



5721+5725 PRODUCTION WAY

ISSUED FOR DEVELOPMENT PERMIT

January 28, 2026

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5	2026.02	Issued for DP
3	2025.12	Prepared for ADP Comments
2	2025.11	Prepared for DP
1	2026.01	Issued for DP
SCALE	DATE	DESCRIPTION
PROJECT NUMBER	DATE	ISSUED FOR
		2002



TKA+D ARCHITECTURE + DESIGN LTD.
2500 WESTERN AVENUE, SUITE 200, VANCOUVER, BC V6V 2C6

Production Way

5721 Production Way, Langley BC

Cover

PLOT DATE: 2026-01-28 1:27:18 PM

A00

PROJECT TEAM:

ARCHITECT	TKA+D #305 - 1930 Pandora Street, Vancouver BC 604.566.3499 Craig Taylor Stefan Walsh Mike Knauer
DEVELOPMENT MANAGER	Hungerford Properties #1088 - 550 Burrard Street Vancouver BC 604.736.8500 Jeremy Bergmann Joshua Melton
CIVIL ENGINEER	Centras Engineering Ltd 306-2630 Croydon Drive Surrey, BC 604.417.3115 Tommy Buchmann Gurpreet Parmar
LANDSCAPE ARCHITECT	David Stoyko 604-720-0048 David Stoyko
BUILDING CODE	GHL Consultants Ltd 800 - 700 West Pender St Vancouver, BC 604.688.4449 Taishi Ito Jeff Mitchell

ZONING SUMMARY:

CVIC ADDRESS:
5721 Production Way, City of Langley, BC

LEGAL DESCRIPTION:
Plan NWP45918 Lot 93

AUTHORITY:
City of Langley

ZONE:
I1

USES:
Light Industrial, Offices and Self-Storage

SITE AREA:
166,781 SF (15,495 SM)

FASEMENTS:
ROWS AS INDICATED ON A10 (BCP49151)

LOT COVERAGE:
Building Footprint:
Permitted: N/A
Proposed: 73,172 SF (43.8%)

DENSITY (FAR):
Permitted: N/A
Proposed: 1.27 FAR

SETBACKS:
In the following table, "Proposed" setback refers to the closest point of the building to the property line along each yard.

AREA SUMMARY

Area Summary by Occupancy

Occupancy	%	Area (SF)	Area (SM)
Light Industrial	7.9%	14,852	1,380
Light Industrial (Offices)	8.7%	12,082	1,122
Light Industrial (Self Storage)	86.7%	144,946	17,288
Services	0.6%	1,233	116
	100.0%	212,223	19,717

Area Detail by Building

Level	Occupancy	Area (SF)	Area (SM)
Building 1			
L1	Light Industrial (Offices)	3,398	316
L1	Services	902	87
L1	Light Industrial	1,913	179
L1	Light Industrial	2,254	209
L1	Light Industrial	2,254	209
L1	Light Industrial	2,254	209
L1	Light Industrial	3,023	284
L2	Light Industrial (Offices)	1,283	117
L2	Light Industrial (Offices)	1,029	96
L2	Light Industrial (Offices)	1,029	96
L2	Light Industrial (Offices)	1,029	96
L2	Light Industrial (Offices)	1,029	96
Building 1		25,029	2,409
Building 2			
L1	Services	383	36
L1	Services	368	34
L2	Light Industrial (Self Storage)	58,160	5,403
L1	Light Industrial (Offices)	1,509	140
L2	Light Industrial (Self Storage)	62,905	5,844
L3	Light Industrial (Self Storage)	62,978	5,851
Building 2		186,298	17,306
Green Building Area		212,228	19,717

PARKING SUMMARY

Parking Required by Building

Use	Area (SF)	Required Per SF	Total Spaces
Building 1			
Light Industrial	14,852	1,076	15,828
Light Industrial (Offices)	12,082	1,076	12,904
Services	503	1,076	540
Building 1			29,272
Building 2			
Light Industrial (Offices)	1,509	1,076	1,613
Light Industrial (Self Storage)	184,040	1,076	197,716
Services	750	1,076	807
Building 2			199,136
Total Parking Required			300,408

Parking Provided by Building

Building	Use	Spaces
Building 1	Langley Ass. Stal. Accessible Stal. 3.7m x 5.3m	4
	Langley Reg. 2.5m x 5.5m	8
	Parking Langley Small Stal. 2.5m x 4.0m	12
	Building 1	24
Building 2	Langley Ass. Stal. Accessible Stal. 3.7m x 5.3m	2
	Langley Parallel 2.0m x 6.0m	21
	Langley Parallel 3.2m x 6.7m next to wall	6
	Langley Reg. 2.5m x 5.5m	46
Building 2	Langley Reg. 3.2m x 5.3m next to wall	2
	Parking Langley Small Stal. 2.5m x 4.0m	6
Total Parking Provided	Building 2	87
	Building 1	111

Accessible Parking

Min. % of total	Required	Provided
6	6	6

PARKING VARIANCE REQUESTED:
A variance is requested on the rate for the provision of the Light Industrial occupancy within Building 2 due to the reduced actual parking demand associated with the Self-Storage business use. The reduced demand for this occupancy is illustrated in the provided Traffic Demand Study. The variance for Building 2 parking is requested to be reduced from 1 stall per 100sqft to 0.5 stalls per 100sqft.

GRAPHICS & SYMBOLS:

Existing construction to be retained		Detail Reference
Existing construction to be demolished		Wall / Detail Section Reference
New stud wall construction as indicated		Building Section Reference
New insulated stud wall construction as indicated		Interior Elevation Reference
Demolition Tag		Matchline View Reference
Room Tag		Third Reference
Door / Window Tag		Level Reference
Wall / Floor / Roof Type Tag		Spot Elevation (Relative to Topographical Survey)
Material / Finish Keynote Tag		Spot Elevation (Relative to Project Base)
Millwork Tag		North Arrow
Specialty Equipment Tag		Ceiling Type Tag
Centre Line		
Property Line		
Fire Hydrant		
Manhole Cover		
Catch Basin		

Front Yard (Production Way):
Required: 4.5 m (14.76 ft)
Proposed: 4.5 m (14.76 ft)

Interior (North):
Required: 0 m (0 ft)
Proposed B1: 0.5 m (1.65 ft)
Proposed B2: 7.5 m (24.66 ft)

Interior (South):
Required: 0 m (0 ft)
Proposed B1: 14.7 m (48.16 ft)
Proposed B2: 10.7 m (35.08 ft)

Rear (196th Avenue):
Required: 0 m (0 ft)
Proposed: 12.4 m (40.1 ft)

SRW Plan BCP49151 (Rear):
Required: 4.0 m (13.12 ft)
Proposed: 12.4 m (40.1 ft)

BUILDING HEIGHT
Height Permitted: 30.0 m (98.40 ft)
Height Proposed: 16 m (52.5 ft)
Storeys Proposed B1: 2 Storeys
Storeys Proposed B2: 3 Storeys

**According to Map 16 - Airport Zoning Regulation (AZR) Guidelines: Approximate Height Limits Above Runway Extension of the City of Langley Official Community Plan (P 132), 5721 Production Way falls in the "Outer Surface" area which restricts building height to 45m, with any building over 25m requiring confirmation from Transport Canada.*

OUTDOOR AMENITY AREA
Not forming part of the building area

Amenity Area: 221.3 m² (2,382 sf.)

LOADING SUMMARY

Loading Spaces Required

Use	Area	ZBL Requirement	Total
Light Industrial (Total)	18,800 m ² (210,973 sq ft)	Each additional 2,322 m ² (25,005.38 sq ft) or fraction thereof	9
Total Required			9

Loading Provided

Level	Langley Loading: 3m x 6m	Total
L1	11	11

BICYCLE SUMMARY

Class 1 Bicycle Spaces - Office

Rate	Required
1 Space / 750 SM / 8,072.93 SF of GFA	2

Class 2 Bicycle Spaces - Light Industrial

Rate	Required
1 Space per 10 employees	7

Class 2 Bicycle Spaces - Overall

Rate	Required
6 spaces per unit	42

TOTAL BICYCLE STALLS REQUIRED: 51

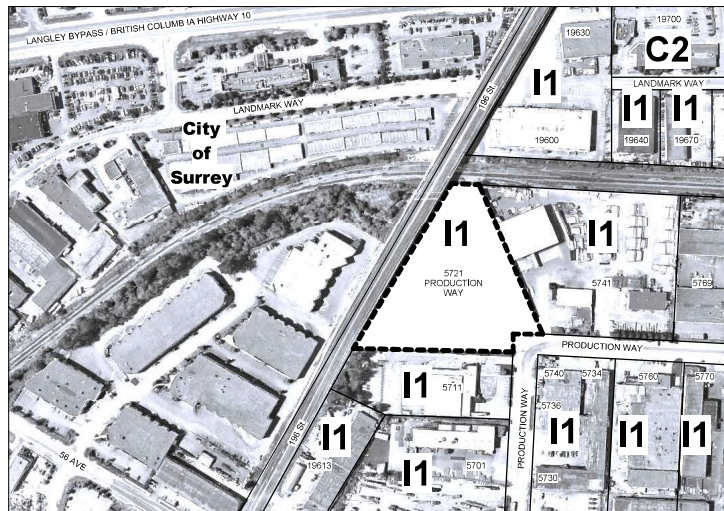
Total Bicycle Stalls Provided

Stall Type	Provided
Bicycle Class B Horizontal	13
Bicycle Class B Horizontal	51
TOTAL BICYCLE SPACES PROVIDED: 64	

RECYCLE AND GARBAGE SUMMARY

Garbage and recycling pickup to be provided by private agreement.

LOCATION PLAN



1	3/6/23	Issue for DP
2	2/15/24	Response to RFP Comments
3	2/15/24	Response to DP
4	2/15/24	Issue for DP
5	2/15/24	Issue for DP
6	2/15/24	Issue for DP
7	2/15/24	Issue for DP
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99	2/15/24	Issue for DP
100	2/15/24	Issue for DP



Production Way

5721 Production Way, Langley BC

Project Data

PLOT DATE: 2024-01-26 1:27:18 PM

A01



5 30.0.28 Issue for DP
 4 25.10.18 Prepare for DP Comments
 3 25.11.18 Prepare for DP
 2 25.11.18 Issue for DP
 1 20.06.18 Issue for DP
 PREPARED BY: J. GREGG
 SCALE: DATE: 30.01.19 DRAWN BY: J. GREGG
 PROJECT NUMBER: 2002

HUNGERFORD PROPERTIES

TKA+D ARCHITECTURE DESIGN INC.

Production Way

5721 Production Way, Langley BC

Context Views

PLOT DATE: 2024-01-28 1:27:19 PM

A02

**CANADA POST
(5711 PRODUCTION WAY)**

**HUNGERFORD PROJECT
5721 - 5725 PRODUCTION WAY**

**WESTMAN STEEL INDUSTRIES
(5741 PRODUCTION WAY)**

(5769 PRODUCTION WAY)



STREETSCAPE ALONG PRODUCTION WAY (WEST TO EAST)→

19705 56 TH STREET

5671 PRODUCTION WAY

5701 PRODUCTION WAY

**CANADA POST
(5711 PRODUCTION WAY)**

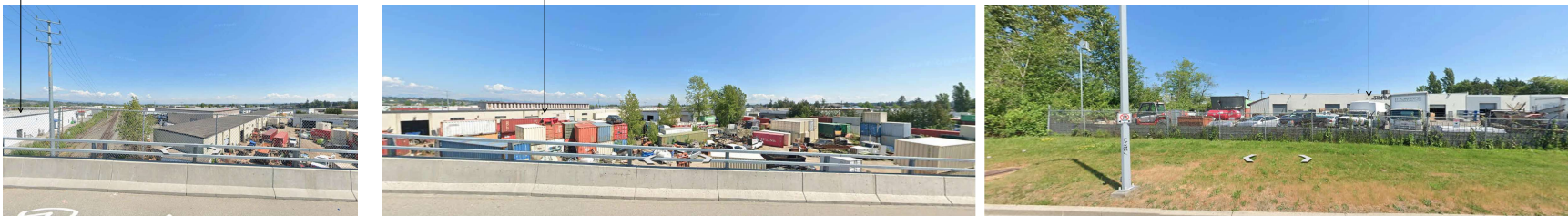


STREETSCAPE ALONG PRODUCTION WAY (SOUTH TO NORTH)→

19600 LANGLEY BYPASS

5741 PRODUCTION WAY

19613 56 AV



STREETSCAPE ALONG 196 ST (NORTH TO SOUTH)→



1 30.01.20 Issued for DP
 2 25.10.19 Prepared for RFP Comments
 3 25.11.19 Prepared for DP
 4 20.06.19 Issued for DP
 5 20.06.19 Issued for DP
 SEAL DATE: 10/08/2019
 PROJECT NUMBER: 25002

HUNGERFORD PROPERTIES

TKA+D ARCHITECTS + DESIGN INC.

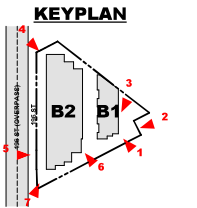
Production Way

5721 Production Way, Langley BC

Streetscape

PLOT DATE: 2024-01-28 1:27:20 PM

A03



① **B1 - Southeast Corner View**



② **B1 - East View**



③ **B1 - East (Looking South)**



④ **3D View 5**



⑤ **B2 - West View (from 196 St)**



⑥ **B2 - Southeast Corner View**



⑦ **B2 - Southwest Corner View**

5	30.01.24	Issued for DP
4	25.10.24	Prepared for DP Comments
2	25.11.23	Prepared for DP
1	20.06.23	Issued for DP
REV	DATE	DESCRIPTION
SCALE	1" = 1/4" @ DATE	30.01.24
PROJECT NUMBER	25002	

HUNGERFORD PROPERTIES

TKA+D ARCHITECTURE + DESIGN LTD.

Production Way

5721 Production Way, Langley BC

3D Views

PLOT DATE: 2024-01-28 1:28:33 PM

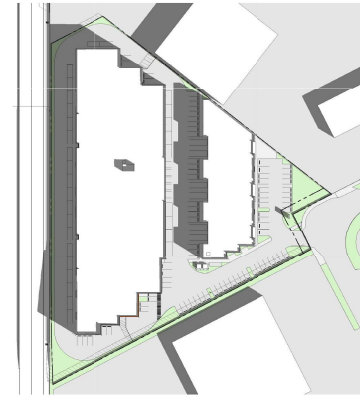
A04



① **Spring Equinox - 9 am**
1: 1000



② **Summer Solstice - 9 am**
1: 1000



③ **Fall Equinox - 9 am**
1: 1000



⑤ **Spring Equinox - Noon**
1: 1000



⑦ **Summer Solstice - Noon**
1: 1000



⑨ **Fall Equinox - Noon**
1: 1000



⑥ **Spring Equinox - 3 pm**
1: 1000



⑧ **Summer Solstice - 3 pm**
1: 1000



⑩ **Fall Equinox - 3 pm**
1: 1000



5 24.01.24 Insert for DP
3 25.12.24 Response to RSP Comments
1 25.01.24 Insert for DP
SCALE DATE DESCRIPTION
SCALE 1:1000 DATE 2024.01.24 DRAWN BY
PROJECT NUMBER 25002

HUNGERFORD PROPERTIES

TKA+D ARCHITECTURE + DESIGN INC.

Production Way

5721 Production Way, Langley BC

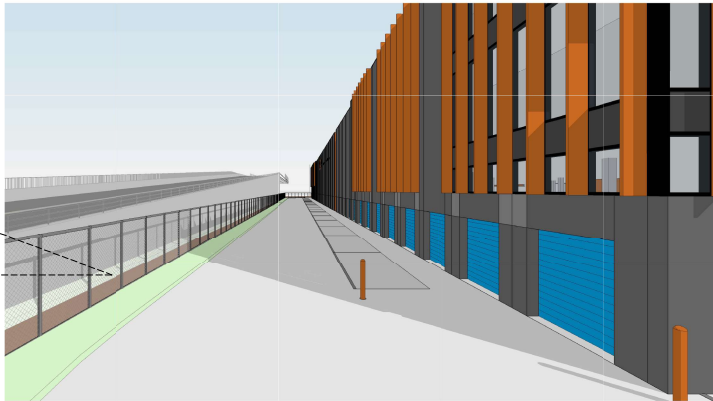
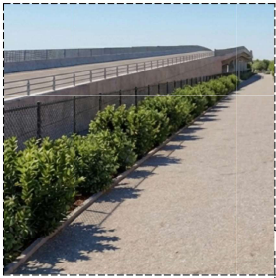
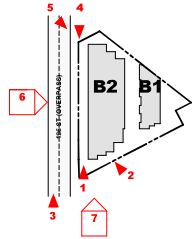
Shadow Study

PLOT DATE 2024-01-24 1:28:54 PM

A05



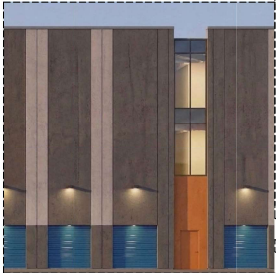
KEYPLAN



① West Driveway (Looking North)



② B2 - Southeast Corner (SS Entrance)



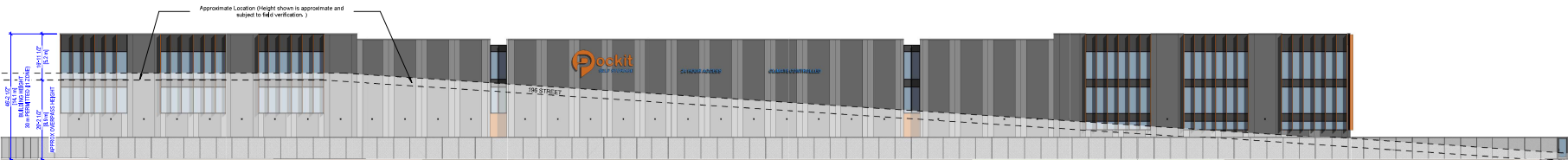
③ 196 Street (Overpass Looking North)



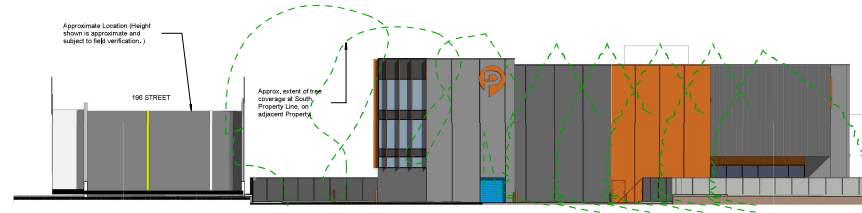
④ Northwest Corner Bottom (Looking South)



⑤ 196 St Overpass Looking South

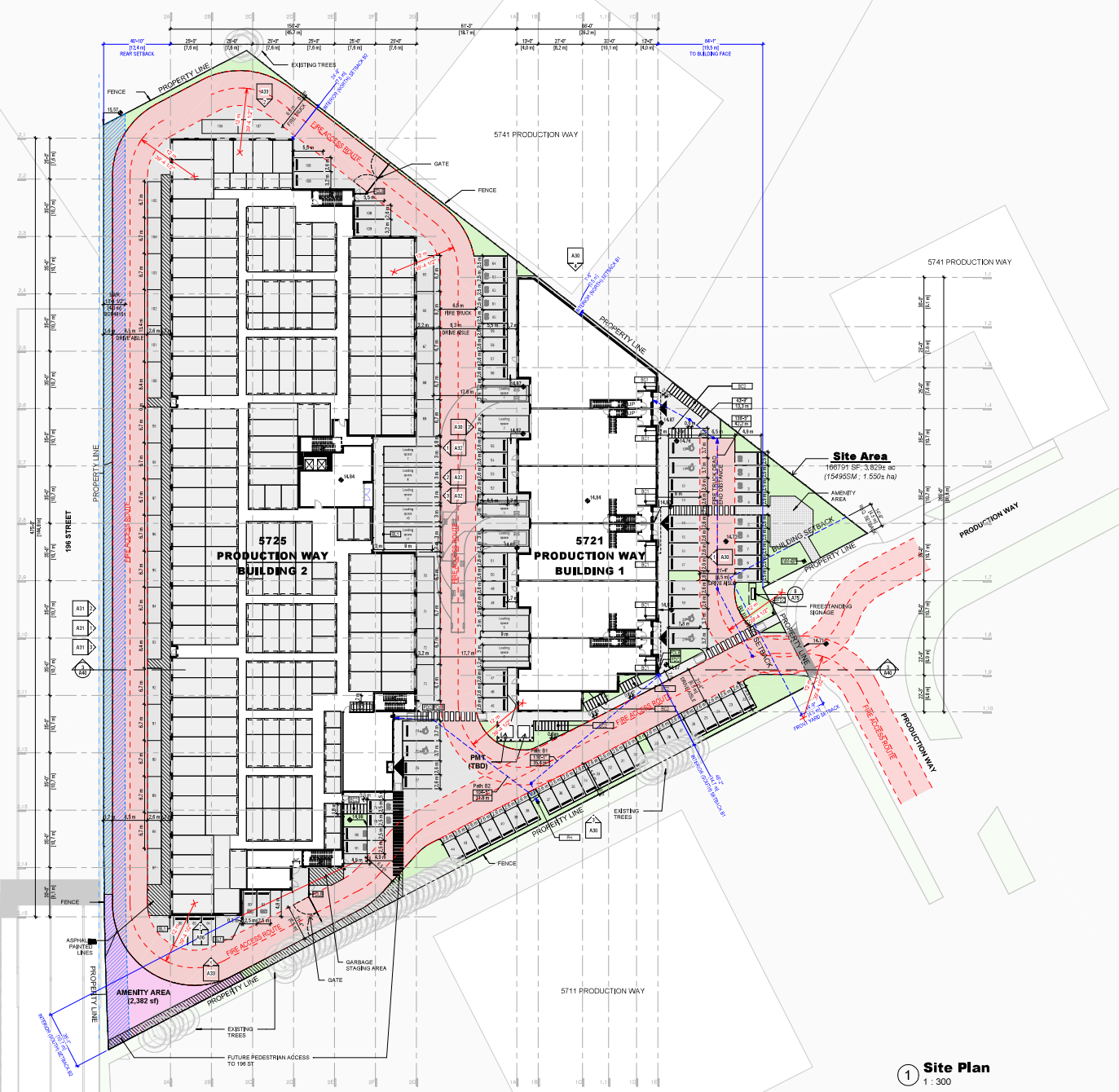


⑥ West Elevation (Showing Approx. Overpass height)
1/16" = 1'-0"



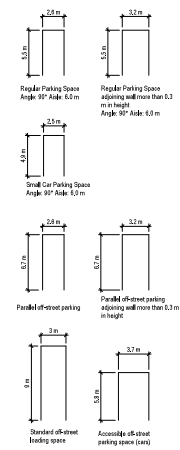
⑦ South Elevation (Showing Approx. Overpass height)
1/16" = 1'-0"

5	3/6/23	Issue for DP
4	2/6/23	Response to ADP Comments
3	2/12/23	Response to ADP Comments
1	2/28/23	Issue for DP
PREP	DATE	DESCRIPTION
SCALE	APPROVED	DATE
PROJECT NUMBER	25002	



PARKING DIMENSIONS

Off-street parking and loading stalls are typical as shown. Refer to C.O.L. Zoning Bylaw 2100, Part I, Section E.



TAG DESCRIPTION

TAG	DESCRIPTION
BC1	BICYCLE CLASS I
BC2	BICYCLE CLASS II
BL1	
FDC	FIRE DEPARTMENT CONNECTION
FDLB	FIRE DEPARTMENT LOCK BOX
PH	FIRE HYDRANT
RFDC	REMOTE FIRE DEPARTMENT CONNECTION
WM+BP	WATER METER + BACKFLOW PREVENTER



1	30.01.20	Issue for DP
2	25.11.20	Response to DP Comments
3	25.11.20	Revised for DP
4	25.10.20	Issue for DP
5	25.10.20	Final

SCALE: As Shown | DATE: 2020.01.20 | DRAWN: JMW | PROJECT NUMBER: 2002



TKA+D ARCHITECTURE INC. 225-1111 15th Street, Langley BC V2Y 1L2

Production Way

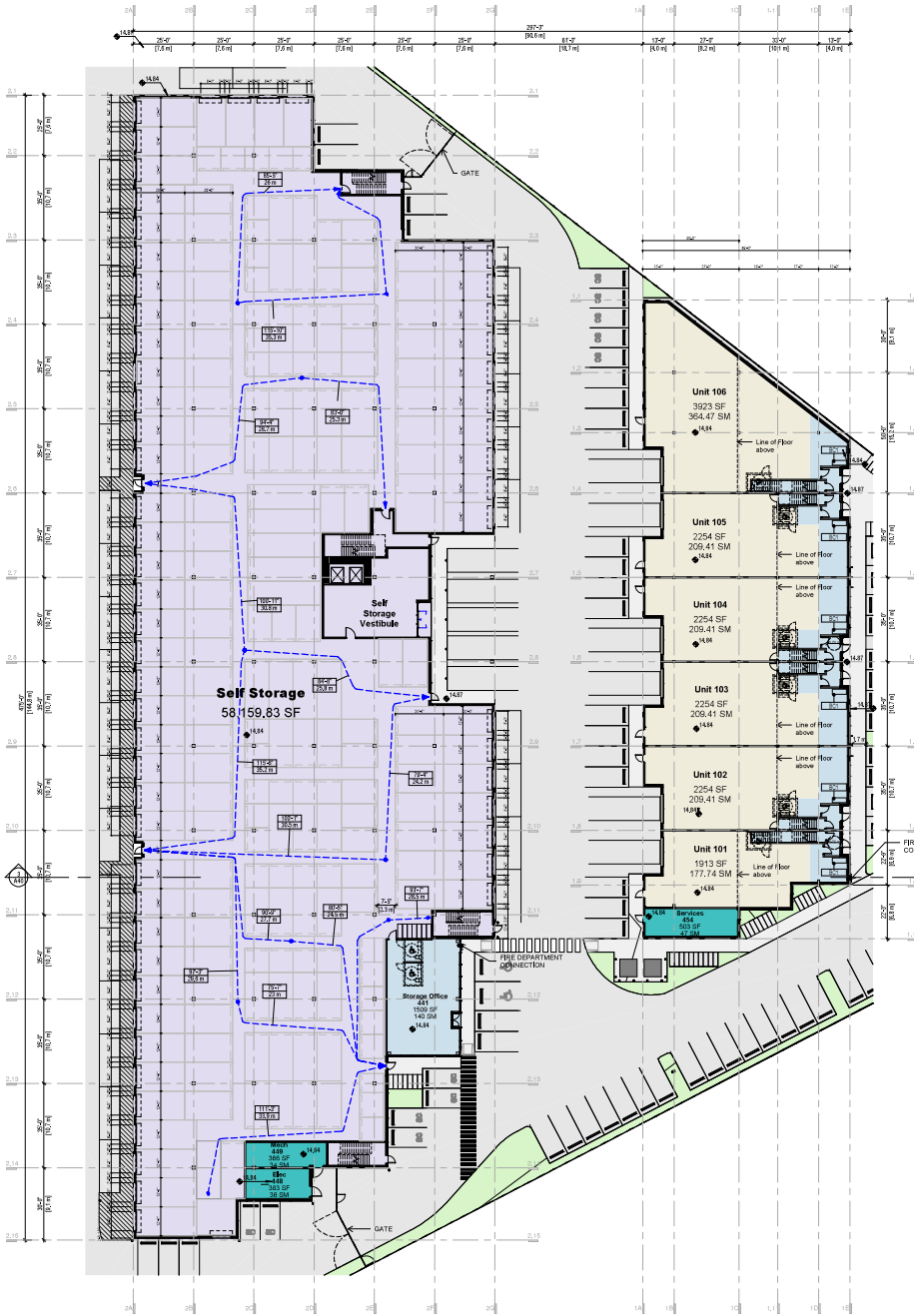
5721 Production Way, Langley BC

Site Plan

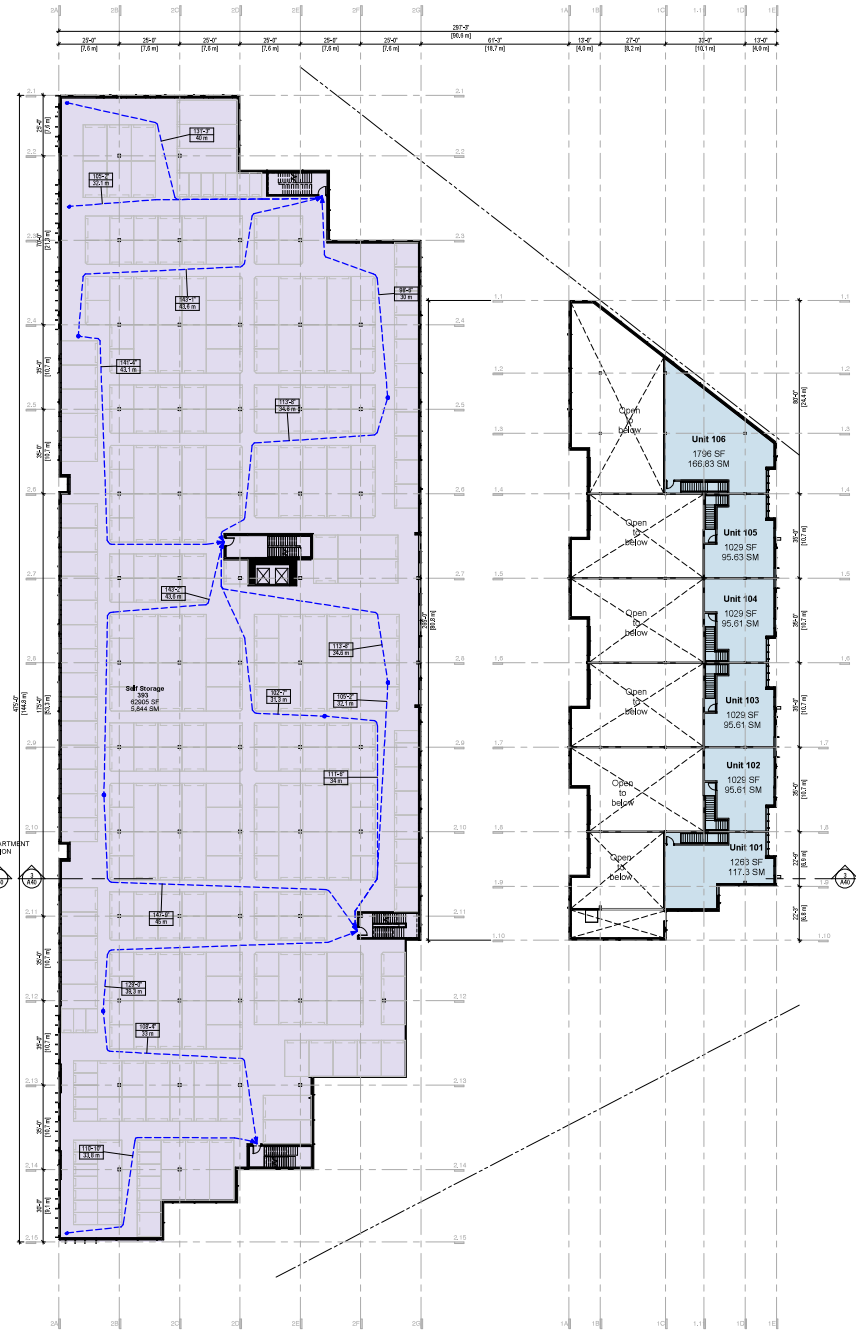
PLAT DATE: 2020-01-28 1:28:49 PM

A10

1 Site Plan
1 : 300



1 L1
1:250



3 L2
1:250



5 30.0.28 Issue for DP
4 25.11.18 Progress to RFP Comments
3 25.11.18 Progress to DP
2 25.11.18 Issue for DP
1 25.11.18 Issue for DP
REV DATE Description
SCALE 1:250 DATE 30.03.19 DRAWN BY
PROJECT NUMBER 2907



TKA+D ARCHITECTURE DESIGN LTD

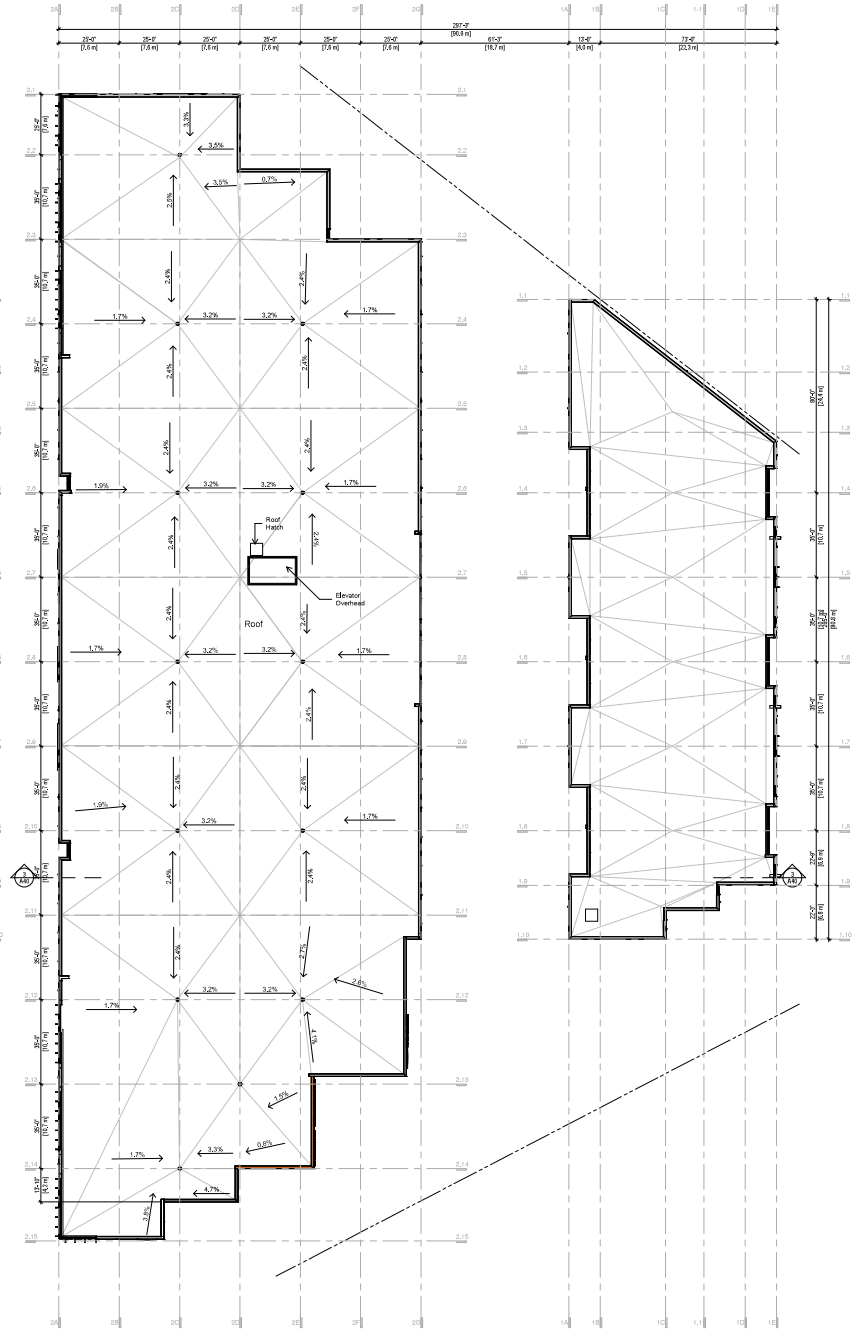
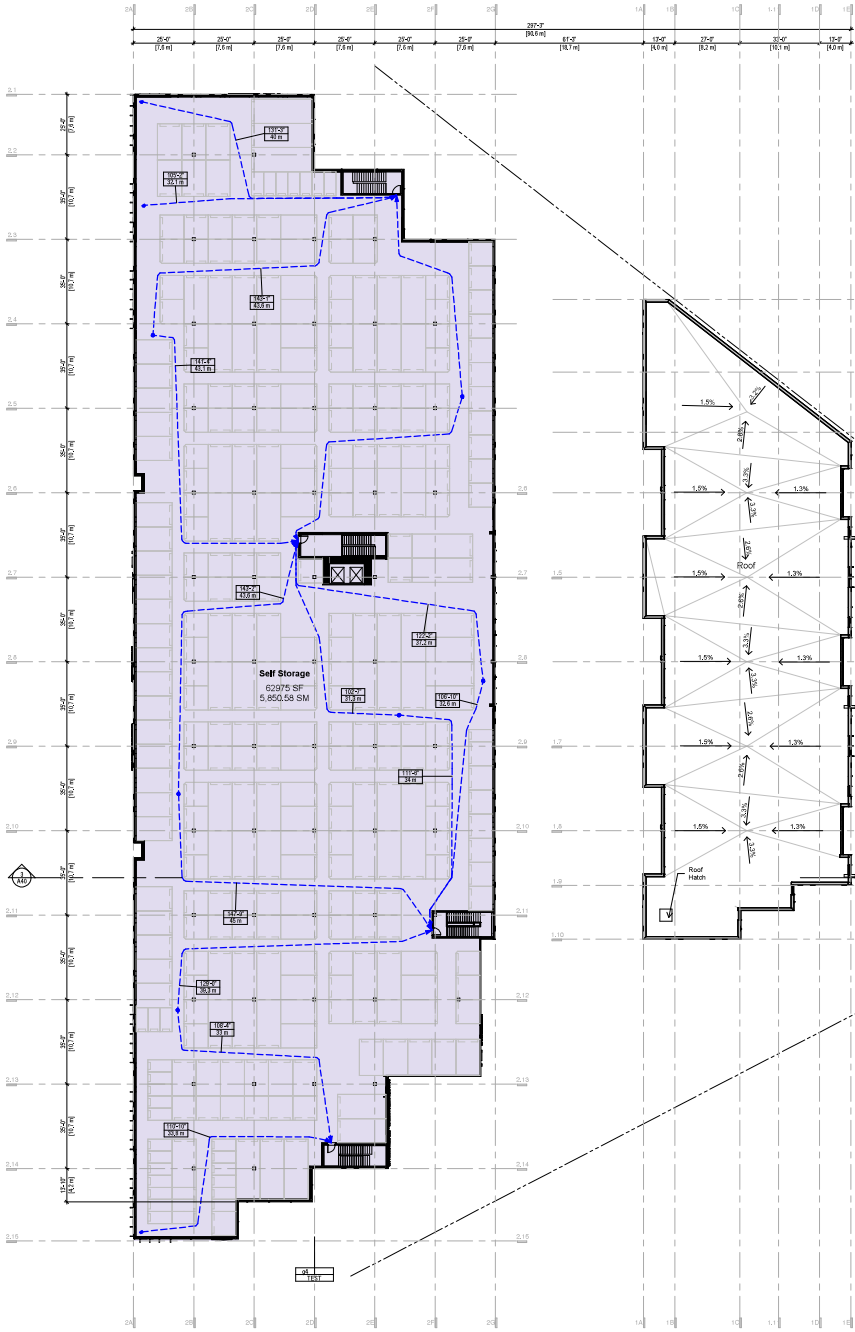
Production Way

5721 Production Way, Langley BC

Floor Plan L1 & L2

PLOT DATE 2024-01-28 1:28:51 PM

A11



1	30.0.28	Issue for DP
2	25.11.18	Response to DP Comments
3	25.11.18	Revised for DP
4	25.05.19	Issue for DP
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6	25.05.19	Issue for DP
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84	25.05.19	Issue for DP
85	25.05.19	Issue for DP
86	25.05.19	Issue for DP
87	25.05.19	Issue for DP
88	25.05.19	Issue for DP
89	25.05.19	Issue for DP
90	25.05.19	Issue for DP
91	25.05.19	Issue for DP
92	25.05.19	Issue for DP
93	25.05.19	Issue for DP
94	25.05.19	Issue for DP
95	25.05.19	Issue for DP
96	25.05.19	Issue for DP
97	25.05.19	Issue for DP
98	25.05.19	Issue for DP
99	25.05.19	Issue for DP
100	25.05.19	Issue for DP

HUNGERFORD PROPERTIES

TKA+D ARCHITECTURE & DESIGN LTD.

Production Way

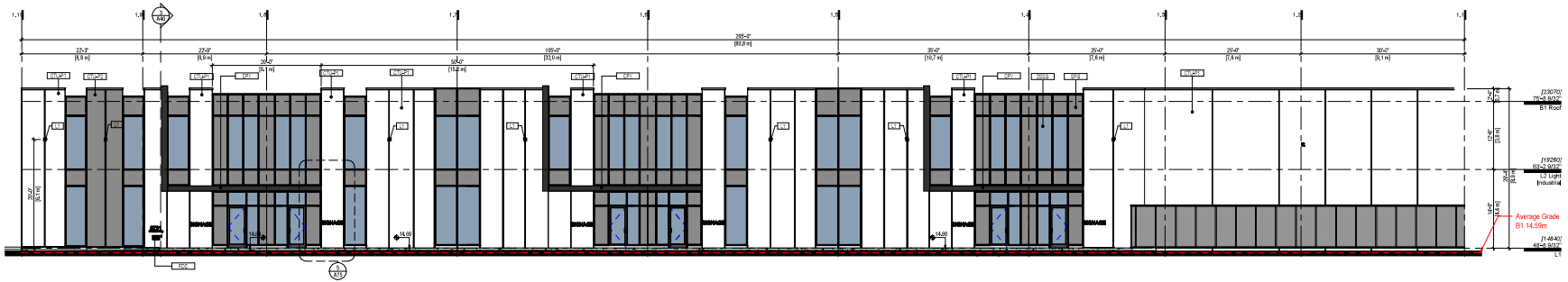
5721 Production Way, Langley BC

Floor Plan L3 & Roof

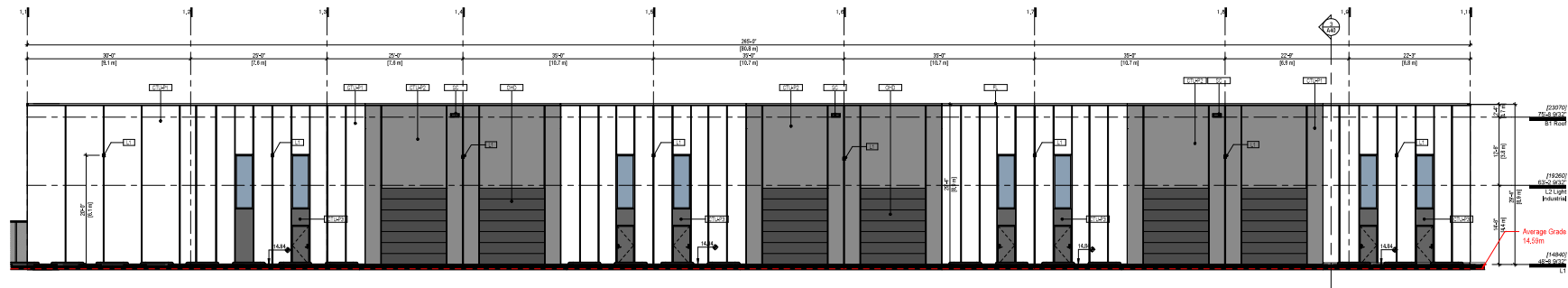
PLOT DATE: 2024-07-28 1:28:53 PM

A12

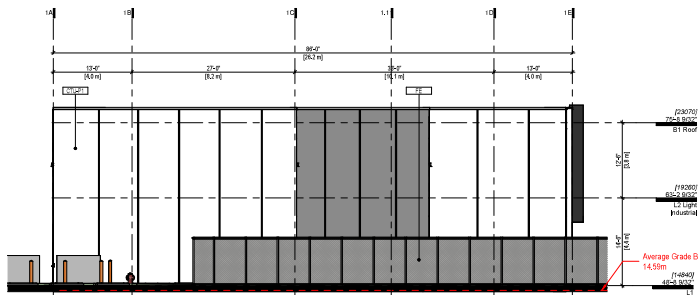




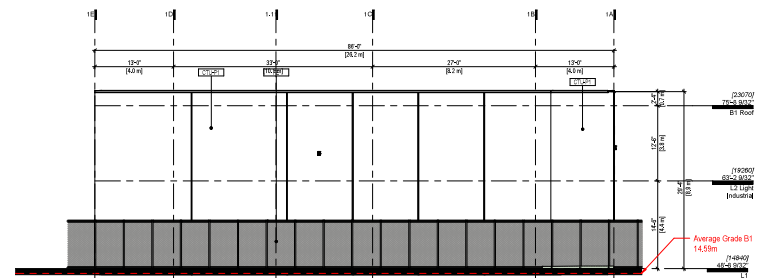
1 B1 - East
1:100



2 B1 - West
1:100



3 B1 - South
1:100



4 B1 - North
1:100

- MATERIAL KEYNOTES**
- 2SSG 2 SIDED STRUCTURAL GLAZING
 - BL1 ENTRY CANOPY: METAL GLAZING AND SOFFIT OVER STEEL FRAME
 - CPY ENTRY CANOPY: METAL GLAZING AND SOFFIT OVER STEEL FRAME
 - CTU-P1 CONCRETE - TILT UP - PAINTED F1 (Orange)
 - CTU-P2 CONCRETE - TILT UP - PAINTED F2 (Medium Gray)
 - CTU-P3 CONCRETE - TILT UP - PAINTED P3 (Dark Gray)
 - CTU-P4 CONCRETE - TILT UP - PAINTED F4 (Orange)
 - FE FENCE
 - FL FLASHING
 - IMP-1 INSULATED METAL PANEL 1
 - IMP-2 INSULATED METAL PANEL 2
 - L1 LIGHT FIXTURE - TYPE 1
 - OHD OVERHEAD DOOR
 - SC SCUPPER DRAIN
 - SGN SIGNAGE: BY OWNER
 - SPG SPANDREL GLASS



1	25.11.18	Revised RSP Comments
2	25.11.18	Revised RSP
3	25.11.18	Revised RSP
4	25.11.18	Revised RSP
5	30.01.20	Issued for DP

HUNGERFORD PROPERTIES

TKA+D ARCHITECTS - DESIGN LTD

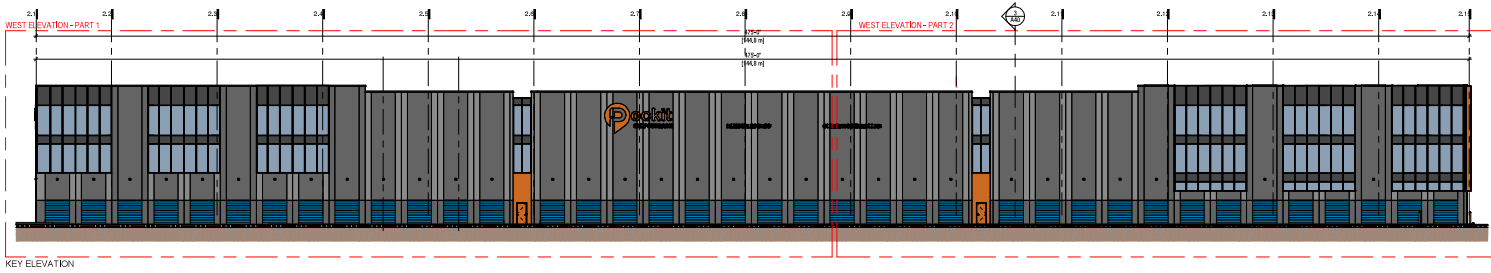
Production Way

5721 Production Way, Langley BC

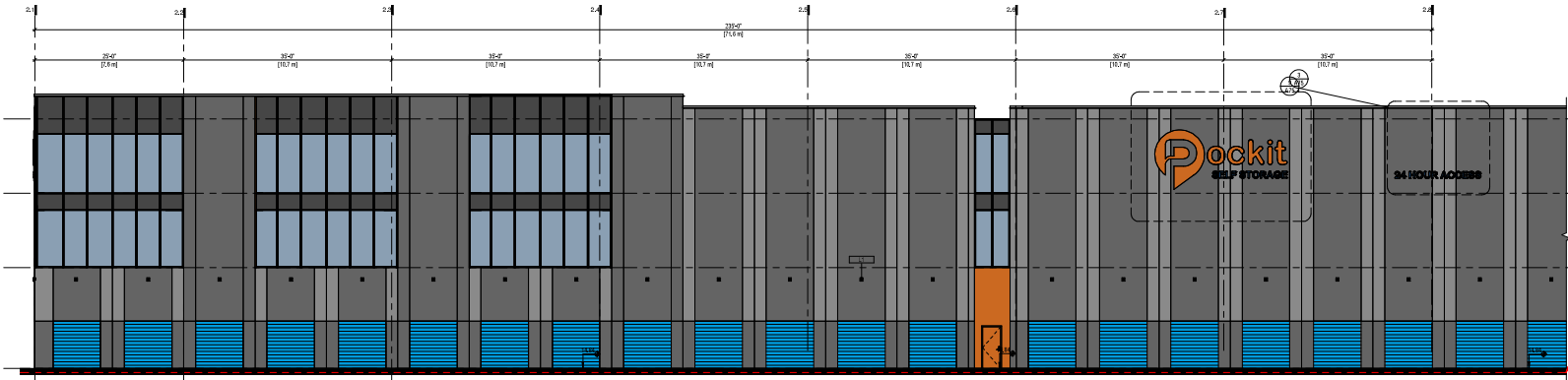
Elevations - Building 1

PLOT DATE: 2024-01-28 1:28:54 PM

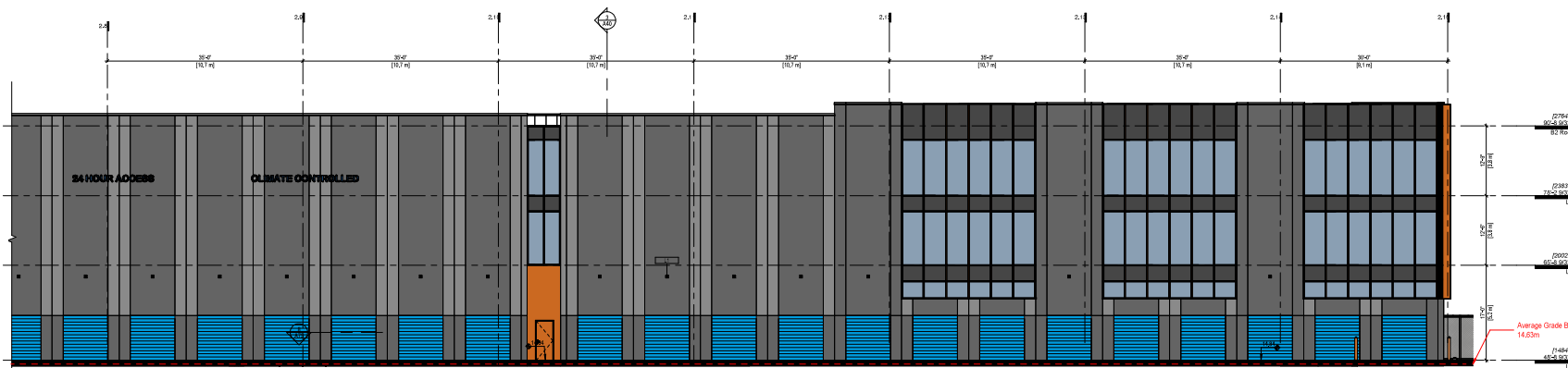
A30



1 **B2 - West Key Elev.**
1 : 200



2 **B2 - West (Part 1)**
1 : 100



3 **B2 - West (Part 2)**
1 : 100

- MATERIAL KEYNOTES**
- 2SSG 2 SIDED STRUCTURAL GLAZING
 - BL1 ENTRY CANOPY - METAL CLADDING AND SOFFIT OVER STEEL FRAME
 - CPY ENTRY CANOPY - METAL CLADDING AND SOFFIT OVER STEEL FRAME
 - CTU-P1 CONCRETE - TILT UP - PAINTED F1 (White)
 - CTU-P2 CONCRETE - TILT UP - PAINTED F2 (Medium Gray)
 - CTU-P3 CONCRETE - TILT UP - PAINTED P3 (Dark Gray)
 - CTU-P4 CONCRETE - TILT UP - PAINTED F4 (Orange)
 - FE FENCE FLASHING
 - FL FLASHING
 - IMP-1 INSULATED METAL PANEL 1
 - IMP-2 INSULATED METAL PANEL 2
 - L1 LIGHT FIXTURE - TYPE 1
 - OHV OVERHEAD DOOR
 - SC SCUPPER DRAIN
 - SIGN SIGNAGE BY OWNER
 - SPG SPANDREL GLASS



1	30.0.28	Issued for DP
2	25.11.18	Prepared for RFP Comments
3	25.11.18	Prepared for DP
4	25.11.18	Issued for DP
5	25.11.18	Issued for DP
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100	25.11.18	Issued for DP



TKA+D ARCHITECTURE + DESIGN LTD
2500-1000

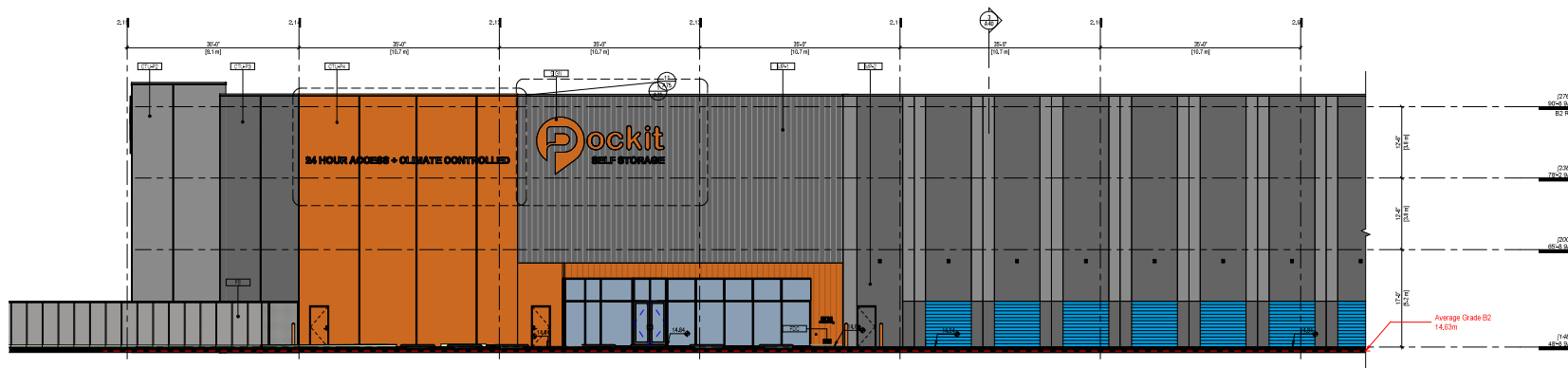
Production Way
5721 Production Way, Langley BC

Elevations - Building 2 (West Elev)
PLOT DATE: 2024-01-28 1:28:56 PM

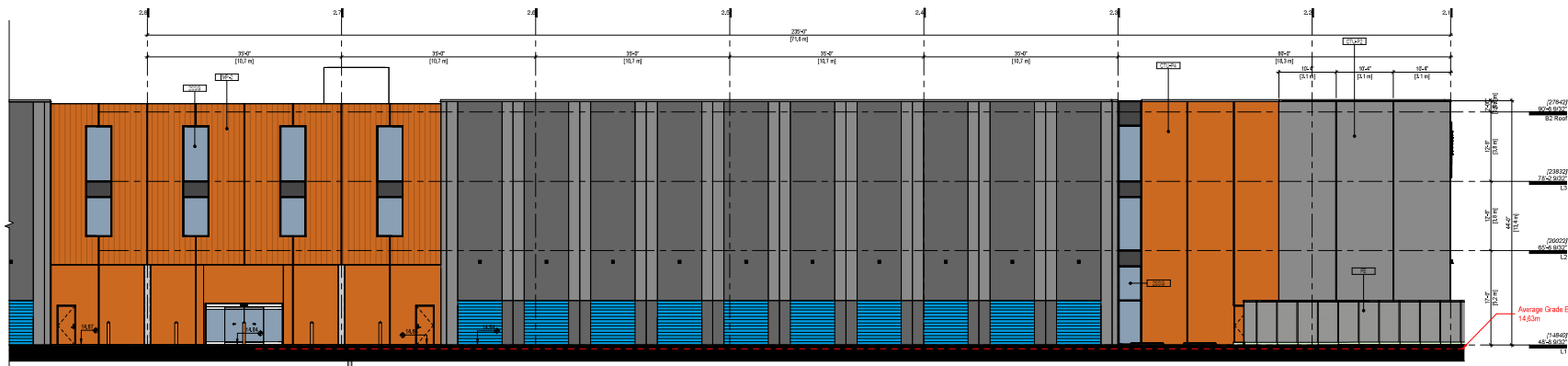
A31



① B2 - East Key Elev
1 : 200



② B2 - East (Part 1)
1 : 100



③ B2 - East (Part 2)
1 : 100

- MATERIAL KEYNOTES**
- 25SSG 2 SIDED STRUCTURAL GLAZING
 - BL1 ENTRY CANOPY - METAL GLAZING AND SOFFIT OVER STEEL FRAME
 - CPY ENTRY CANOPY - METAL GLAZING AND SOFFIT OVER STEEL FRAME
 - CTU-P1 CONCRETE - TILT UP - PAINTED F1 (Orange)
 - CTU-P2 CONCRETE - TILT UP - PAINTED F2 (Medium Gray)
 - CTU-P3 CONCRETE - TILT UP - PAINTED P3 (Dark Gray)
 - CTU-P4 CONCRETE - TILT UP - PAINTED F4 (Orange)
 - FE FENCE
 - FL FLASHING
 - IMP-1 INSULATED METAL PANEL 1
 - IMP-2 INSULATED METAL PANEL 2
 - L1 LIGHT FIXTURE - TYPE 1
 - OHD OVERHEAD DOOR
 - SC SCUPPER DRAIN
 - SIGN SIGNAGE BY OWNER
 - SPG SPANDREL GLASS



1	30.0.28	Issued for DP
2	30.11.18	Prepared for RFP Comments
3	30.11.18	Revised for DP
4	28.01.19	Issued for DP
5	28.01.19	Issued for DP
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96	28.01.19	Issued for DP
97	28.01.19	Issued for DP
98	28.01.19	Issued for DP
99	28.01.19	Issued for DP
100	28.01.19	Issued for DP

HUNGERFORD PROPERTIES

TKA+D ARCHITECTURE + DESIGN LTD

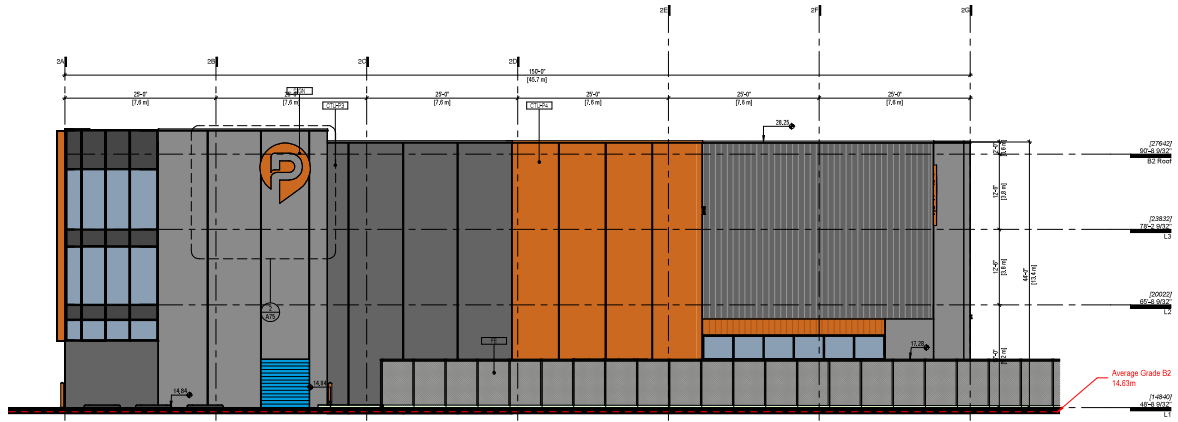
Production Way

5721 Production Way, Langley BC

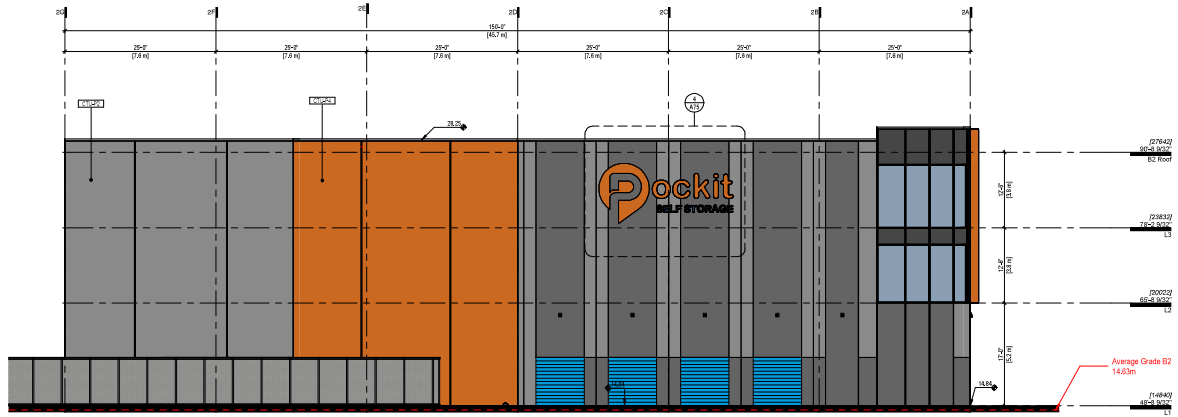
Elevations - Building 2 (East Elev)

PLOT DATE: 2024-01-28 1:28:58 PM

A32



① B2 - South
1:100



② B2 - North
1:100

- MATERIAL KEYNOTES**
- 2SSG 2 SIDED STRUCTURAL GLAZING
 - BL1 ENTRY CANOPY: METAL CLADDING AND SOFFIT OVER STEEL FRAME
 - CPY ENTRY CANOPY: METAL CLADDING AND SOFFIT OVER STEEL FRAME
 - CTU-P1 CONCRETE - TILT UP - PAINTED F1 (White)
 - CTU-P2 CONCRETE - TILT UP - PAINTED F2 (Medium Gray)
 - CTU-P3 CONCRETE - TILT UP - PAINTED P3 (Dark Gray)
 - CTU-P4 CONCRETE - TILT UP - PAINTED F4 (Orange)
 - FE FENCE
 - FL FLASHING
 - IMP-1 INSULATED METAL PANEL 1
 - IMP-2 INSULATED METAL PANEL 2
 - L1 LIGHT FIXTURE - TYPE 1
 - OH-D OVERHEAD DOOR
 - SC SCUPPER DRAIN
 - SIGN SIGNAGE BY OWNER
 - SPG SPANDREL GLASS



5	30.0.28	Issued for DP
4	25.11.28	Prepared for RFP Comments
3	25.11.28	Prepared for DP
2	25.11.28	Prepared for DP
1	25.06.24	Issued for RFP
REV	DATE	DESCRIPTION
SCALE	1:100	DATE: 2024-07-28
PROJECT NUMBER	25002	



TKA+D ARCHITECTURE + DESIGN LTD.
2500 101 STREET, SURREY, BC V4A 4A1

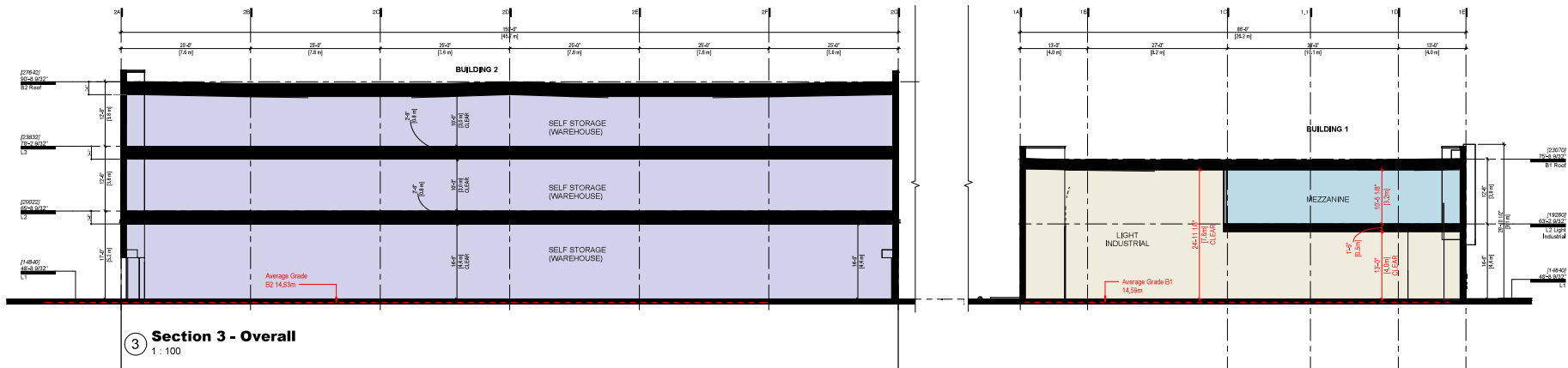
Production Way

5721 Production Way, Langley BC

Elevations - Building 2 (North & South Elev)

PLT DATE: 2024-07-28 1:28:55 PM

A33



3 Section 3 - Overall
1 : 100



5	30.01.28	Issued for DP
3	25.11.18	Prepared for DP Comments
2	25.11.18	Prepared for DP
1	25.06.18	Issued for DP
REV	DATE	DESCRIPTION
SCALE	1:500	DATE: 30.01.28 DRAWN: JWB
PROJECT NUMBER	25002	



TKA+D ARCHITECTURE + DESIGN LTD.
PROFESSIONAL ARCHITECTS + DESIGNERS

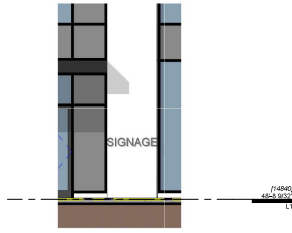
Production Way
5721 Production Way, Langley BC

Section
PLOT DATE: 2022-01-28 1:30:00 PM

A40



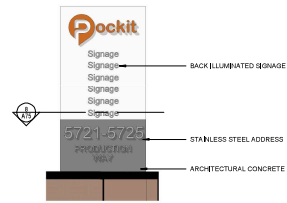
5.1 B1 - Unit Entrance



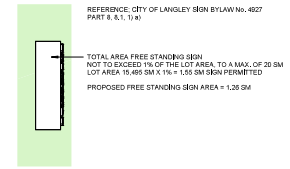
5 B1 - Unit Entrance -Typ. 1:50



6.1 3D View Project Sign



6 Elevation - Project Sign 1:50



8 Free Standing Sign Plan 1/4" = 1'-0"



4.1 3D View B2 - Sign 6



7 3D View B2 - Sign 3

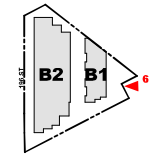


2.1 3D View B2 - Sign 2

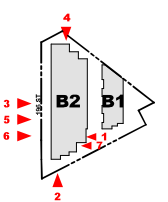


1.1 3D View B2 - Sign 1

B1 KEYPLAN

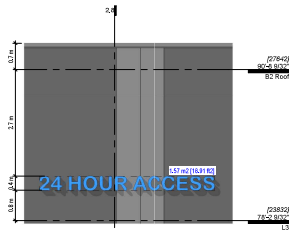


B2 KEYPLAN

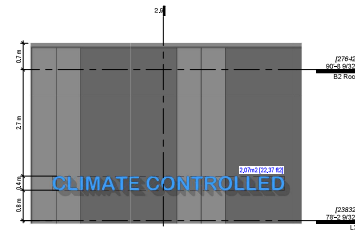


ALLOWABLE SIGNAGE AREA
 REFERENCE: CITY OF LANGLEY SIGN BYLAW NO. 4027

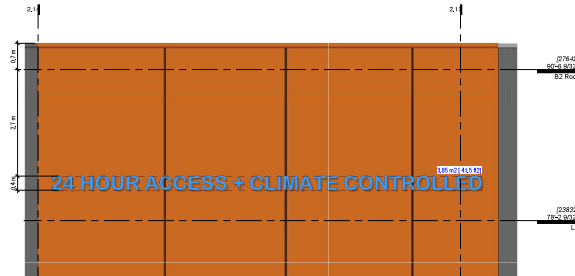
Part III - Section A.1 SIGN AREA
 (A) THE TOTAL AREA OF ALL FACED SIGNAGE ON A BUILDING WALL SHALL NOT EXCEED 15% (15%) OF THE TOTAL AREA OF THE BUILDING WALL TO WHICH THE SIGNAGE IS APPLIED, UP TO A MAXIMUM SIGN AREA OF 14.0 M² (150.69 FT²).
 (B) ONLY THE STREET FRONTAGE OF THE BUSINESS ON WHICH THE SIGN IS LOCATED SHALL BE USED FOR SIGN AREA CALCULATIONS.
 Part III - Section A.2 PROJECTION
 (A) A FACED SIGN SHALL NOT PROJECT MORE THAN 0.3 M (0.98 FT) HORIZONTALLY FROM THE BUILDING FACE TO WHICH IT IS ATTACHED.
 (B) WHERE MORE THAN ONE FACED SIGN IS PERMITTED, THE SIGNS MAY BE EXTENDED HORIZONTALLY ALONG EACH STREET FRONTAGE TO MEET AT THE CORNER OF THE BUILDING COMMON TO BOTH SIGNS.
 (C) A FACED SIGN SHALL NOT EXTEND ABOVE THE SILL OF ANY WINDOWS ABOVE THE SIGN.
 (D) A FACED SIGN SHALL NOT EXTEND ABOVE THE ROOF LINE OF A BUILDING TO WHICH IT IS APPLIED.
 Part III - Section A.1 CLEARANCE
 (A) A FACED SIGN SHALL HAVE A MINIMUM CLEARANCE OF 2.3 M (7.53 FT).



9 B2 - West Sign 5 1:50

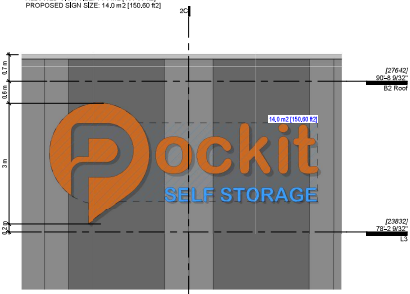


10 B2 - West Sign 6 1:50



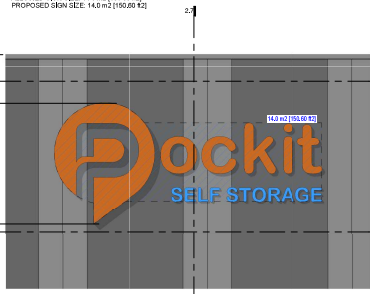
11 B2 - South East - Sign 7 1:50

PROPOSED SIGN AREA NORTH ELEVATION
 NORTH ELEVATION BUILDING FACE: 45.7 m
 ALLOWED SIGN SIZE: 14.0 M² (150.69 FT²)
 PROPOSED SIGN SIZE: 14.0 M² (150.69 FT²)



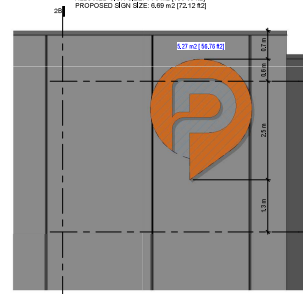
4 B2 - North - Sign 4 1:50

PROPOSED SIGN AREA WEST ELEVATION
 NORTH ELEVATION BUILDING FACE: 45.7 m
 ALLOWED SIGN SIZE: 14.0 M² (150.69 FT²)
 PROPOSED SIGN SIZE: 14.0 M² (150.69 FT²)



3 B2 - West - Sign 3 1:50

PROPOSED SIGN AREA SOUTH ELEVATION
 NORTH ELEVATION BUILDING FACE: 45.7 m
 ALLOWED SIGN SIZE: 14.0 M² (150.69 FT²)
 PROPOSED SIGN SIZE: 6.89 M² (74.12 FT²)



2 B2 - South - Sign 2 1:50

PROPOSED SIGN AREA EAST ELEVATION
 NORTH ELEVATION BUILDING FACE: 45.7 m
 ALLOWED SIGN SIZE: 14.0 M² (150.69 FT²)
 PROPOSED SIGN SIZE: 6.59 M² (71.12 FT²)



1 B2 - East - Sign 1 1:50



5	2021.08	Issue for DP
4	2021.07	Response to RFP Comments
3	2021.06	Response to RFP Comments
2	2021.05	Response to RFP
1	2021.04	Issue for RFP
PREP	DATE	DESCRIPTION
SCALE	APPROVED	DATE
PROJECT NUMBER	25002	



TKA+D ARCHITECTURES + DESIGN LTD.

Production Way
 5721 Production Way, Langley BC

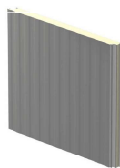
Exterior Details

PLOT DATE: 2024-01-28 1:30:17 PM

A75

MATERIAL

CONCRETE - TILT UP - PAINTED
P1 (White)



IMP-3 Metal Cladding
Insulated Metal Panel
Mid Span CF Mesa PIR
Slate Gray
or Approved Equivalent



IMP-4 Metal Cladding
Insulated Metal Panel
Mid Span CF Mesa PIR
Orange to match P-4
or Approved Equivalent

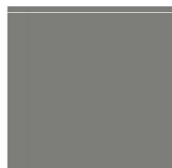
PAINT



P2 White
Name (TBC)
Code (TBC)



P2 Medium Gray
Name (TBC)
Code (TBC)



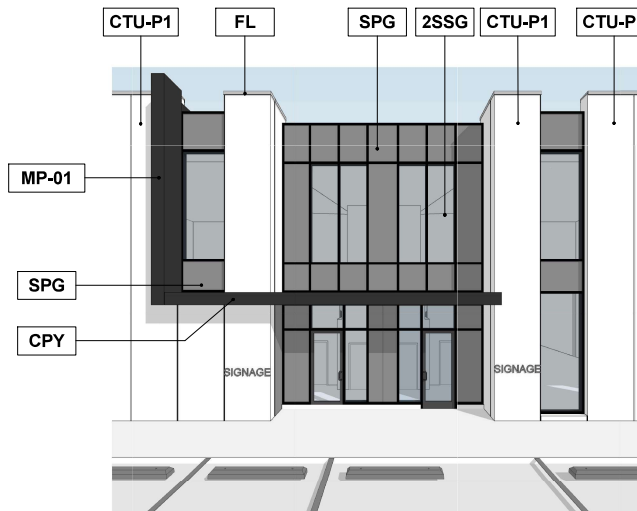
P3 Dark Gray
Name (TBC)
Code (TBC)
To match CTL-P3



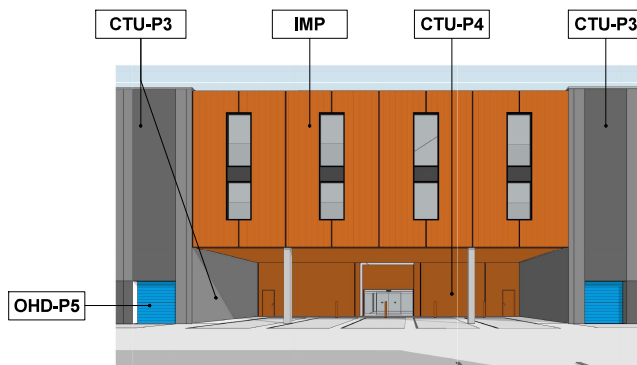
P4 Orange
Paint Benjamin Moore
Electric Orange
CTU-P4



P5 Blue
Paint Benjamin Moore
Name (TBC)
Code (TBC)
Roll Up Doors



1 **B1 - Typ. Entry**

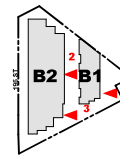


2 **B2 - Storage Access**



3 **B2 - Storage Office**

KEYPLAN



MATERIAL KEYNOTES

- 2SSG 2 SIDED STRUCTURAL GLAZING
- B1.1 ENTRY CANOPY, METAL CLADDING AND SOFFIT OVER STEEL FRAME
- CPY ENTRY CANOPY, METAL CLADDING AND SOFFIT OVER STEEL FRAME
- CTU-P1 CONCRETE - TILT UP - PAINTED P1 (White)
- CTU-P2 CONCRETE - TILT UP - PAINTED P2 (Medium Gray)
- CTU-P3 CONCRETE - TILT UP - PAINTED P3 (Dark Gray)
- CTU-P4 CONCRETE - TILT UP - PAINTED P4 (Orange)
- FE FENCE
- FL FLASHING
- IMP-1 INSULATED METAL PANEL 1
- IMP-2 INSULATED METAL PANEL 2
- LT LIGHT FIXTURE - TYPE 1
- OHD OVERHEAD DOOR
- SC SCUPPER DRAIN
- SIGN SIGNAGE, BY OWNER
- SPG SPANDREL GLASS



5	3/20/24	Issued for DP
4	2/13/24	Prepared for RFP Comments
3	1/11/24	Prepared for DP
2	1/11/24	Issued for DP
1	1/11/24	Issued for DP
SPG	DATE	DESCRIPTION
SCALE	1" = 1/4" DATE	3/20/24 DRAWN BY: JAW
PROJECT NUMBER: 25072		



Production Way

5721 Production Way, Langley BC

Materials Board

PLOT DATE: 2024-01-28 1:30:33 PM

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