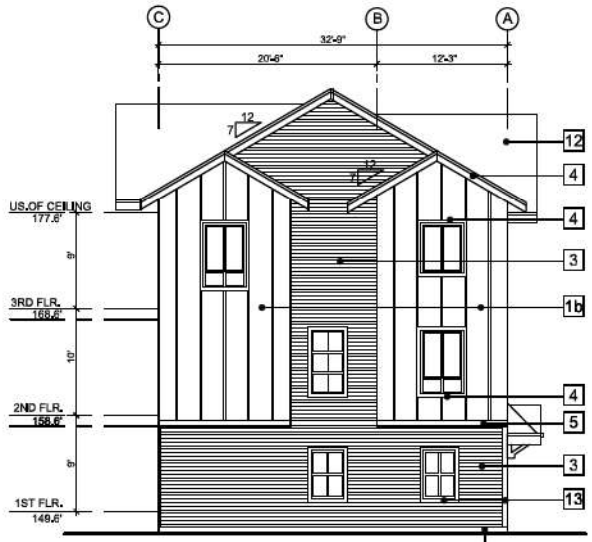
| 4 | HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) | 12 | ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR) |
| 5 | 6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD | 13 | EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249) |
| 6 | RAILING ALUMINUM - BLACK | 14 | EXPOSED CONCRETE BASE |
| 7 | WINDOWS - VENT GRILLS VINYL -BLACK | | |




**NORTH ELEVATION - BUILDING 2**

**WEST ELEVATION - BUILDING 2**
**FACING 208 STREET**


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
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PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

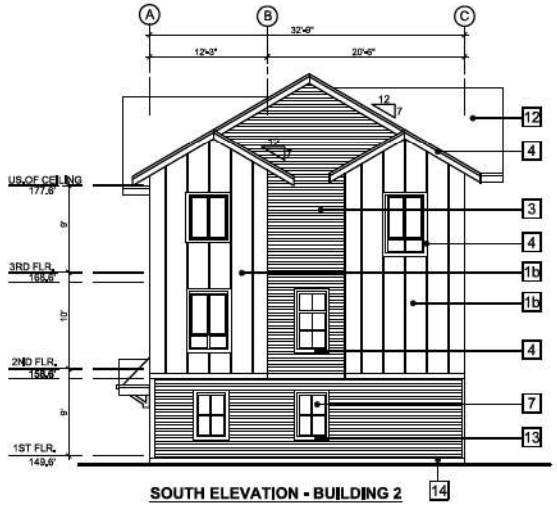
FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 2 NORTH & WEST ELEVATIONS**

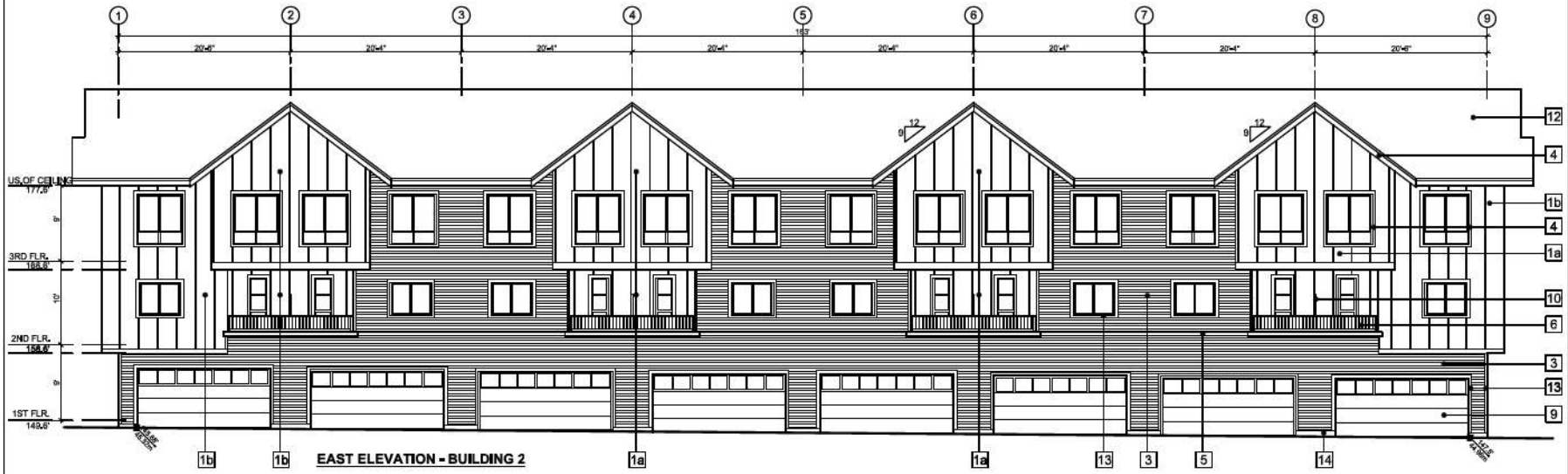
| | | |
|---|---|---|
| DATE: | Sep 2021 | SHEET NO: |
| SCALE: | NTS. | A-3.2a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

| | | | |
|---|---|---|---|
| 1a | **HARDIE BOARD & BATTEN :** SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255) | 8 | **ENTRY DOORS & MAN DOORS AT GARAGE** PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | **HARDIE BOARD & BATTEN :** SW 7069 IRON ORE- BY SHERWIN WILLIAMS (251) | 9 | **GARAGE DOORS** - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS |
| 2 | **BRICK** ONYX IRONSPOT(SMOOTH) - BY LXU. (BLACK MORTAR) | 10 | **PRIVACY SCREEN** - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED) |
| 3 | **HARDIE SIDING** WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME | 11 | **SOFFITS** VINYL - BLACK |
| 4 | **HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS** SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) | 12 | **ASPHALT SHINGLE ROOF :** MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR) |
| 5 | **6" TRIMS, BAND BOARDS & BRACKETS -** NATURAL STAINED MAPLE WOOD | 13 | **EYEBROWS & TRIMS AT SIDING** SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249) |
| 6 | **RAILING** ALUMINUM - BLACK | 14 | **EXPOSED CONCRETE BASE** |
| 7 | **WINDOWS - VENT GRILLS** VINYL - BLACK | | |




SOUTH ELEVATION - BUILDING 2




EAST ELEVATION - BUILDING 2


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0033 FAX: (604) 987-0033
E-MAIL: mia@mailgonladsiv.com



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2024-09-27

| NO. | DATE | REVISION / ISSUED |
|---|---|---|
| 3 | SEP 10 -24 | REISSUED FOR REZONING & DP |
| 2 | AUG 16 -24 | ISSUED FOR REZONING & DP |
| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

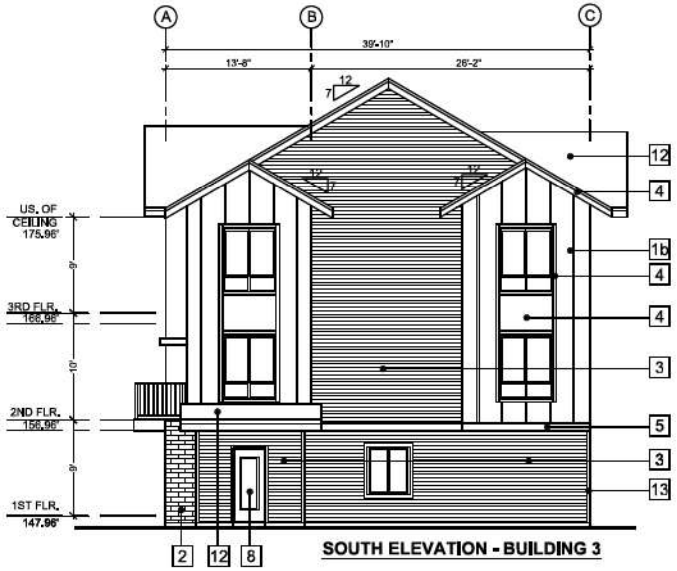
DRAWING TITLE:

BUILDING 2
EAST AND SOUTH
ELEVATIONS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-3.2b |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

| | | | |
|---|---|---|---|
| 1a | **HARDIE BOARD & BATTEN :** SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255) | 8 | **ENTRY DOORS & MAN DOORS AT GARAGE** PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | **HARDIE BOARD & BATTEN :** SW 7069 IRON ORE- BY SHERWIN WILLIAMS (251) | 9 | **GARAGE DOORS** - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS |
| 2 | **BRICK** ONYX IRONSPOT(SMOOTH) - BY LX.L. (BLACK MORTAR) | 10 | **PRIVACY SCREEN** - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED) |
| 3 | **HARDIE SIDING** WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME | 11 | **SOFFITS** VINYL - BLACK |
| 4 | **HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS** SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) | 12 | **ASPHALT SHINGLE ROOF :** MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR) |
| 5 | **6" TRIMS, BAND BOARDS & BRACKETS -** NATURAL STAINED MAPLE WOOD | 13 | **EYEBROWS & TRIMS AT SIDING** SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249) |
| 6 | **RAILING** ALUMINUM - BLACK | 14 | **EXPOSED CONCRETE BASE** |
| 7 | **WINDOWS - VENT GRILLS** VINYL -BLACK | | |




**SOUTH ELEVATION - BUILDING 3**

**WEST ELEVATION - BUILDING 3**
**FACING 208 STREET**


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
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TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: mfa@mullganfadab.com



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2024-10-2

| NO. | DATE | REVISION / ISSUED |
|---|---|---|
| 3 | SEP 10 -24 | REISSUED FOR REZONING & DP |
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| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 3
SOUTH & WEST
ELEVATIONS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-3.3a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

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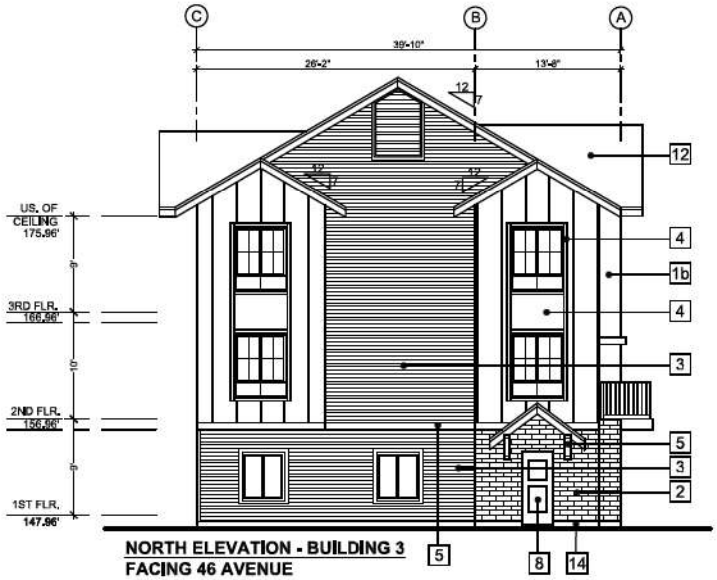
|---|---|---|---|
| 1a | HARDIE BOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255) | 8 | ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | HARDIE BOARD & BATTEN : SW 7069 IRON ORE- BY SHERWIN WILLIAMS (251) | 9 | GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS |
| 2 | BRICK ONYX IRONSPOT(SMOOTH) - BY LX.L. (BLACK MORTAR) | 10 | PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED) |
| 3 | HARDIE SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME | 11 | SOFFITS VINYL - BLACK |
| 4 | HARDIE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) | 12 | ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR) |
| 5 | 6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD | 13 | EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249) |
| 6 | RAILING ALUMINUM - BLACK | 14 | EXPOSED CONCRETE BASE |
| 7 | WINDOWS - VENT GRILLS VINYL -BLACK | | |




NORTH ELEVATION - BUILDING 3
FACING 46 AVENUE

EAST ELEVATION - BUILDING 3


F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
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PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 3
NORTH & EAST
ELEVATIONS

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-3.3b |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

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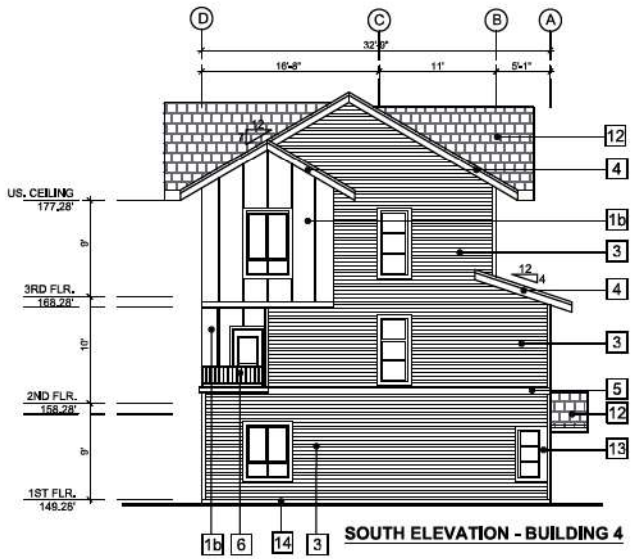
| 6 | RAILING ALUMINUM - BLACK | 14 | EXPOSED CONCRETE BASE |
| 7 | WINDOWS - VENT GRILLS VINYL -BLACK | | |




SOUTH ELEVATION - BUILDING 4

EAST ELEVATION - BUILDING 4


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-0033
E-MAIL: mia@mailgoriladsl.com



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| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

BUILDING 4
EAST & SOUTH
ELEVATIONS

| | | |
|---|---|---|
| DATE: | Sep 2021 | SHEET NO: |
| SCALE: | NTS. | A-3.4a |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |

## EXTERIOR FINISHES

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| 1a | **HARDIE BOARD & BATTEN :** SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255) | 8 | **ENTRY DOORS & MAN DOORS AT GARAGE** PAINTED WOOD : SW 6258 TRICORNI BLACK - BY SHERWIN WILLIAMS (251) |
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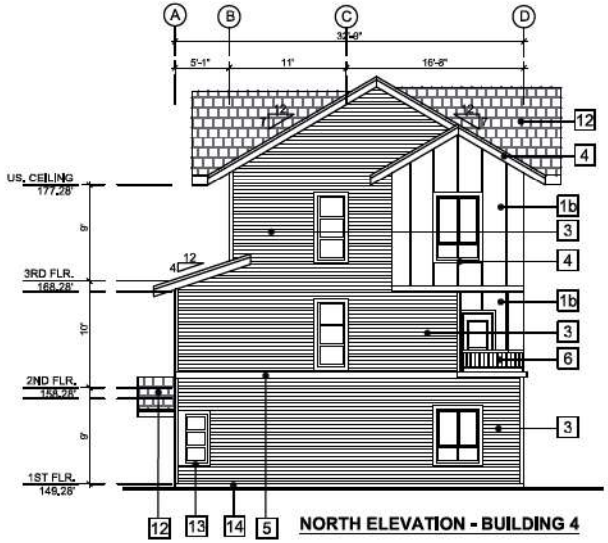
| 6 | **RAILING** ALUMINUM - BLACK | 14 | **EXPOSED CONCRETE BASE** |
| 7 | **WINDOWS - VENT GRILLS** VINYL -BLACK | | |




**NORTH ELEVATION - BUILDING 4**

**WEST ELEVATION - BUILDING 4**


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-0003 FAX: (604) 987-0033
E-MAIL: mail@mail@fadab.com



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PROJECT TITLE:

**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

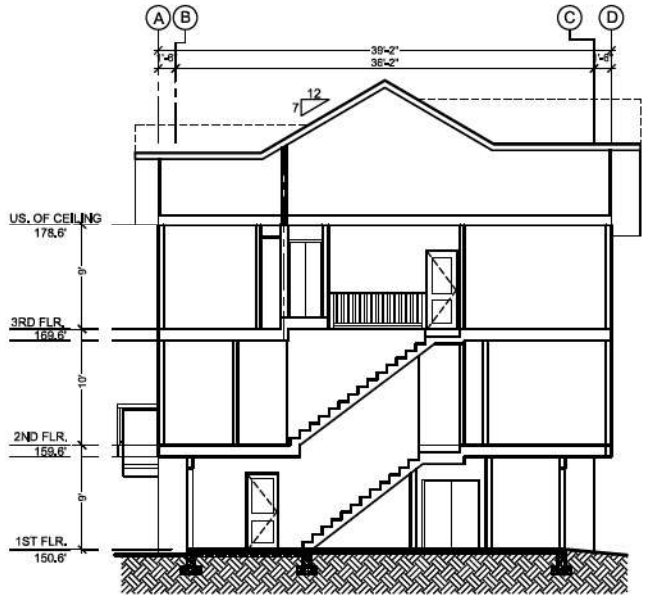
FOR:

**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

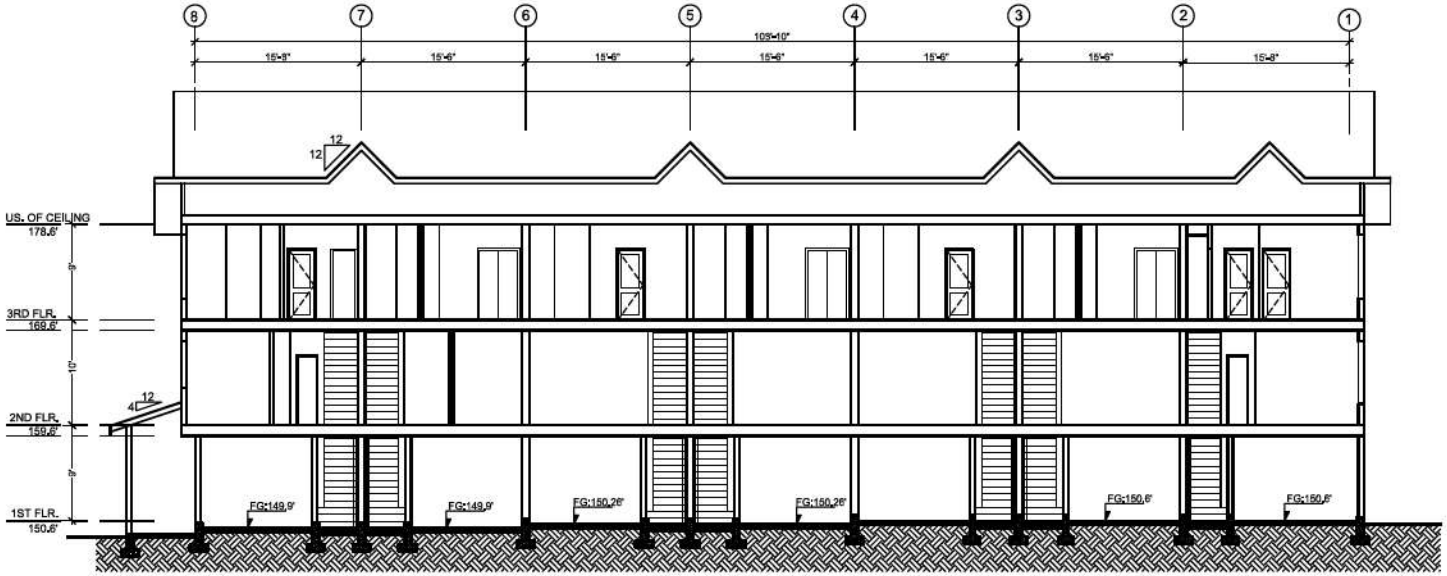
DRAWING TITLE:

BUILDING 4
WEST & NORTH
ELEVATIONS

| | | |
|---|---|---|
| DATE: | Sep 2021 | SHEET NO: |
| SCALE: | NTS. | A-3.4b |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




**SECTION B-B**
**BUILDING 1**




**SECTION A-A**
**BUILDING 1**


**F. ADAB ARCHITECTS INC.**

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NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: mfa@multigenfadab.com



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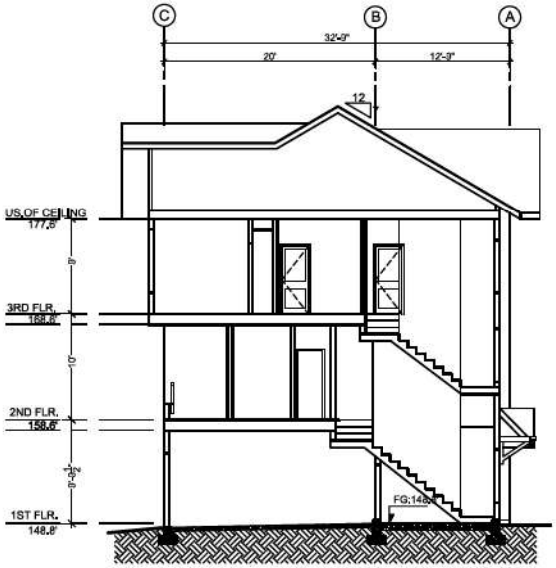
PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

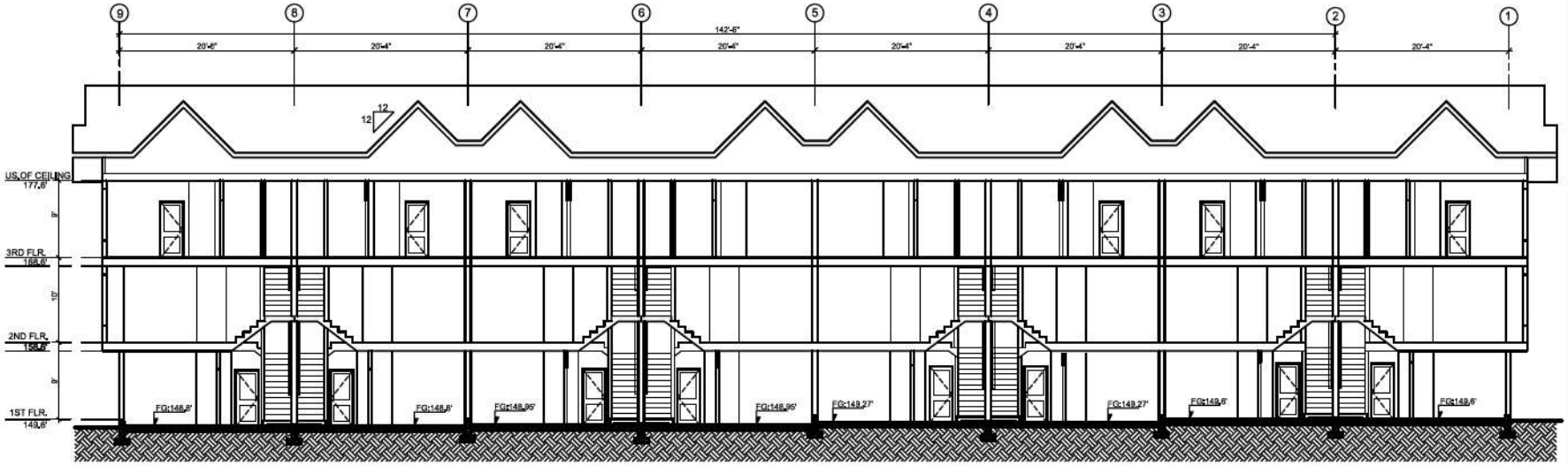
FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 1
SECTIONS A-A & B-B

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-4.1 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




**SECTION D-D**
**BUILDING 2**




**SECTION C-C**
**BUILDING 2**

**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
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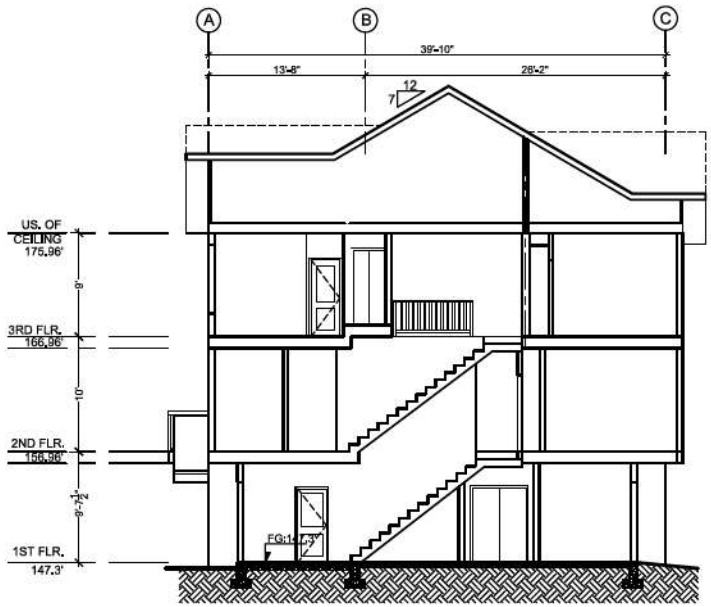
PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

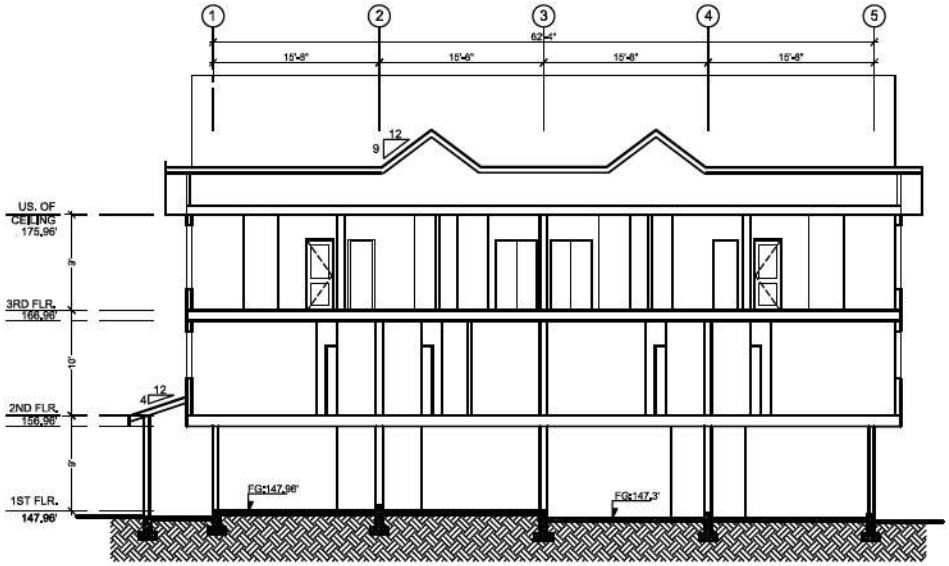
FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 2
SECTIONS C-C & D-D

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-4.2 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




**SECTION F-F**
**BUILDING 3**




**SECTION E-E**
**BUILDING 3**


**F. ADAB ARCHITECTS INC.**

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E-MAIL: mfa@multigenfadab.com



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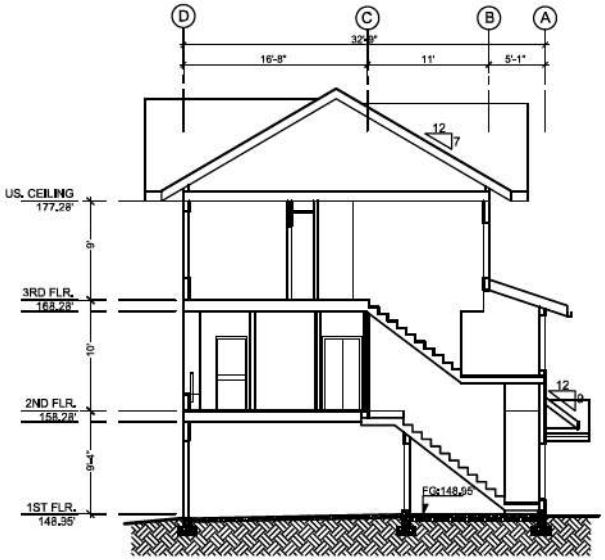
| NO. | DATE | REVISION / ISSUED |
|---|---|---|
| 3 | SEP 10 -24 | REISSUED FOR REZONING & DP |
| 2 | AUG 16 -24 | ISSUED FOR REZONING & DP |
| 1 | JUL. 02 -24 | ISSUED FOR PRE-APPLICATION |

PROJECT TITLE:
**TOWNHOUSE DEVELOPMENT**
20815 - 45A AVENUE,
LANGLEY, BC.

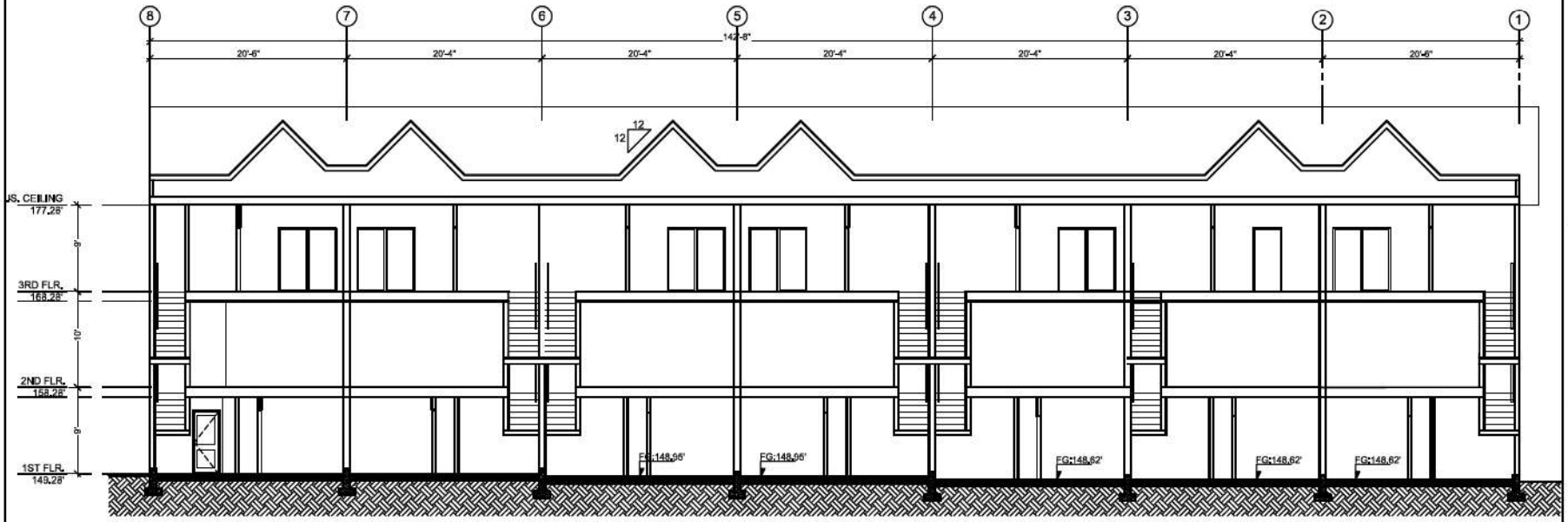
FOR:
**LEONE HOMES INC.**
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 3
SECTIONS E-E & F-F

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-4.3 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |




**SECTION H-H**
**BUILDING 4**




**SECTION G-G**
**BUILDING 4**


**F. ADAB ARCHITECTS INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: mfa@mailgonfadab.com



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RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 4
SECTIONS G-G & H-H

| | | |
|---|---|---|
| DATE: | March 2024 | SHEET NO: |
| SCALE: | NTS. | A-4.4 |
| DESIGN: | A.A. | |
| DRAWN: | A.A. | |
| PROJECT NO: | - | |