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ISSUED FOR DP AMENDMENT

JULY 29, 2025

Langley Lions -Alder Replacement for Langley Lions Housing Society

Civic Address: 5470 203rd Street, Langley, BC

No. Date Issue Notes
A 2025-07-29 Issued for DP Amendment

CONSULTANT TEAM

OWNER: LANDSCAPE: ARCHITECT: Langley Lions Housing Society ETA Landscape Architecture dys Architecture CIVIL: GEOTECHNICAL: CODE: SURVEYOR: BINNIE
GeoPacific Consultants Ltd.
GHL Consultants Ltd
Underhill Geomatics Ltd.

Cover Sheet Landscape Notes & Schedules Landscape Illustrative Plan L0.0 L0.1 L0.2

L1.0 Arborist Tree Management Plan

L2.0 Offsite Plan

L3.0 Landscape Materials Plan L3.1 Landscape Plan - Roof

Lighting Plan

L5.0 Landscape Grading & Drainage Plan

L6.0

L7.0 Soil Depth & Servicing Plan

L8.0 Landscape Sections & Elevations

L9.1 L9.2 L9.3 Details Details Details

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Langley Lions Alder Replacement

5470 203rd Street Langley, BC

Drawing Title

Cover Sheet

Project Manager MG	22517
Drawn By Drawn By	Scale NTS
Reviewed By	L0.0

ALL PLANTS TO BE NURSERY GROWN ALL PLANT MATERIALS AND LABOUR TO CONFORM

TO THE CURRENT EDITION OF THE CSLA LANDSCAPE STANDARDS

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANINC MATTER (DRY WEIGHT BASIS).

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS. INVASIVE AND NOXIOUS PLANT AND THEIR REPRODUCTIBLE PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30mm (1.2°), ANY DEBRIS

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION CANADIAN LANDSCAPE STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (IL IN TABLE T-6.3.5.1 OF THE CURRENT EDITION OF THE CANADIAN LANGEAPE STANDARDS). IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE

"COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%

"ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%

"SAND (LARGER THAN 0.05mm AND SMALLER THAN 2mm): 50-70%

"SILT (LARGER THAN 0.002mm AND SMALLER THAN 0.05mm): 10-25%

*CLAY (SMALLER THAN 0.002mm): 0-20% *CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (nH): 6.0-7.0 as per CANADIAN LANDSCAPE STANDARDS

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.5.5 OF THE CURRENT EDITION CANADIAN

subg	prepared rade where the oil drains rapidly	Over structures or where the subsoil drains poorly
LARGE TREE	750mm(30")	915mm(36")
TREES (10m3 PER TREE)	750mm (30°)	915mm(36")
LARGE SHRUBS	600mm(24")	600-900mm(24"-36")
SMALL SHRUBS	450mm(18")	450-500mm(18*-20*)
LAWN-IRRIGATED	150mm(6")	150mm(6")
LAWN-NOT IRRIGATED	150mm(6")	225mm(9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

COIL FOR UNIDAN AGRICULTURE PLOTS IS TO DE UNDAN GRO PROVIDED BY VERATES, OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AFRASIS IT OMEET OR EXCEPT THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF MINISTERS OF THE ENVIRONMENT (CCME).

SOIL IS NOT TO BE BLOWN IN FOR INSTALLATION.

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO DELIVERY TO SITE.

BEDS TO HAVE 3" MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

SITE INSPECTION EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE CSLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL SOFTSCAPE AREAS ON SLAB TO INCLUDE MIN. 75MM GRAVEL DRAINAGE LAYERS IN ADDITION TO INDICATED SOIL DEPTH.

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT
SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY
ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

BIRD FRIENDLY PLANTING
PLANTS THAT ENGLE BIRD FRIENDLY HABITAT CONSERVATION AND POMONITION HAVE BEEN
SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. P. ANTING IS GROUPED IN
SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. P. ANTING IS GROUPED IN
THE DEAL ENVIRONMENTAL COMMITTIONS FOR BIRDS. THESE LAYERS MULL BE WARRED WITHAUTH
DEVELOPMENT OF TEXTURES AND DENSITIES THAT ATTRACTS AND PROTECTS MANY BIRD SPECIES.
SPECIFIC LOCAL AND ION INVASIVE PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR
ABILITY TO PROVIDE YEAR-ROUND FOOD FOR BIRDS ANDIOR YEAR ROUND NESTING
OPPORTUNITIES.

GENERAL NOTES

1. DIO NOT SCALE DIRECTLY FROM DRAWNISS.
2. WHERE PLANS AND SECEPICATIONS ARE FOUND TO BE IN CONFLICT, OR WHERE VARIOUS
TIEMS OF WORKER SECHT DIS BE IN CONFLICT, NOTIFY THE CONSULTANT IN WRITING
THEMS OF WORKER SECHT TO BE IN CONFLICT, NOTIFY THE CONSULTANT IN WRITING
3. THE CONTRACTOR IS REQUIRED TO INVESTIGATE AND VERBY THE ALIGNMENT AND LOCATION
OF ALL DESTING SERVICES AND ALL DESTING LANDSCAPE FEATURES ON SITE PRIOR TO
ALL DESTING SERVICES AND ALL DESTING LANDSCAPE FEATURES ON SITE PRIOR TO
ALL DESTING TO LANDSCAPE WORKS, MOCK UPS AND YES REQUIRED AS YOTE DIRECULESTED.

COMMENCEMENT OF LANDSCAPE WORKS. MOCK UPS MAY BE REQUIRED AS NOTED/REQUESTED DIMENSIONS ON THIS DRAWING ARE IN MM, UNLESS OTHERWISE STATED AS REQUIRED BY THE

CITY.

6. THESE DRAWINGS SHOULD BE ERAD IN CONJUNCTION WITH CORRESPONDING ARCHITECTURE.

6. THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH CORRESPONDING ARCHITECTURE.

7. VERIFY LOCATION OF ALL MUNERAGOUND STRUCTURES IN CLUDING, BUT IN THE INTELLIGIBLE AND THE AND ARMADICES. STORIC TURES WAITS, ELECTRICAL DUCT BANKS, BAMMOLES, CONJUNCT AND PRINK, DRAWAGE STRUCTURES.

8. ALL VEHICULAR ROMAS SUB LAYERS TO BE READ FROM GEOTECHNICAL SPECIFICATIONS.

9. THE CONTRACTOR IS RESPONDING FOR REPAIRS ALL WORK DISTURBED BY CONSTRUCTION OF A CONTRACT OF THE ARCHITECTURE.

10. THE CONTRACT OF CONSTRUCTION OF THE ASSISTING CONDITIONS FROM TO COMMENCEMENT OF CONSTRUCTION AND ADDITION. COST TO THE CONTRACT OF CONSTRUCTION AND ADDITION. COST TO THE CONTRACT OF CONSTRUCTION AND ADDITION. COST TO THE CHARMAGE OF THE ARCHITECTURE OF THE ARCHITECTURE OF THE ARCHITECTURE.

10. FOR PHASED PROJECT, A SOIL, TEST SUMMITTAL, WILL BE REQUIRED AT EACH PHASE AND THE TEST IS IN DISC. WHICH AND ARCHITECTURE.

TEST IS TO BE WITHIN 3 WEEKS OF THE DELIVERY TO SITE.

PLANTINA ORDS. REFER TO CURRENT NOTES LIST.

1 THE CONTRACTOR SHALL INSTALL TIRE PROTECTION FENCE AS INDICATED ON THE DRAWINGS OF ARBDREST REPORT IN COMMUNICATION HALL MINICIPAL MAD PROFESSIONAL REQUIREMENTS.

3 DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, EXCANTED MATERIAL OR EQUIPMENT WITHIN TREE PROTECTION ZONE.

3 DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, EXCANTED MATERIAL OR EQUIPMENT WITHIN THE PROTECTION ZONE.

BEYOND THE DEPLINE.

5 EXACT LOCATIONS OF PROPOSED PLANT INTERNALS SHALL BE FLAGGED / STACED AND EXPLORED HALL DELIVERED HAVE AND ASSESSION OF THE DEBRIS AND ASSESSIO

RECOMMENDATIONS FOR PREPARATION OF GOVERNING REJUMN TO MEET THE STATANA'S CHILD.

RECORDS SOLD FROM LANDSCAPE GRADING IS TO BE REMOVED AND DISPOSED OF OFFSITE BY
THE CONTRACTOR IN ALCOZION APPROVED BY THE DEPARTMENTAL REPRESENTATIVE

BY THE CONTRACTOR IN ALCOZION APPROVED BY THE DEPARTMENTAL REPRESENTATIVE

BY THE CONTRACTOR OF THE LIST OF SPECIES, INCLUINGS SEE AND FORM MO OTHER

ID CONTRACTOR TO OBTAIN APPROVAL OF LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OF

THAT THE STATE OF THE CONTRACTOR STALL PROVIDE ROOT BARRIERS FOR ALL TREES LOCATED WITHIN TWO

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15 THE STALL PROVIDE ROOT BARRIERS FOR ALL TREES LOCATED

REQUIREMENTS

IT A SHOP DRAWING INDICATING THE SOIL DEPTH TO BE PROVIDED FOR THE LANDSCAPE REVIEW PRIOR TO INSTALLATION.

IS LIGHT-WEIGHT-BLOWN-IN SOIL WILL NOT BE ACCEPTED UNLESS IT IS REQUIRED BY STRUCTURAL ENGINEER.

IT A LANDSCAPE ARCHITECT SHALL BE ON SITE AT SOIL DELIVERY DATE.

HARD LANDSCAPE & FURNITURE NOTES

1.PROVIDE DOPANSION JOINTS ALIGNED WITH PROPOSED PAVING PATTERN AND DAVING1.PROVIDE DOPANSION JOINTS ALIGNED WITH PROPOSED PAVING PATTERN AND DAVING1.PROVIDED TO THE PATTERN AND DAVING PATTERN AND MUST BE APPROVED ON SITE BY THE LANDSCAPE ARCHITECT SEPORE
LUBGETRANON DAVIS LAND LATE ALIGNED DETAILED PLANS AND SHOP DEARWINGS FOR ALL
3.COMTRACTOR TO SHORT ITEMA ACCESS DETAILED PLANS AND SHOP DEARWINGS FOR ALL
BURNESIONS AND ADDRAWGEMENT FOR DAVING SHOWNED PATTERNS, EXACT

HARDSCAPE MATERIAL PAVING, CLADDING AND CAPPING SHOWING PATTERNS, EXACT DIMENSIONS AND MARRACEMENT FOR LANDSCAPE ACCURITED SHORT MAY AND SECORE ACCURITED SHOWING AND SECORE ACCURITED SHOWING AND SECORE ACCURITED SHOWING AND SECORE ACCURITED SHOWING AND SHOWING AND SECORE ACCURITED SHOWING AND SHOWING AND SECORE ACCURITED SHOWING AND SHOWING

SITE LAYOUT & GRADING NOTES

LALL PROPOSED DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH

STITE LAYOUT DIMENSIONS ARE IN M. UNLESS OTHERWISE INDICATED.

3.ALL PROPOSED LEVELS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH

CONSTRUCTION.

CONSTRUCTION. 4. STAIRS NUMBERS AND RISERS HEIGHT SHOULD BE VERIFIED ON SITE AND ADJUSTED AS SEEN NECESSARY AND AS APPROVED BY ENGINEER. NECESSARY AND AS APPROVED BY ENGINEER.

SOMTRACTOR TO CROSS OFFICE ALL EYTERNAL WORKS LEVELS WITH EXISTING BUILDINGS. ANY DISCREPANCIES TO BE SUBMITTED FOR THE LANDSCAPE ARCHITECT'S FEEDBACK.
TO FROM THE PROPERTY OF THE STATE OF THE LANDSCAPE ARCHITECT'S FEEDBACK.
TO FROM LAYING OF FROM SHO CARE PRANICA SAID ASSOCIATED DRAWINGS EFEET TO ENGINEER'S DRAWINGS AND SPECIFICATIONS.
BITHER PRINTS OFFICIAL STATE OF THE STATE

IRRIGATION NOTES

1. INGI JEFFLIGHON (JRRIGATION SYSTEM TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, BY LANDSCAPE CONTRACTOR.

SHOWN ON THE DRAWING, BY LANDSCAPE CONTRACTOR.

SHOWN ON THE DRAWING, BY LANDSCAPE CONTRACTOR.

JUST PROVIDED (17) 2". CONSTRUCTION TO THE STUB OF THE CONTRACTOR.

LANDSCAPE REVEW AT LEAST ONE WEEK PRICE TO INSTALLATION AND AS BUILD DRAWING. FOR LANDSCAPE REVEW AT LEAST ONE WEEK PRICE TO INSTALLATION AND AS BUILD DRAWING. FOR LANDSCAPE STORMS IT CHAPTER OF THE CONTRACTOR OF THE CONTRACTOR.

JUST LAYLE BOOKES, FLC VALVE BOOKS TO BE LOCATED IN LOW-VISIBLE PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.

JUST LAYLE BOOKES, FLC VALVE BOOKS TO BE LOCATED IN LOW-VISIBLE PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.

JUST LANDSCAPE STANDARDS.

JUST LANDARDS.

JUST L IRRIGATION NOTES

1. HIGH EFFICIENCY IRRIGATION SYSTEM TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS

LANDSCAPE LIGHTING HOTES

1. ALL LIGHTING FORTS SHOWN ON LANDSCAPE PLANS ARE FOR REFERENCE ONLY FOR ALL LIGHTING FORTIS SHOWN ON LANDSCAPE PLANS ARE FOR REFERENCE ONLY FOR ALL LIGHTING FORTISES AND TYPES REFER TO ELECTRICAL DRAWNINGS AND SPECIFICATIONS.

PRIOTOMETRIC 5 TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION ON SITE.

INSTALLATION ON SITE.

SPECIFICATIONS.

SPECIFICATIONS:

A LIGHTING SPECS TO BE COORDINATED AND REVIEWED WITH ELECTRICAL PRIOR TO

LIGHTING SPECS TO BE COORDINATED AND REVIEWED WITH ELECTRICAL PRIOR TO

STREET TREES AND FURNISHINGS TO BE LOCATED AT ACCEPTABLE OFFSITE- REFER TO LAYOUT

DRAWINGS AND MINICIPAL YSTANDARDS

D	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
REES				1000000			
lro	4	Acer rubrum 'October Glory'	October Glory red maple	as shown	6cm cal/B&B	full/ bushy canopy	P, S
3n	3	Betula nigra	river birch	as shown	6cm cal/B&B	full/ bushy canopy	N,W,B,P
Mgd	3	Magnolia 'Daybreak'	Daybreak magnolia	as shown	6cm cal/B&B	full/ bushy canopy	
SHRUE	SS/GR	OUNDCOVERS / PERENNIALS		1/2			
Camf	6	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire dogwood	0.91	#5 cont.	full/ bushy plants	W
Csk	107	Cornus sericea 'Kelseyi'	dwarf red osier dogwood	0.61	#3 cont.	full/ bushy plants	N, B, P, W
Csp	6	Corylopsis spicata	winter hazel	1.07	#7 cont.	full/ bushy plants	P, W
Do	33	Daphne odora	fragrant daphne	0.76	#2 cont.	full/ bushy plants	E, W
Hma	4	Hydrangea macrophylla	bigleaf hydrangea	1.07	#7 cont.	full/ bushy plants	
Lah	197	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue lavender	0.51	#2 cont.	full/ bushy plants	E, P, Ed
Lis	193	Liriope spicata	creeping lily turf	0.36	#1 cont.	full/ bushy plants	E, B, P
Lp	139	Lonicera pileata	box leaf honeysuckle	0.76	#2 cont.	full/ bushy plants	E, B, P
Rfdh	73	Rosa 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup rose		#2 cont.	full/ bushy plants	B, P
Ryc	39	Rhododendron yakushimanum 'Crete'	Crete rhododendron		#5 cont.	full/ bushy plants	E, P
Tmh	224	Taxus x media 'Hillii'	Hill's yew	0.61	1.2m ht/B&B	full/ bushy plants	E
	0						
LAWN		1					
		Non-Netted, grown on sand		1			
NOTES			-				
1 ALL OF A D	LANDS	CAPE TO CONFORM TO THE CURRENT MANCY BETWEEN THE PLANT LIST AND JEA TO INCLUDE BRITISH COLUMBIA. W	THE PLANTING PLAN, THE PI				N THE EVENT

3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST S - VERY SUITABLE/SUITABLE AS PER URBAN TREE LIST FOR METRO VANCOUVER IN A CHANGING CLIMATE

4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

D	DETAIL	DESCRIPTION	SIZE	COLOUR	MATERIAL	MODEL	MANUFACTURER	QTY	NOTES
-1	2/L9.3	Bike Rack	-	Black	Metal, Powder Coated	Staple	Urban Rack	3	
F2	3/L9.3	Bench	-	-	-		-	-0	
F3	1/L9.3	Metal Planter	3'-6" x 19'-6" x 2'-3"	Tuscan	Aluminum		C3 Planters	1	
F5	5/L9.3	Timber Planter	Varies	Natural	Cedar	Custom	Custom	17	
F6		Potting Table	6'-0" x 6'-0" x 3'-0"	Natural	Cedar	Custom	Custom	1	
F7		Shed		Natural	Cedar	Custom	Custom	1	
MA	TERIALS		-				_		
D	DETAIL	DESCRIPTION	SIZE	COLOUR	PATTERN	MODEL	MANUFACTURER	QTY	NOTES
M1	2/L9.1	Pedestrian Concrete	4'-0" x 4'-0" Sawcut	Natural					Broom Finish
M2	04-9-1	Slab Paver	2'-0" x 2'-0" x 2"	Charcoal	Stack Bond	Manhattan	Newstone		On Pedestal

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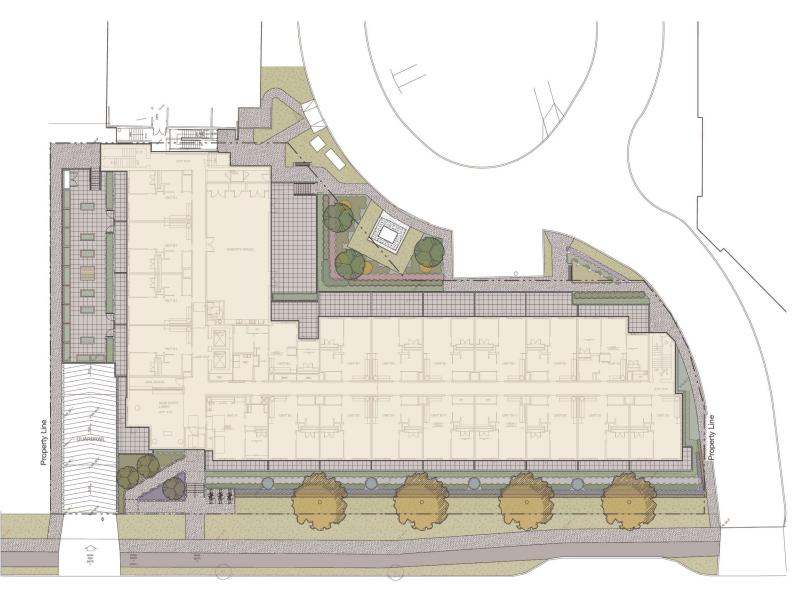
Langley Lions Alder Replacement

5470 203rd Street Langley, BC

Drawing Title

Landscape Notes & Schedules

Project Manager MG	22517
Drawn By Drawn By	Scale NTS
Reviewed By	L0.1
	18





Revision

Date Revision

No. Date Issue Notes

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Langley Lions Alder Replacement

5470 203rd Street Langley, BC

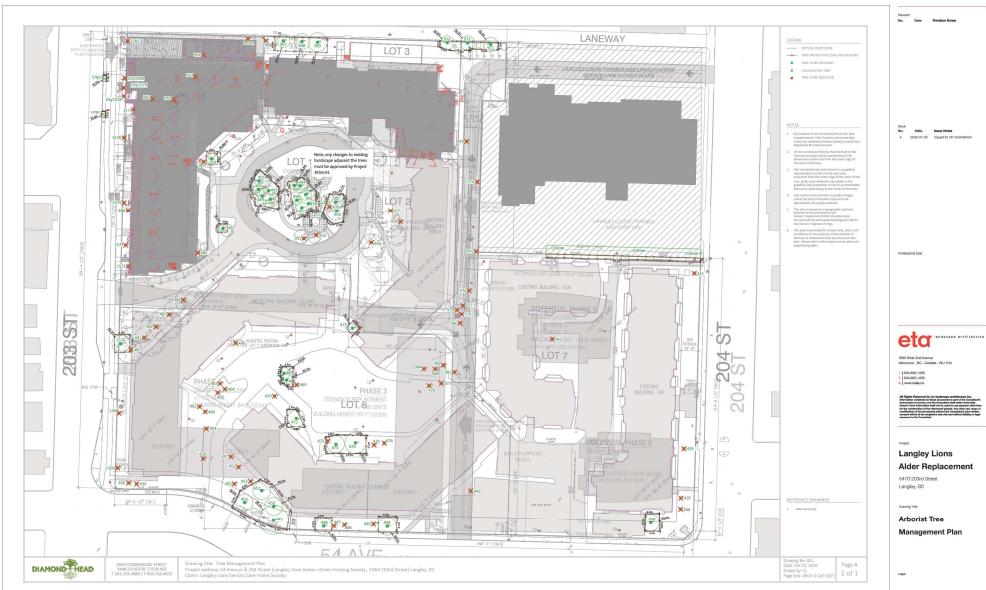
Drawing Titl

Landscape Illustrative Plan

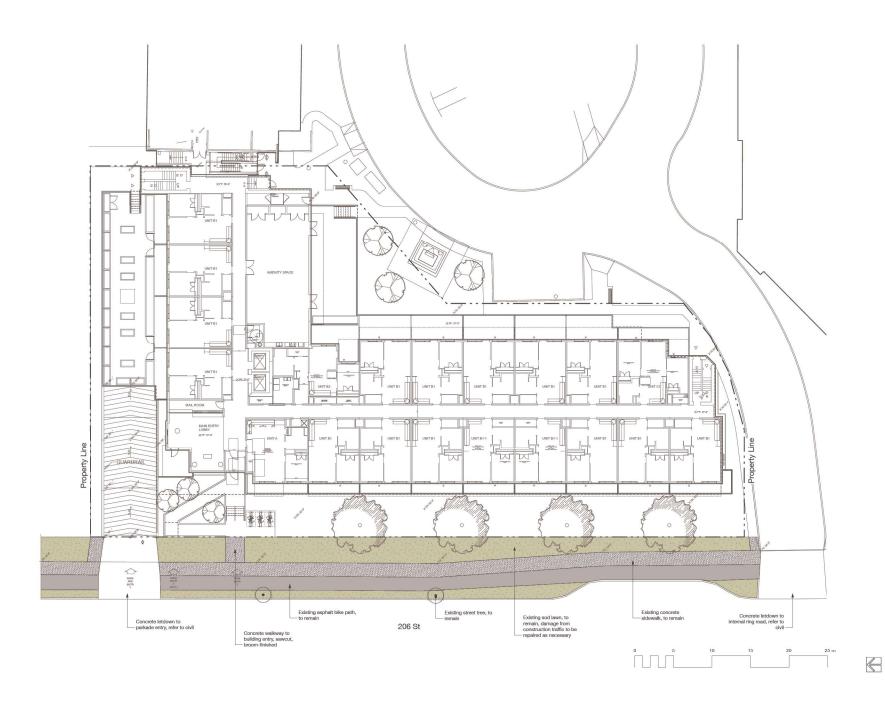
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Project Manager M/G	22517
Drawn By Drawn By	As Noted
Reviewed By	L0.2





Management Plan L1.0



Revision
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Langley Lions
Alder Replacement

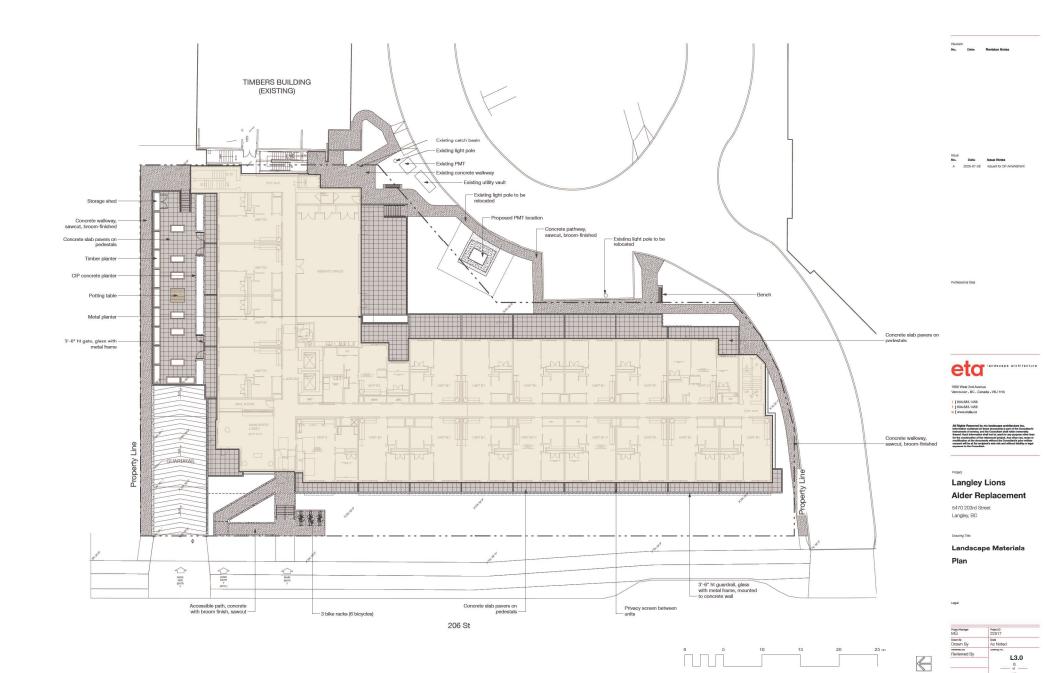
5470 203rd Street Langley, BC

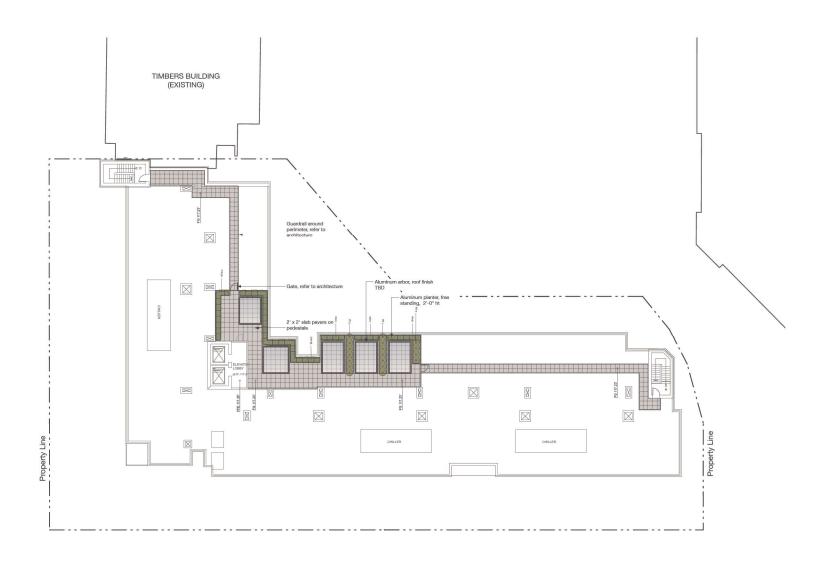
Drawing Title

Offsite Plan

Legal

Project Manager M/G	22517
Drawn By Drawn By	As Noted
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Langley Lions Alder Replacement

5470 203rd Street Langley, BC

Drawing

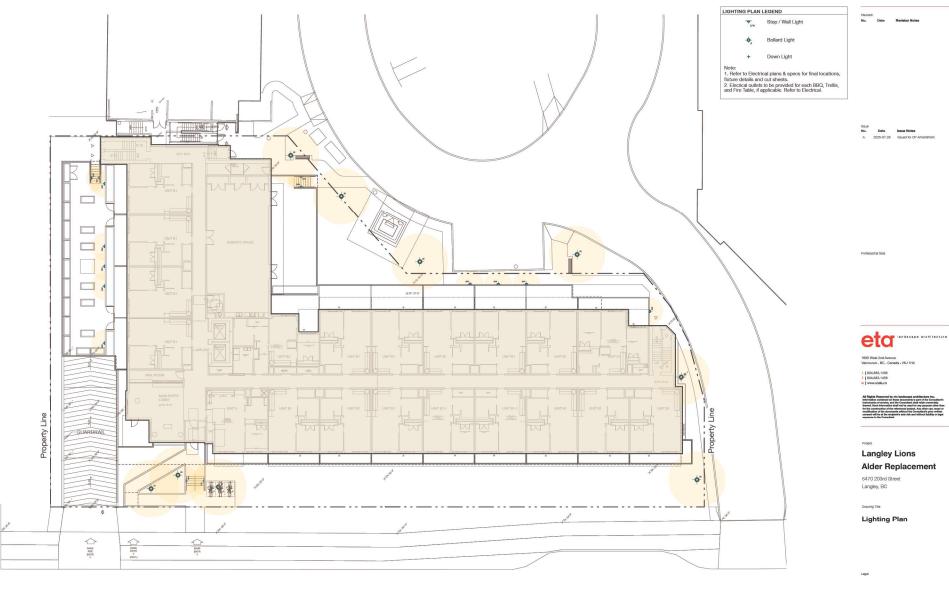
Landscape Plan -

Roof

Leg

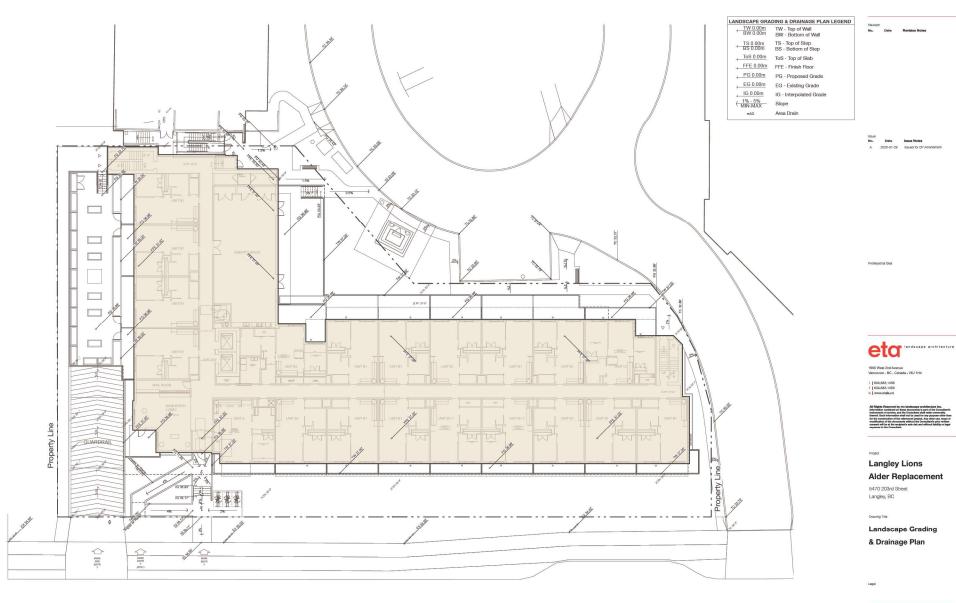
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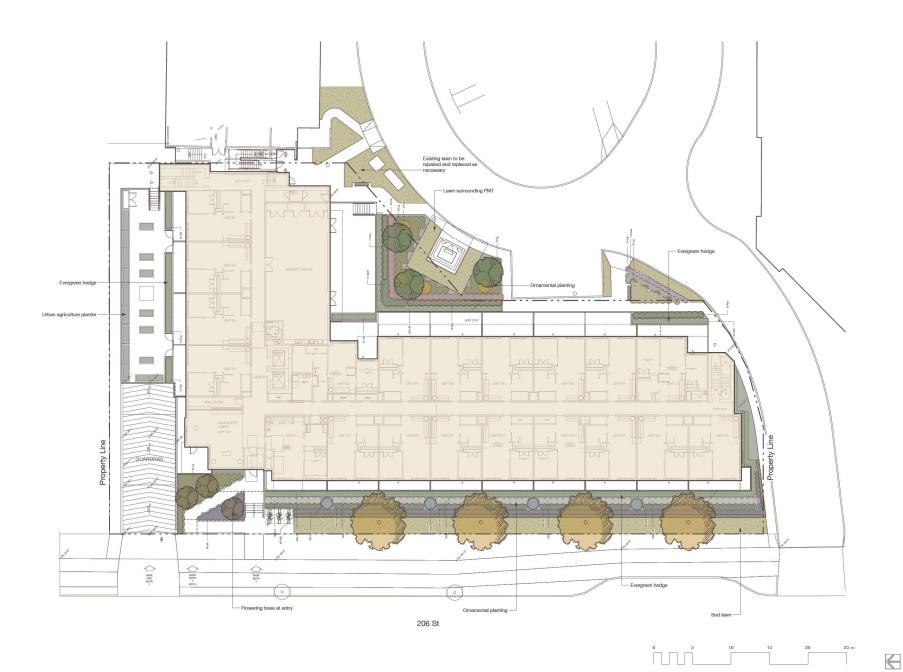












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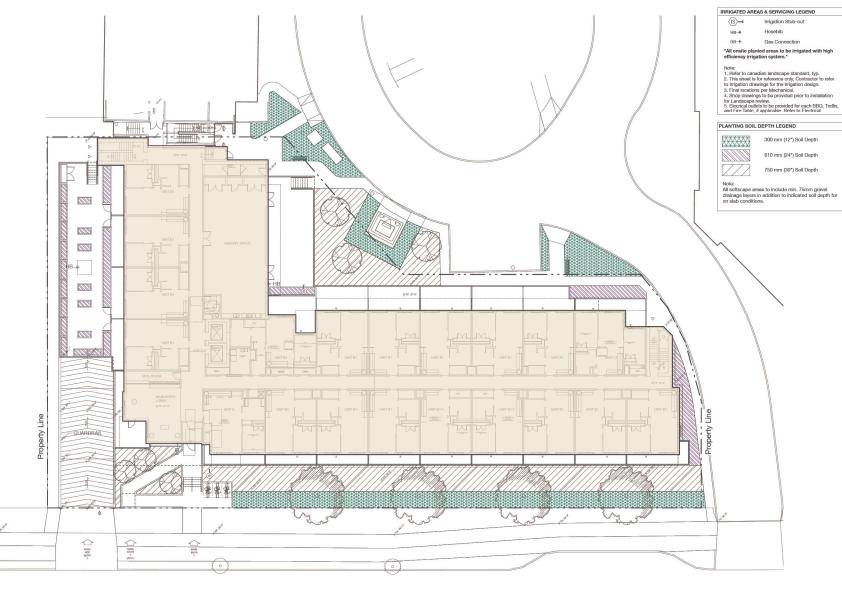
5470 203rd Street Langley, BC

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Planting Plan

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Drawn By Drawn By	As Noted
Reviewed By	L6.0





No. Date Issue Notes
A 2005-07-29 Issued for DP Amendmen

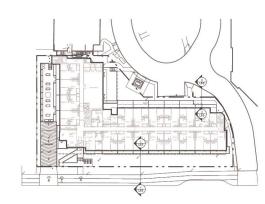
eta landocapo architecturo

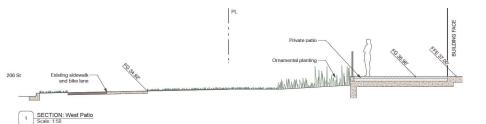
Langley Lions Alder Replacement

5470 203rd Street Langley, BC

Soil Depth & Servicing Plan

Project Manager M/G	22517
Drawn By Drawn By	As Noted
Reviewed By	L7.0
	18





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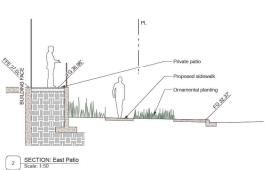
t | 604,683,1456 f | 604,683,1459 w | www.etala.ca

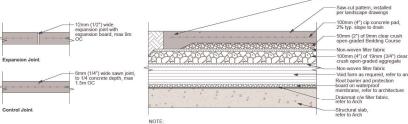
Langley Lions Alder Replacement

5470 203rd Street Langley, BC

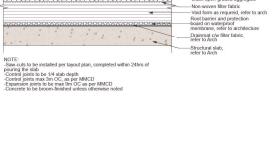
Landscape Sections & Elevations

Project Manager MG	22517
Drawn By Drawn By	As Noted
Reviewed By	L8.0





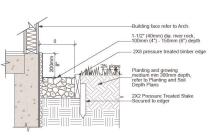
1 DETAIL: CIP Concrete on Slab Scale: 1:10



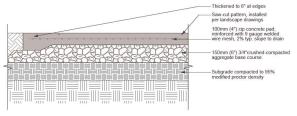
Thickened to 6" at edges

Concrete unit aware, installed per landracep installed per landracep drawings, 2% slope to drain 25mm (17) - 50mm (27) sand setting bed 5mm (67) - 5mm (67) crushed-compacted aggregate base course compacted subgrade

3 DETAIL: Unit Pavers on Grade Scale: 1:10

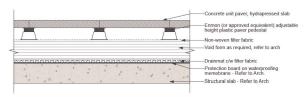


5 DETAIL: Drip Strip on Grade Scale: 1:10

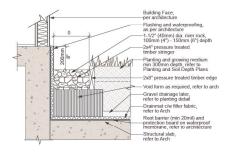


NOTE:
-Saw-cuts to be installed per layout plan, completed within 24hrs of pouring the slab pouring the slab

2 DETAIL: CIP Concrete on Grade Scale: 1:10



4 DETAIL: Slab Pavers on Pedestal Scale: 1:10



6 DETAIL: Drip Strip on Slab

cted

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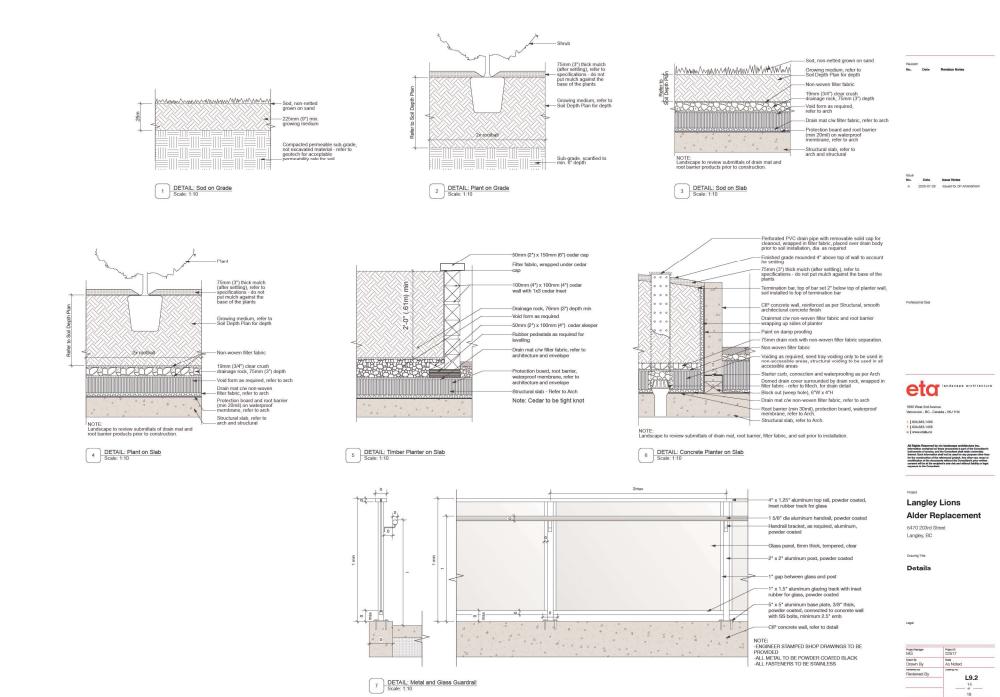
Langley Lions
Alder Replacement

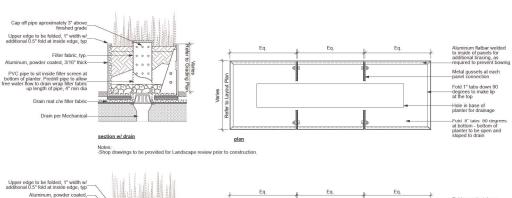
5470 203rd Street Langley, BC

Details

2 2

Project Manager M/G	22517
Drawn By Drawn By	As Noted
Reviewed By	L9.1





Upper edge to be folded, 1" width w additional (0.5" fold at inside edge, typ

Aluminum, powder coaled,
Aluminum, powder
Coaled, 31°E thick
Coaled, 31°E th

Notes: -Shop drawings to be provided for Landscape review prior to construction.











Revision

Date Revision Not

No. Date Issue Notes
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Langley Lions Alder Replacement

5470 203rd Street Langley, BC

Drawing Title

Details

- 0

Project Manager M/G	22517
Drawn By Drawn By	As Noted
Reviewed By	L9.3