

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2025-07-29	Issued for DP Amendment

Professional Seal



1690 West 2nd Avenue
Vancouver, BC, Canada, V6J 1H4

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Project
**Langley Lions
Alder Replacement**
5470 203rd Street
Langley, BC

Drawing Title
Cover Sheet

Project Manager	MS	Project ID	22517
Drawn By	NTS	Scale	NTS
Reviewed By		Version	L0.0
			1
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ISSUED FOR DP AMENDMENT JULY 29, 2025

Langley Lions - Alder Replacement

for Langley Lions Housing Society

Civic Address: 5470 203rd Street, Langley, BC

CONSULTANT TEAM

OWNER: Langley Lions Housing Society
 LANDSCAPE: ETA Landscape Architecture
 ARCHITECT: Elys Architecture
 CIVIL: BINNIE
 GEOTECHNICAL: GeoPacific Consultants Ltd.
 CODE: GHJ Consultants Ltd
 SURVEYOR: Underhill Geomatics Ltd.

Sheet Drawing Title

- L0.0 Cover Sheet
- L0.1 Landscape Notes & Schedules
- L0.2 Landscape Illustrative Plan
- L1.0 Arbonist Tree Management Plan
- L2.0 Offsite Plan
- L3.0 Landscape Materials Plan
- L3.1 Landscape Plan - Roof
- L4.0 Lighting Plan
- L5.0 Landscape Grading & Drainage Plan
- L6.0 Planting Plan
- L7.0 Soil Depth & Servicing Plan
- L8.0 Landscape Sections & Elevations
- L9.1 Details
- L9.2 Details
- L9.3 Details

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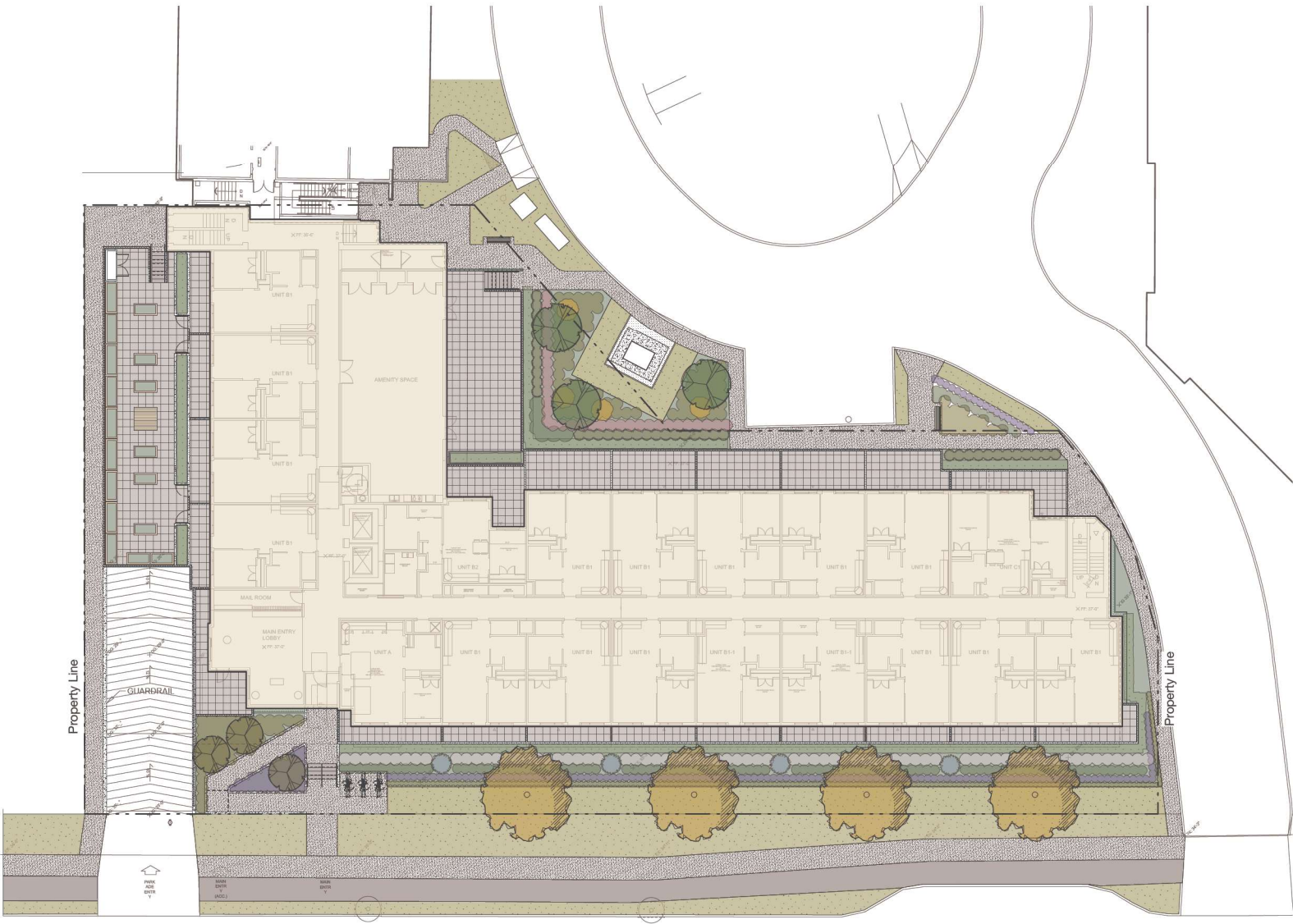
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Project
**Langley Lions
Alder Replacement**
6470 203rd Street
Langley, BC

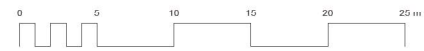
Drawing Title
**Landscape
Illustrative Plan**

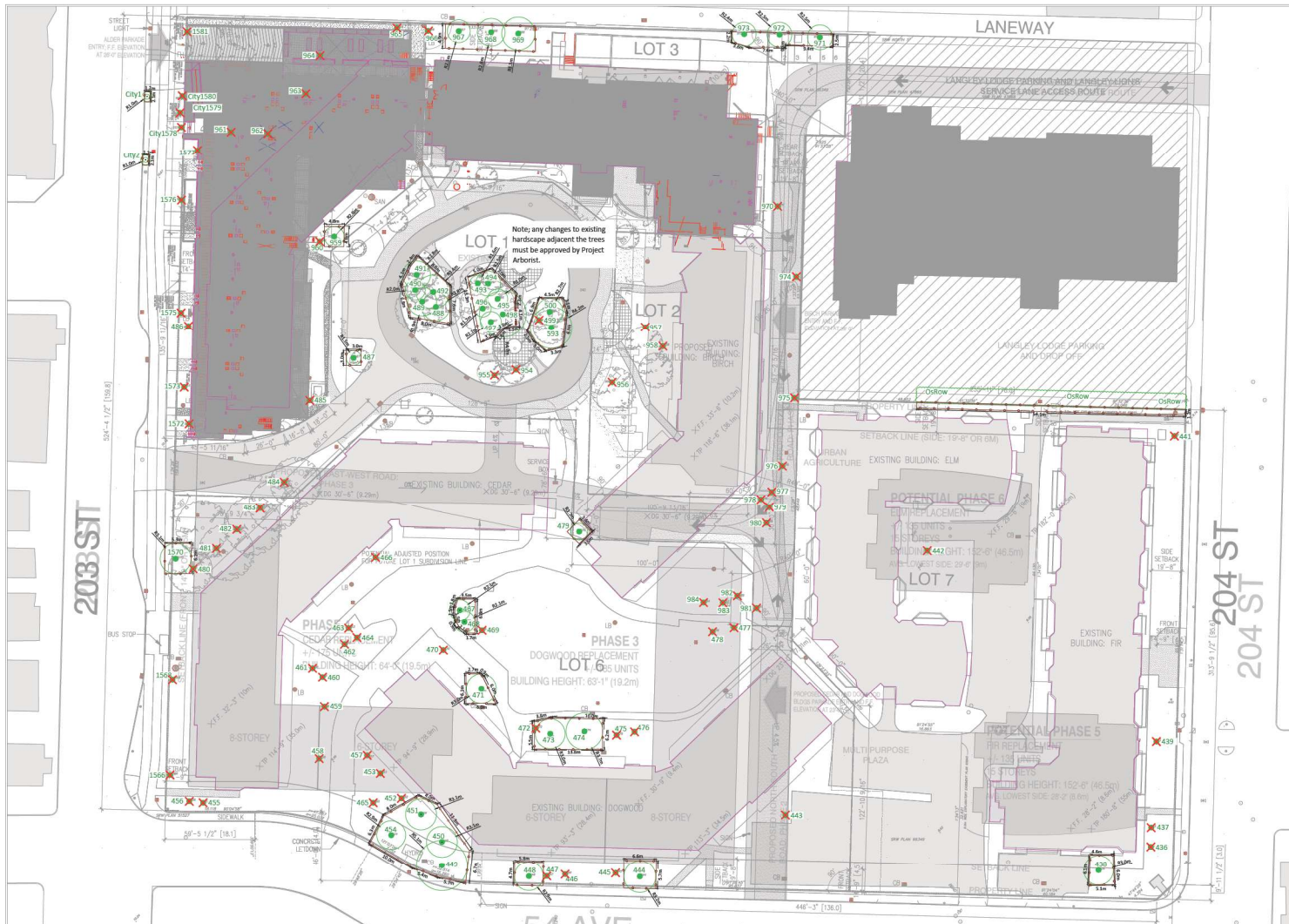
Legal

Project Manager	M.C.	Project ID	22517
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206 St





- LEGEND**
- CRITICAL ROOT ZONE
 - TREE PROTECTION ZONE AND FENCING
 - TREE TO BE RETAINED
 - UN-SURVIVED TREE
 - ✗ TREE TO BE REMOVED

- NOTES**
1. The location of an un-surveyed tree on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the zone of the tree.
 3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. If the tree diameter was added to the graphical tree protection circles to accommodate the above point being in the corner of the root.
 4. Any construction activities or grade changes within the Tree Protection Zone must be approved by the project architect.
 5. This plan is based on a topographic and tree location survey prepared by the owner's Registered British Columbia Land Surveyor (BCLSC) and landscape drawings provided by the owner's Engineer (if any).
 6. This plan is provided for context only, and is not certified to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plans and engineering plans.

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Project
**Langley Lions
Alder Replacement**
6470 203rd Street
Langley, BC

Drawing Title
**Arborist Tree
Management Plan**

Drawing No: 001
Date: Oct 22, 2020
Drawn by: CL
Page Size: ARCH D (24"x36")

Page #
1 of 1

DIAMOND HEAD

3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan
Project address: 54 Avenue & 204 Street (Langley Lions Senior citizen Housing Society, 5484 203rd Street) Langley, BC
Client: Langley Lions Seniors Care Home Society

NOTE: For reference only. Refer to full Arborist report for additional information.

Project Manager	Project ID
MJ	22517
Drawn By	Scale
CL	As Noted
Reviewed By	Reviewed Date

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Project

**Langley Lions
Alder Replacement**

5470 203rd Street
Langley, BC

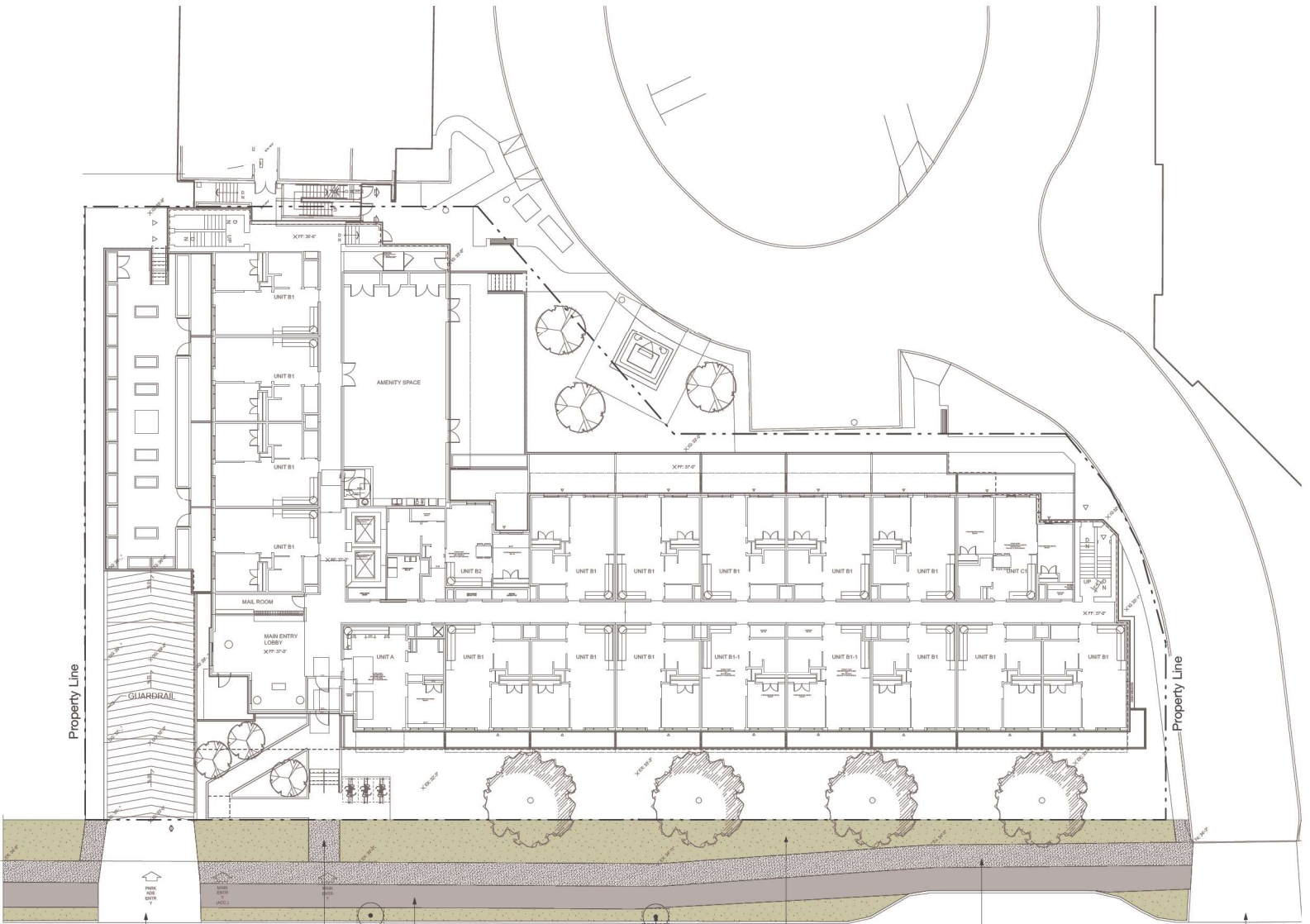
Drawing Title

Offsite Plan

Legend

Project Manager	M.C.	Project ID	22517
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L2.0
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Property Line

Property Line

206 St

Concrete letdown to parkade entry, refer to civil

Concrete walkway to building entry, sawcut, broom-finished

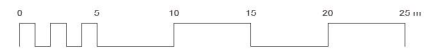
Existing asphalt bike path, to remain

Existing street tree, to remain

Existing sod lawn, to remain, damage from construction traffic to be repaired as necessary

Existing concrete sidewalk, to remain

Concrete letdown to internal ring road, refer to civil



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Project

**Langley Lions
Alder Replacement**

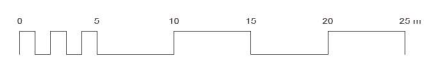
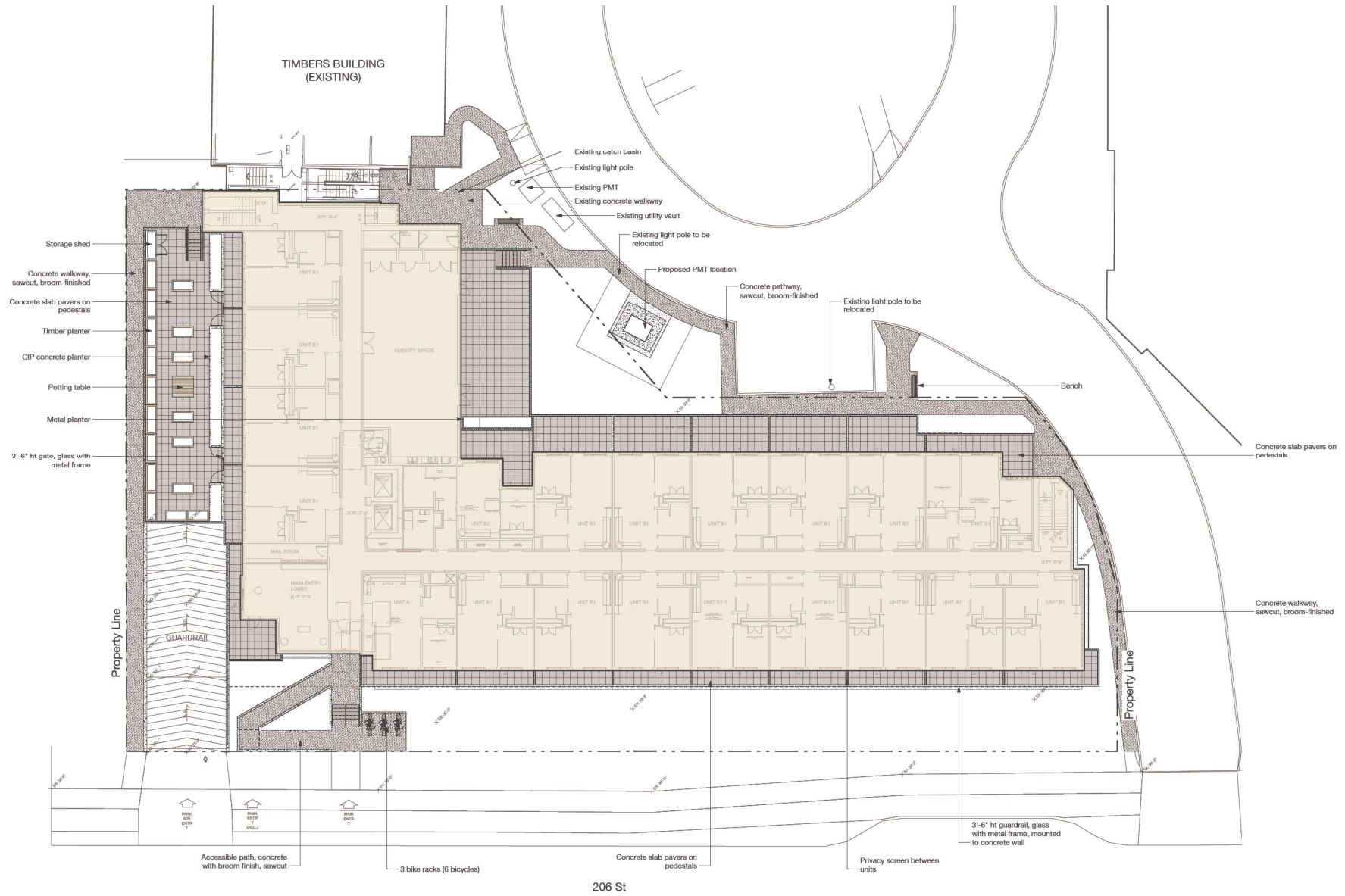
5470 203rd Street
Langley, BC

Drawing Title

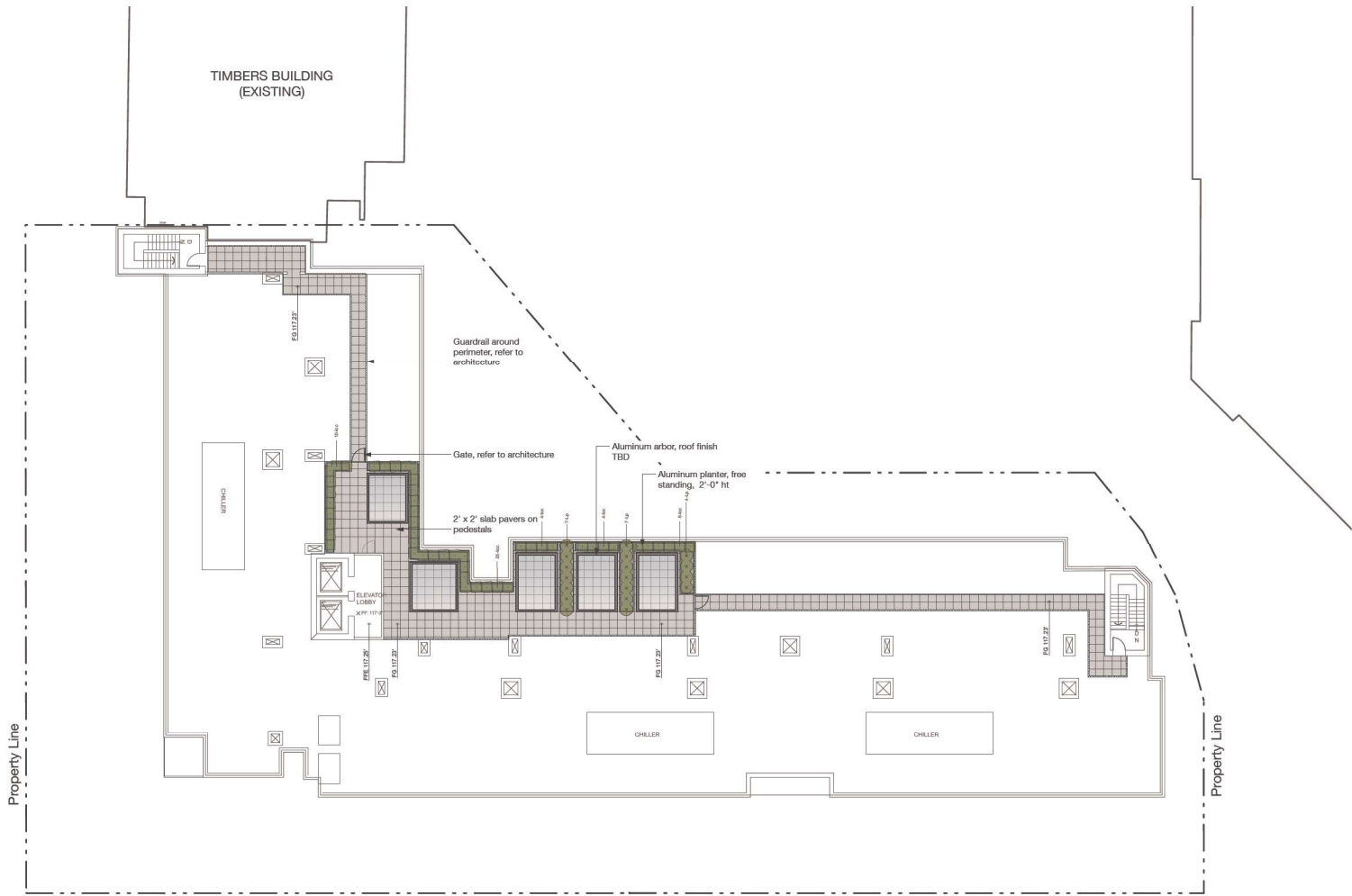
**Landscape Materials
Plan**

Legend

Project Manager	MCS	Project ID	22517
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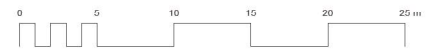
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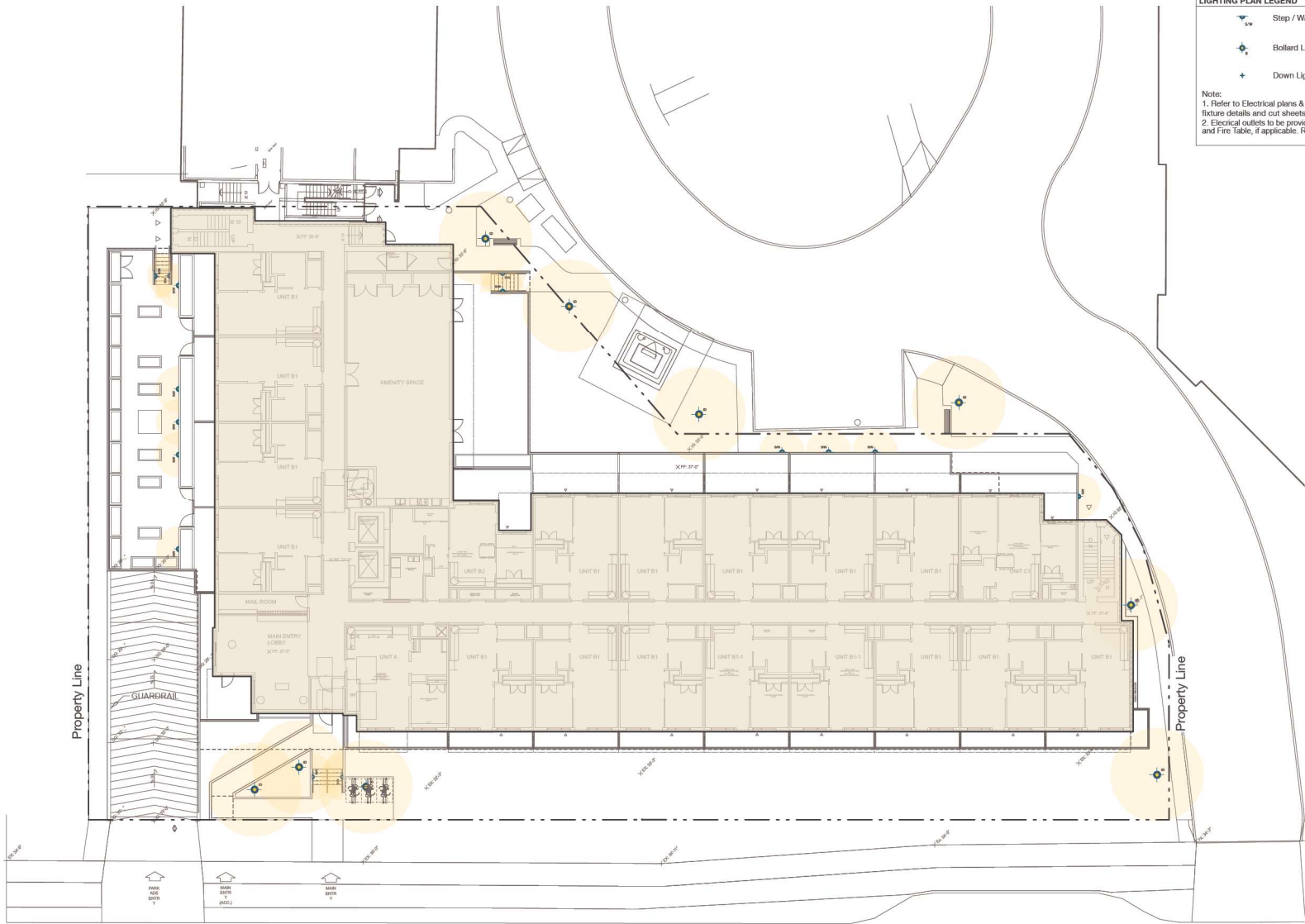
Project
Langley Lions
Alder Replacement
5470 203rd Street
Langley, BC

Drawing Title
Landscape Plan -
Roof




Legal



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MCS	22517
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LIGHTING PLAN LEGEND

-  Step / Wall Light
-  Bollard Light
-  Down Light

Note:
 1. Refer to Electrical plans & specs for final locations, fixture details and cut sheets.
 2. Electrical outlets to be provided for each BBQ, Trellis, and Fire Table, if applicable. Refer to Electrical.

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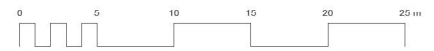
Project
**Langley Lions
 Alder Replacement**
 5470 203rd Street
 Langley, BC

Drawing Title
Lighting Plan

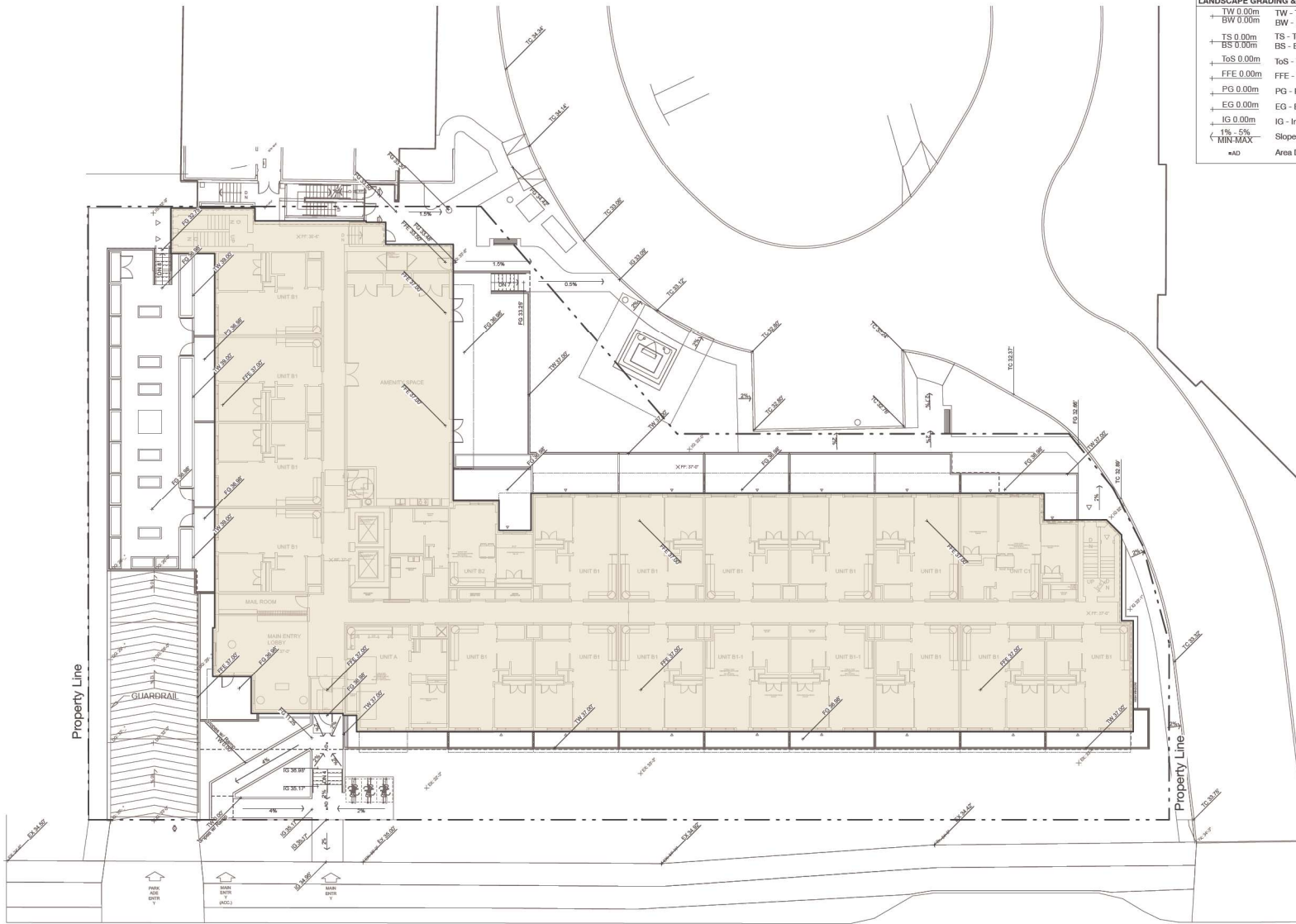
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LANDSCAPE GRADING & DRAINAGE PLAN LEGEND

TW 0.00m	TW - Top of Wall
BW 0.00m	BW - Bottom of Wall
+ TS 0.00m	TS - Top of Step
+ BS 0.00m	BS - Bottom of Step
+ ToS 0.00m	ToS - Top of Slab
+ FFE 0.00m	FFE - Finish Floor
+ PG 0.00m	PG - Proposed Grade
+ EG 0.00m	EG - Existing Grade
+ IG 0.00m	IG - Interpolated Grade
1% - 5%	Slope
MIN-MAX	
*AD	Area Drain

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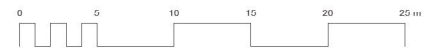
Project
**Langley Lions
Alder Replacement**
6470 203rd Street
Langley, BC

Drawing Title
**Landscape Grading
& Drainage Plan**

Legal

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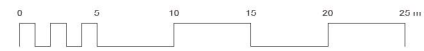
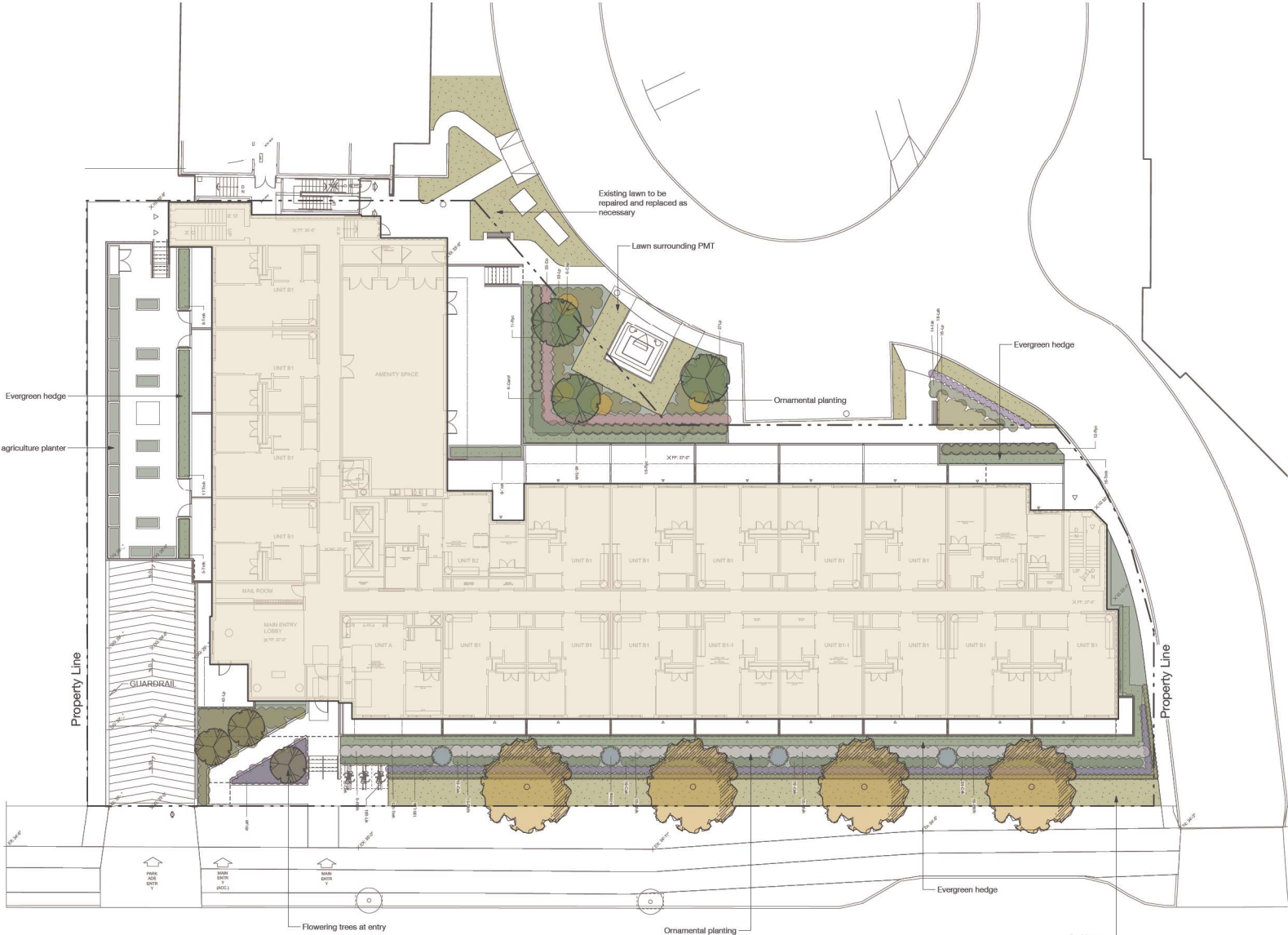
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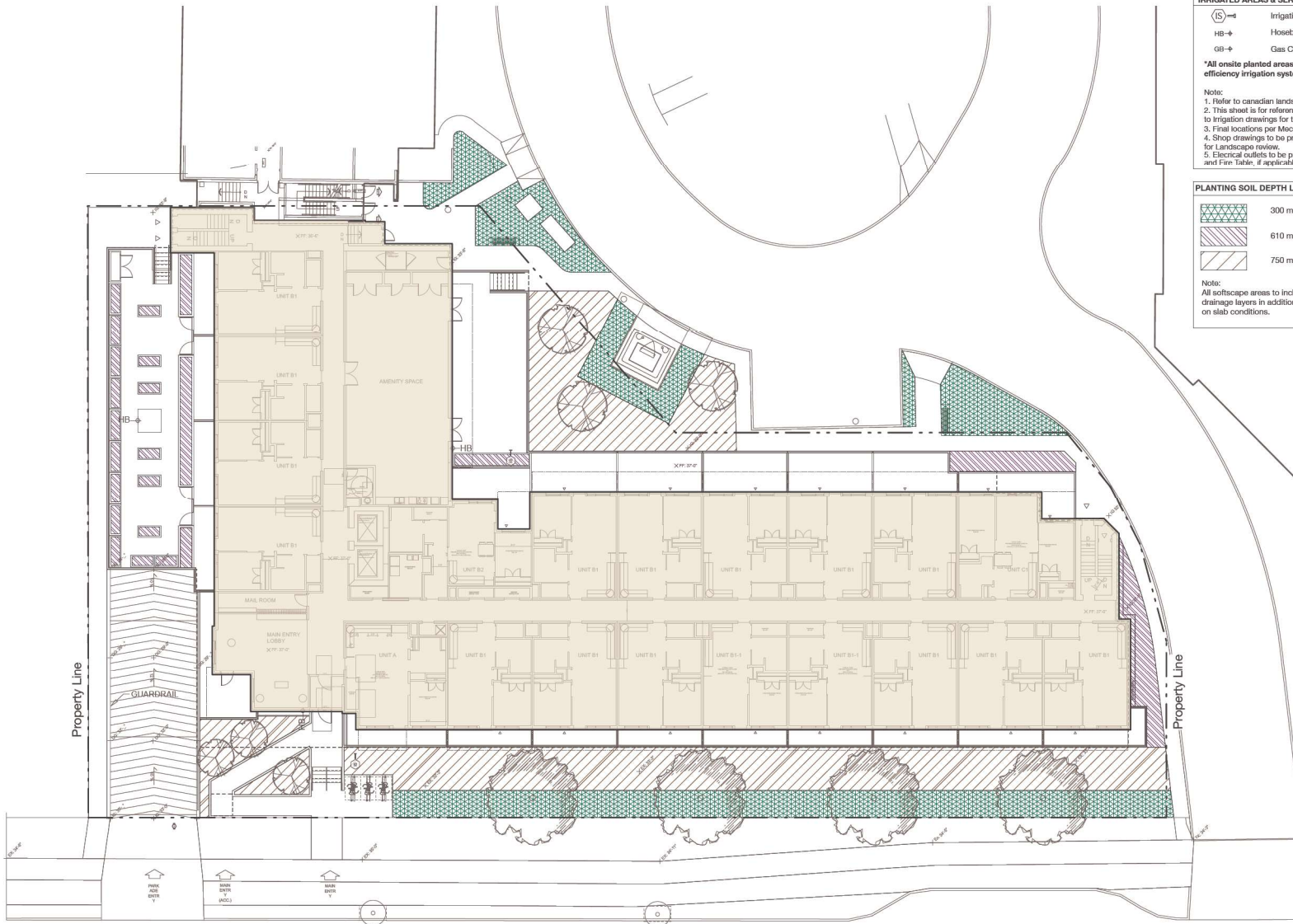
Project
**Langley Lions
Alder Replacement**
5470 203rd Street
Langley, BC

Drawing Title
Planting Plan

Legal

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IRRIGATED AREAS & SERVICING LEGEND

 Irrigation Sub-out
 Hosebib
 Gas Connection

All onsite planted areas to be irrigated with high efficiency irrigation system.

Note:
 1. Refer to Canadian landscape standard, typ.
 2. This sheet is for reference only. Contractor to refer to Irrigation drawings for the Irrigation design.
 3. Final locations per Mechanical.
 4. Shop drawings to be provided prior to installation for Landscaping review.
 5. Electrical outlets to be provided for each BBQ, Trellis, and Fire Table, if applicable. Refer to Electrical.

PLANTING SOIL DEPTH LEGEND

 300 mm (12") Soil Depth
 610 mm (24") Soil Depth
 750 mm (30") Soil Depth

Note:
 All softscape areas to include min. 75mm gravel drainage layers in addition to indicated soil depth for on slab conditions.

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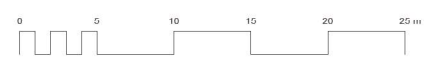
Project
**Langley Lions
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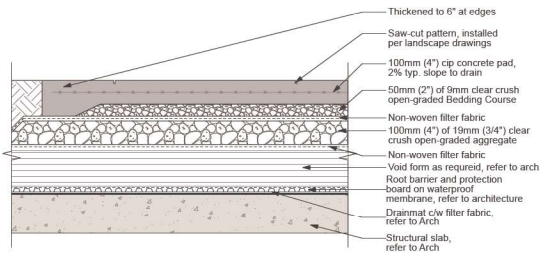
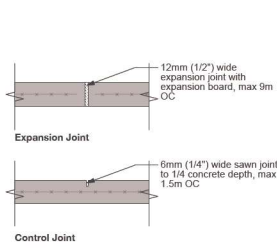
Drawing Title
**Soil Depth &
 Servicing Plan**

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Project Manager	MJ	Project ID	22517
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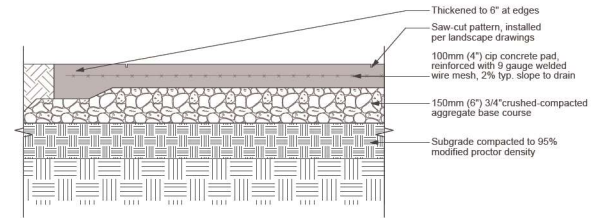
206 St





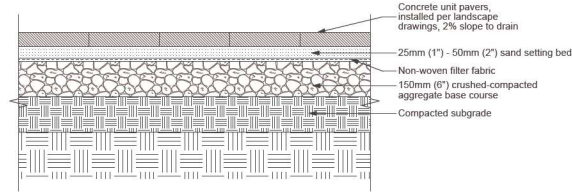
NOTE:
 -Saw-cuts to be installed per layout plan, completed within 24hrs of pouring the slab
 -Control joints to be 1/4 slab depth
 -Control joints max 3m OC, as per MMCD
 -Expansion joints to be max 9m OC as per MMCD
 -Concrete to be broom-finished unless otherwise noted

1 DETAIL: CIP Concrete on Slab
 Scale: 1:10

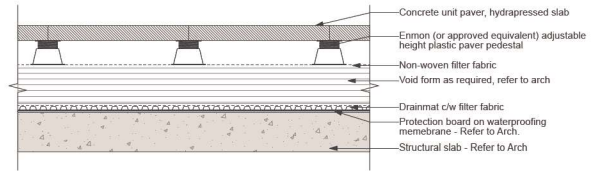


NOTE:
 -Saw-cuts to be installed per layout plan, completed within 24hrs of pouring the slab
 -Control joints to be 1/4 slab depth
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 -Expansion joints to be max 9m OC as per MMCD
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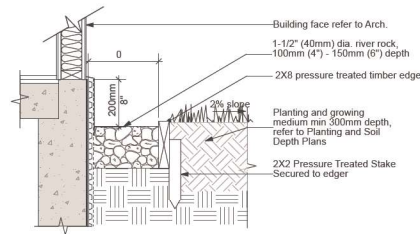
2 DETAIL: CIP Concrete on Grade
 Scale: 1:10



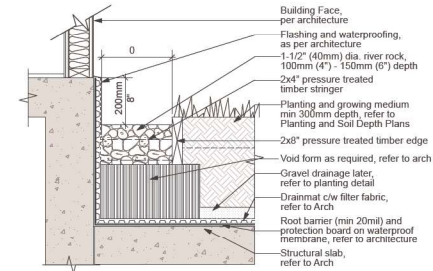
3 DETAIL: Unit Pavers on Grade
 Scale: 1:10



4 DETAIL: Slab Pavers on Pedestal
 Scale: 1:10



5 DETAIL: Drip Strip on Grade
 Scale: 1:10



6 DETAIL: Drip Strip on Slab
 Scale: 1:10

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Project

Langley Lions
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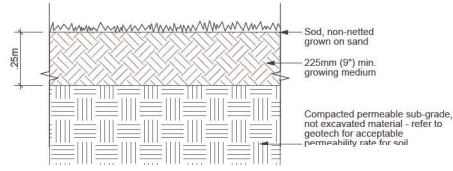
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Drawing Title

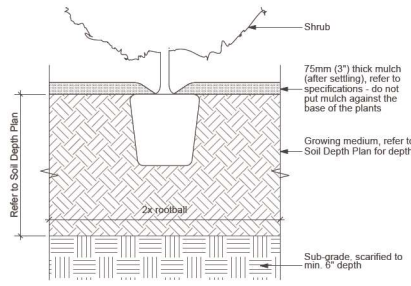
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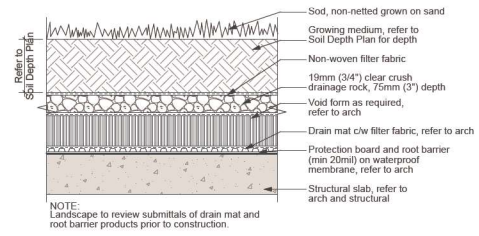
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As Noted	
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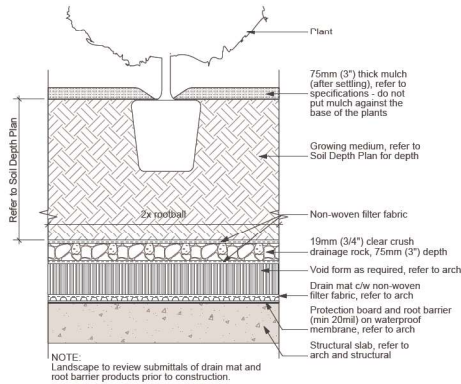
1 DETAIL: Sod on Grade
Scale: 1:10



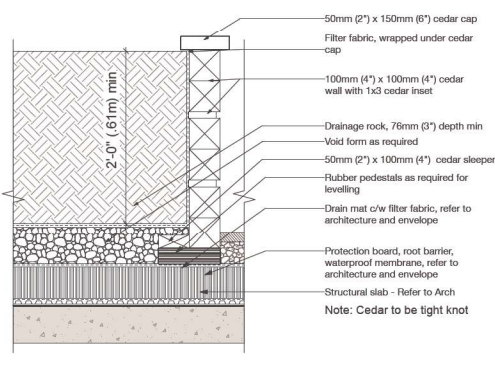
2 DETAIL: Plant on Grade
Scale: 1:10



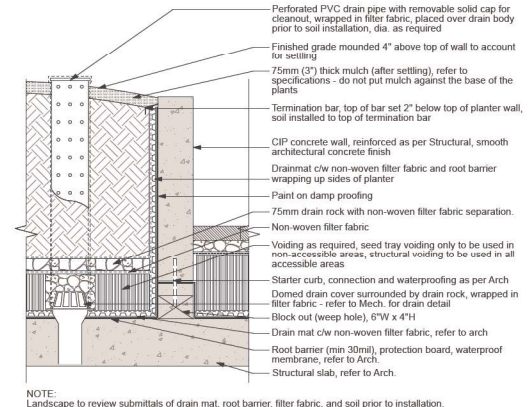
3 DETAIL: Sod on Slab
Scale: 1:10



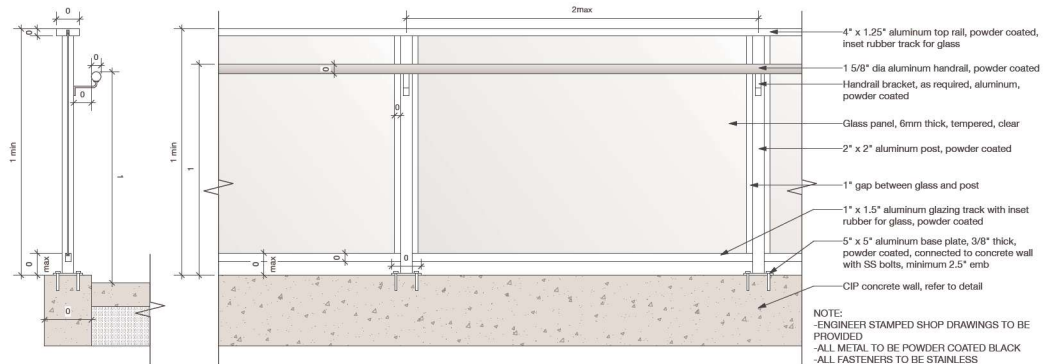
4 DETAIL: Plant on Slab
Scale: 1:10



5 DETAIL: Timber Planter on Slab
Scale: 1:10



6 DETAIL: Concrete Planter on Slab
Scale: 1:10



7 DETAIL: Metal and Glass Guardrail
Scale: 1:10

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Alder Replacement**

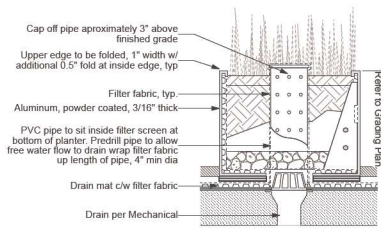
6470 203rd Street
Langley, BC

Drawing Title

Details

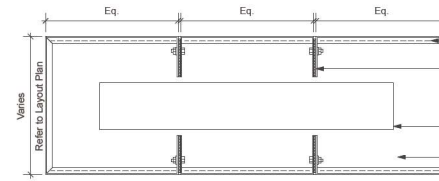
Legend

Project Manager	Project ID
MJ	22517
Drawn By	Scale
As Noted	
Reviewed By	Checked By
	L9.2
	14
	18



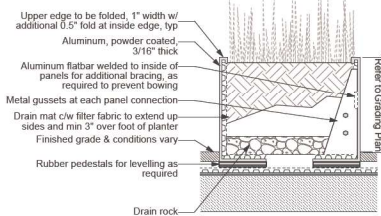
section w/ drain

Notes:
-Shop drawings to be provided for Landscape review prior to construction.



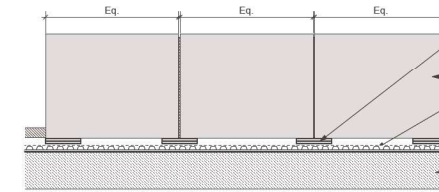
plan

Aluminum flatbar welded to inside of panels for additional bracing, as required to prevent bowing
Metal gussets at each panel connection
Fold 1" tabs down 90 degrees to make lip at the top
Hole in base of planter for drainage
Fold 6" tabs 90 degrees at bottom - bottom of planter to be open and sloped to drain



section

Notes:
-Shop drawings to be provided for Landscape review prior to construction.



elevation

Rubber pedestals as required for leveling
Aluminum, powder coated, 3/16" thick
Drainmat c/w filtercloth on waterproofing per Arch
Finished grade
Adjacent conditions per plan
Roof - Refer to Arch

1 DETAIL: Metal Planter
Scale: 1:10

Urban Staple

URBAN RACKS
REINVENTING RECYCLE PRODUCTS

Spacing	36" (914 mm)
Reinforcement Spacing	24" (610 mm)
Weight	32 lbs (14.5 kg)
Assembly Material	Schedule 40 Steel
Ripe Diameter	3.37" (85.2 mm)
Ripe Wall Thickness	0.54" (13.8 mm)
Ripe Consumer recycled content	100%
Ripe consumer recycled content	5-7%

Anti-theft Features:
Optional Tamper proof Security Anchors

Available Finishes:
Powder Coated
Hot Dip Galvanized
304 Stainless Steel
Dark Bronze
Customization Available

UR These materials are to be considered preliminary and are for informational purposes only. All dimensions and finishes are subject to change without notice and should be used for informational purposes only. © 2020 Urban Racks Inc. All Rights Reserved.

2 DETAIL: Bike Rack
Scale: Actual Size

MBE-0400-0048

Legacy # MBE-0400-00

400 SERIES

MATERIALS: Each frame and seat are made from U.S. steel pipe and flat bar. The seat and back employ low wood slats.

FINISH: All steel components are protected with U.S. Coat rust proofing. The Maglin Protection System provides a durable finish on all metal surfaces. Wood slats are finished with penetrating sealers.

INSTALLATION: This bench is delivered pre-assembled. Items (if any) are provided to assist with assembly (see below).

TO SPECIFY: Select MBE-0400-0048
Finish: Powder Coated

WEIGHT: 81.33" (2068 mm) LENGTH: 22.34" (568 mm) DEPTH: 24.18" (613 mm) SEATING: 166.00" (4218 mm)

MAGLIN
100% RECYCLED STEEL
100% RECYCLED SEAT
100% RECYCLED BACK

3 DETAIL: Bench
Scale: Actual Size

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
A 2025-07-29 Issued by CP Amendment

Professional Seal

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Project
Langley Lions
Alder Replacement
5470 203rd Street
Langley, BC

Drawing Title
Details

Legal

Project Manager	Project ID
MS	22517
Drawn By	Scale
MS	As Noted
Reviewed By	Issued By
	L9.3
	19
	of
	18