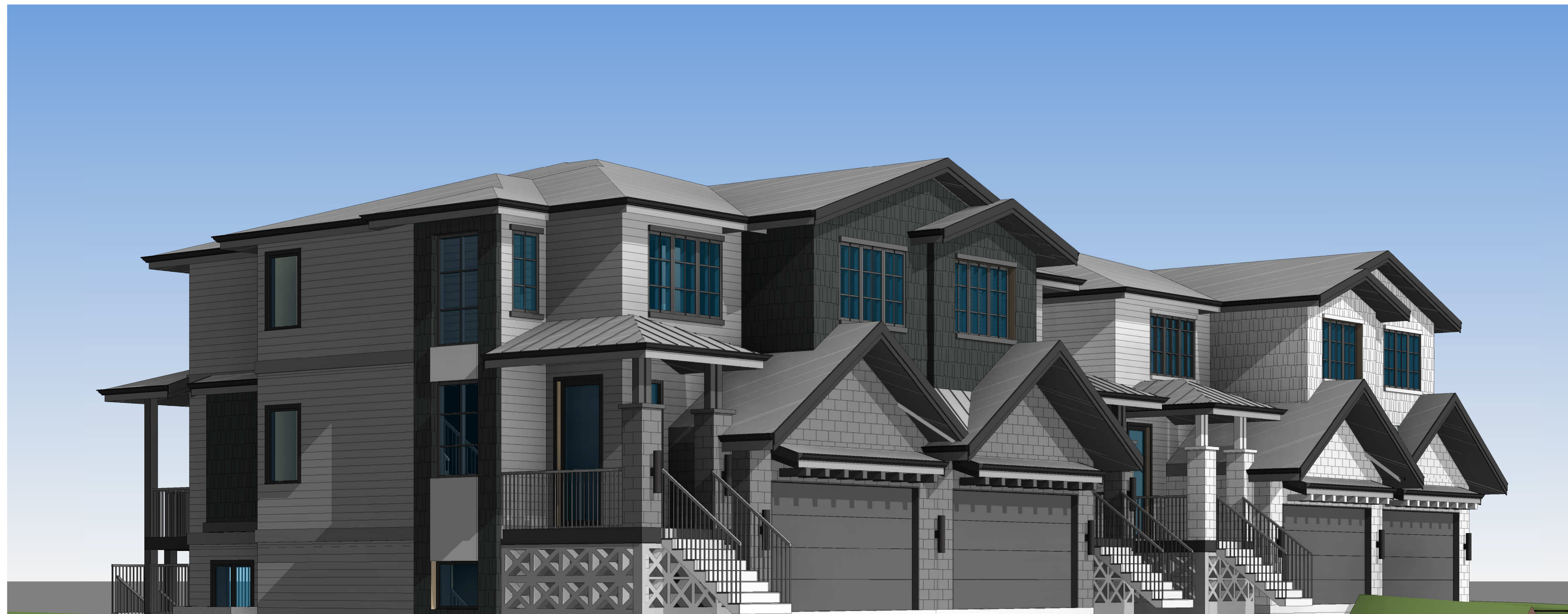


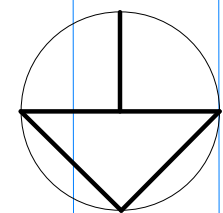


FRONT VIEW



FRONT LEFT PERSPECTIVE

203rd Street



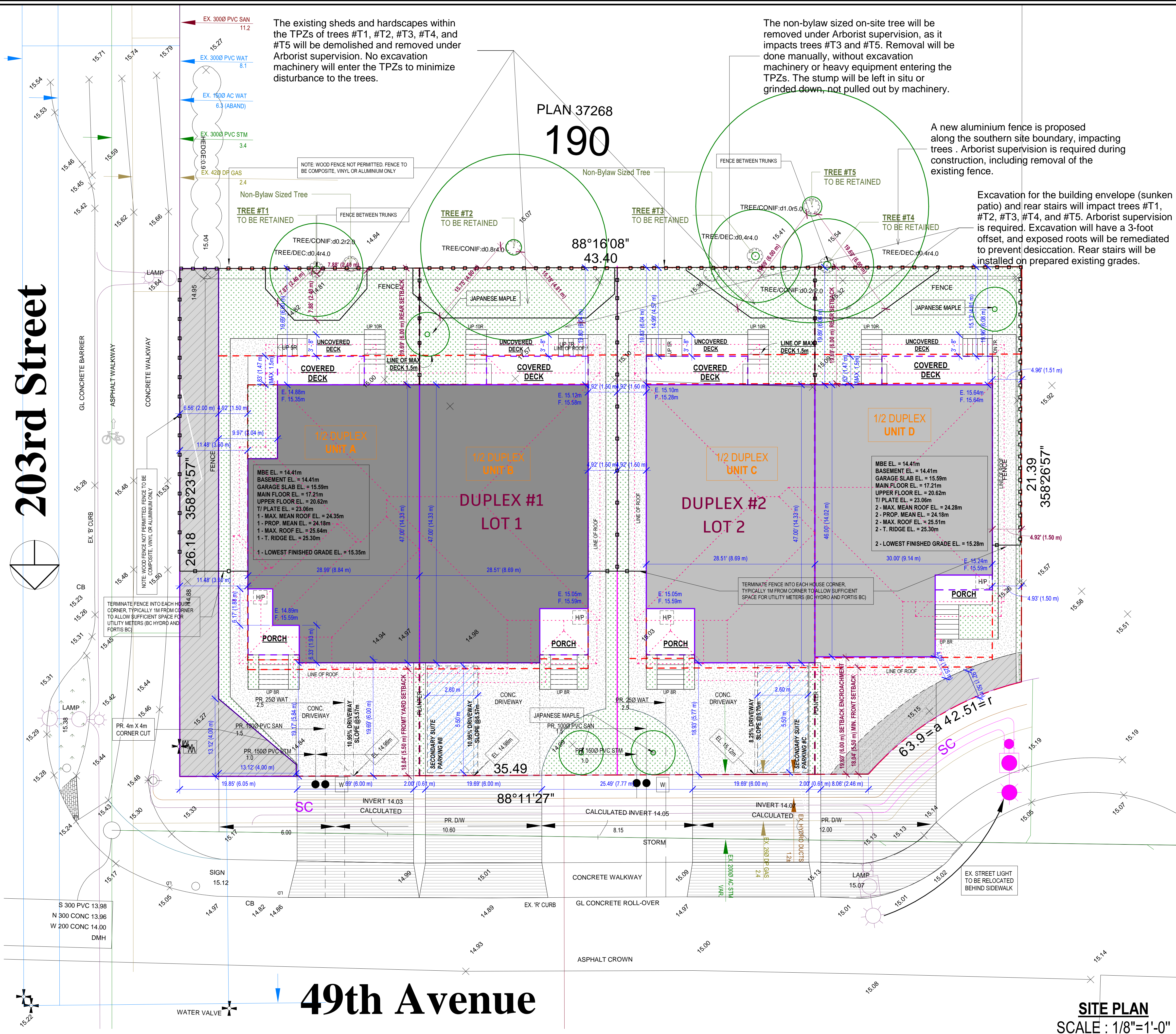
The existing sheds and hardscapes within the TPZs of trees #T1, #T2, #T3, #T4, and #T5 will be demolished and removed under Arborist supervision. No excavation machinery will enter the TPZs to minimize disturbance to the trees.

The non-by-law sized on-site tree will be removed under Arborist supervision, as it impacts trees #T3 and #T5. Removal will be done manually, without excavation machinery or heavy equipment entering the TPZs. The stump will be left in situ or grinded down, not pulled out by machinery.

A new aluminium fence is proposed along the southern site boundary, impacting trees. Arborist supervision is required during construction, including removal of the existing fence.

Excavation for the building envelope (sunken patio) and rear stairs will impact trees #T1, #T2, #T3, #T4, and #T5. Arborist supervision is required. Excavation will have a 3-foot offset, and exposed roots will be remediated to prevent desiccation. Rear stairs will be installed on prepared existing grades.

PLAN 37268
190



PROPOSED PAIR OF FEE SIMPLE DUPLEX

CLIENT: 1503988 B.C. LTD.

LEGAL DESCRIPTION

LOT 189 DISTRICT LOT 305 GROUP 2 NWD PLAN 37268
PID: 005 - 290 - 473

CIVIC ADDRESS

20294 49 AVENUE, LANGLEY

ZONING ANALYSIS

ZONE = G01
CURRENT ZONING : RM1 URBAN RESIDENTIAL
LOT AREA = 11969.47 SF (1112.00 SM)

SITE COVERAGE

PERMITTED = 40.00% = 4787.79 SF (444.80 SM)
PROPOSED AREA = 42.70% = 5110.41 SF (474.77 SM)
• **DUPLEX #1 = 2484.86 SF**
UNIT A = 1219.81 SF
UNIT B = 1265.05 SF
• **DUPLEX #2 = 2625.55 SF**
UNIT C = 1265.05 SF
UNIT D = 1360.50 SF

FLOOR AREA RATIO

PERMITTED FAR = 1.2 = 14363.36 SF (1334.40 SM)
PROPOSED FLOOR AREA = 11171.99 SF (1037.91 SM)

TOTAL AREA UNIT A = 3197.66 SF

- UPPER FLOOR AREA = 1164.47 SF
- MAIN FLOOR AREA = 741.12 SF
- GARAGE AREA = 479.17 SF
- BASEMENT FLOOR AREA = 812.90 SF

TOTAL AREA UNIT B = 3308.55 SF

- UPPER FLOOR AREA = 1187.74 SF
- MAIN FLOOR AREA = 784.46 SF
- GARAGE AREA = 480.58 SF
- BASEMENT FLOOR AREA = 855.77 SF

TOTAL AREA UNIT C = 3305.14 SF

- UPPER FLOOR AREA = 1183.46 SF
- MAIN FLOOR AREA = 784.65 SF
- GARAGE AREA = 481.26 SF
- BASEMENT FLOOR AREA = 855.77 SF

TOTAL AREA UNIT D = 3284.21 SF

- UPPER FLOOR AREA = 1185.07 SF
- MAIN FLOOR AREA = 762.68 SF
- GARAGE AREA = 482.56 SF
- BASEMENT FLOOR AREA = 853.90 SF

DRAWING INDEX

SHEET	DRAWING TITLE
A1	3D VIEW
A2	SITE PLAN & NOTES
A3	FRONT & LEFT UNIT A&B
A4	REAR & RIGHT UNIT A&B
A5	ROOF & UPPER FLOOR PLAN UNIT A&B
A6	MAIN, BASEMENT FLOOR & FDN. PLAN UNIT A&B
A7	SECTION UNIT A&B
A8	FRONT & LEFT UNIT C&D
A9	REAR & RIGHT UNIT C&D
A10	ROOF & UPPER FLOOR PLAN UNIT C&D
A11	MAIN, BASEMENT FLOOR & FDN. PLAN UNIT C&D
A12	SECTION UNIT C&D
D1	DETAILS
D2	CONSTRUCTION DETAILS

GENERAL NOTES:

THESE DRAWINGS HAVE BEEN PREPARED BY JOSS DESIGN INC. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2024 AND THE SPAN BOOK 2004 EDITION. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERROR OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED.

DO NOT SCALE DRAWINGS. JOSS DESIGN INC. WILL NOT BE RESPONSIBLE FOR DEPARTURES FROM AND/OR CHANGE TO THESE PLANS.

STRUCTURAL SPECIFICATIONS

EXTERIOR WALLS ARE DRAWN 6" THICK ASSUMING 1/2" PLYWOOD SHEATHING ON 5-1/2" STUDS. ALL INTERIOR WALLS ARE DRAWN 4" OR 6" THICK FOR 2x4 OR 2x6 STUD WALLS.

DIMENSIONS TO BE TAKEN FROM OUTSIDE FACE OF SHEATHING FOR EXTERIOR WALLS AND CENTRE OR FACE OF STUDS FOR INT. WALLS AS SHOWN.

ALL HEIGHT DIMENSIONS ON FLOOR PLANS ARE FROM TOP OF FLOOR PLYWOOD.

APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE SPAN BOOK 2004 EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 13MM ANCHOR BOLTS SPACED AT 1800MM ON CENTER, UNLESS OTHERWISE NOTED.

FLOOR JOISTS SPANNING MORE THAN 2100MM ARE TO BE BRIDGED AT MID SPAN OR AT 2100MM ON CENTRE BY 38x38 DIAGONAL BRIDGING. ALL SUBFLOORS TO BE 15.5MM T&G PLYWOOD, GLUED AND NAILED TO THE JOISTS.

WINDOW AND DOOR SIZES ARE APPROXIMATE AND CONTRACTOR SHALL CHECK WITH WINDOW AND DOOR SUPPLIER FOR ACTUAL ROUGH OPENINGS.

ALL LINTELS ARE TO BE 2-38x135 D. FIR NO. 2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 38MM BEARING.)

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

TOP OF EXTERIOR FOUNDATION WALLS TO BE MIN 8" ABOVE FINISHED GRADE.

ALL GUARDRAILS TO BE 42" IN HEIGHT AND 4" VERTICAL SPACING. ALL GUARDRAILS MUST CONFORM TO ALL RELEVANT REQUIREMENT TO SECTION 9.8.8 OF THE B.C.B.C. 2024.

CONTRACTOR MUST VERIFY ALL SERVICE LINES PRIOR TO CONSTRUCTION.

FOOTINGS MUST PENETRATE BELOW FROST LINE AND BE ON SOLID BEARING.

EXPOSED SHEET METAL FLASHING SHALL BE OF GALVANIZED STEEL.

CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C. 2024.

INSULATION AND VENTILATION

ATTIC ROOF SPACE SHALL BE VENTED WITH ROOF TYPE, EAVE TYPE AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOFS CONSTRUCTED WITH ROOF JOISTS SHALL BE VENTED TO A MINIMUM OF 1:150 OF THE INSULATED CEILING AREA.

VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT AND SHALL BE VENTED TO ACCORDING TO SECTION 9.32 OF THE B.C.B.C. 2024.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 500/700 ACCESS HATCHWAY.

MISCELLANEOUS

THE INSTALLATION OF PLUMBING, HEATING AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE B.C.B.C. STANDARDS.

ENGINEERED GLASS IS REQUIRED WHEN USED AS GUARD.

SCOUR PROTECTION PER SUBDIVISION REQUIREMENT. CONTRACTOR'S RESPONSIBILITY TO CHECK WITH GEOTECH ENGINEER.

WINDOW IN STAIRWAY MUST PROVIDE MINIMUM 900 MM BETWEEN SILL AND ADJACENT FLOOR, OTHER WISE MUST BE EITHER ENGINEERED OR GUARD DEED FROM INSIDE.



DRAWN JS MARCH 27, 2026_REV.

20294 49 AVENUE, LANGLEY

PROJECT SCALE 1/8"=1'-0"

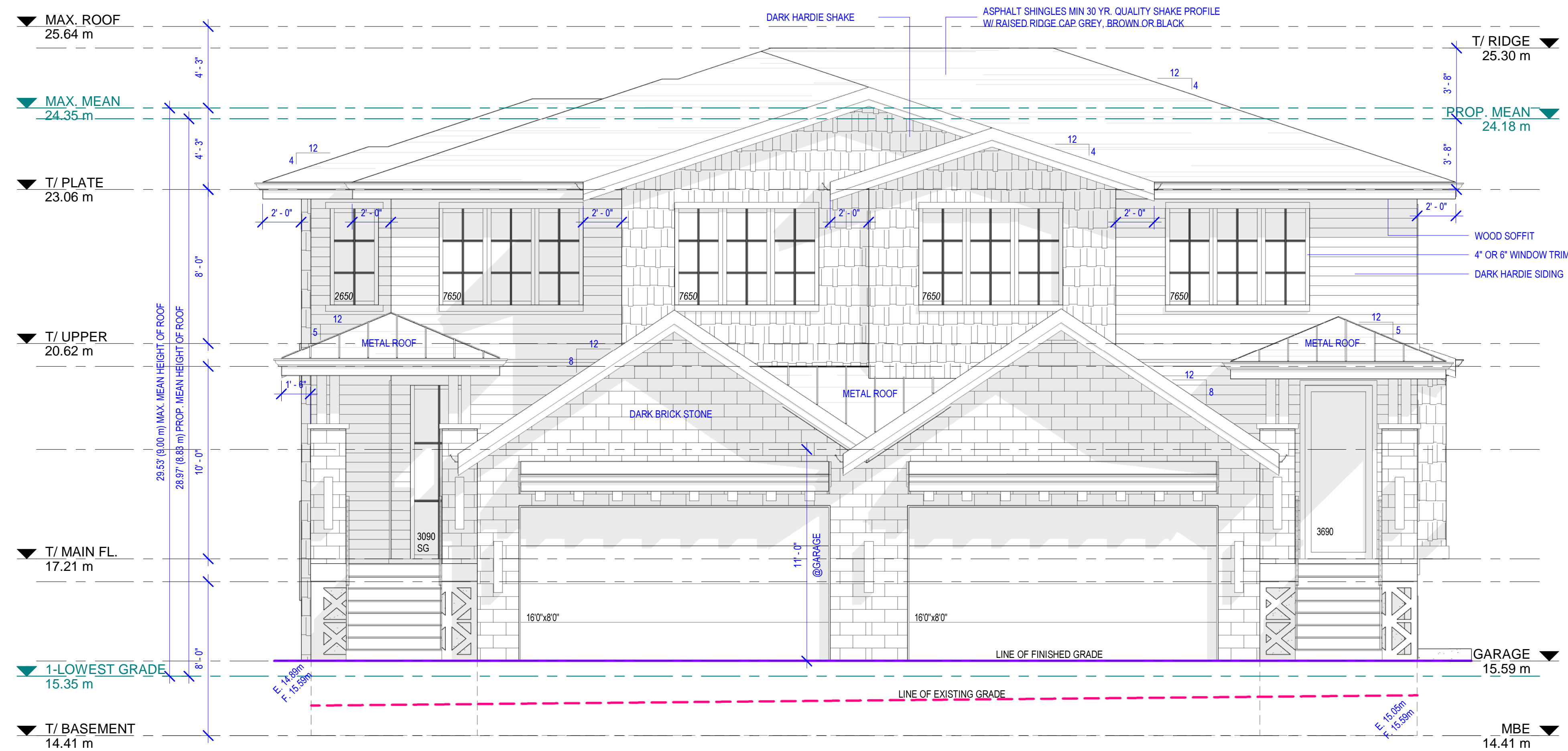
SITE PLAN & NOTES

DRAWING TITLE

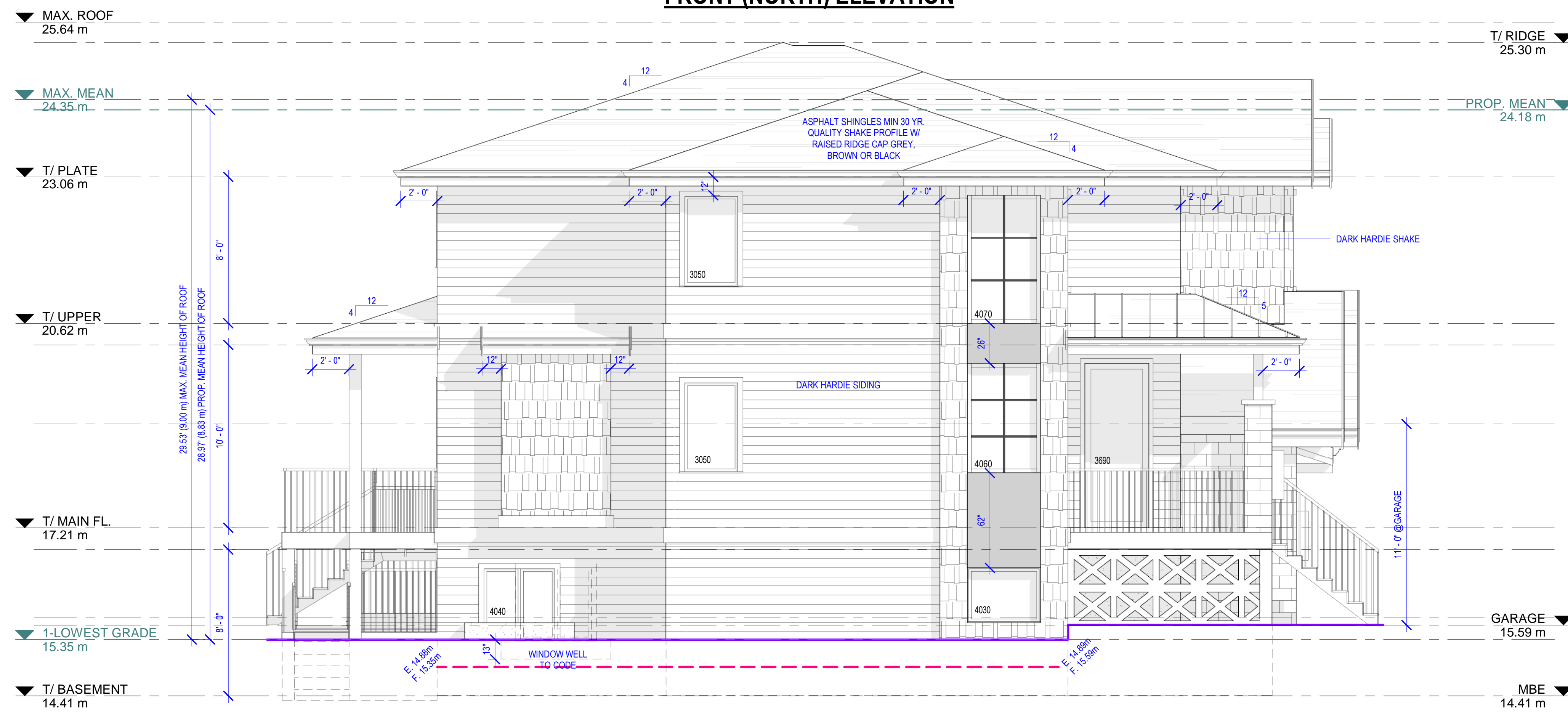
A2

SHEET NUMBER

SITE PLAN
SCALE : 1/8"=1'-0"



FRONT (NORTH) ELEVATION



LEFT (EAST) ELEVATION

JOSS
 8500 - 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323-8873

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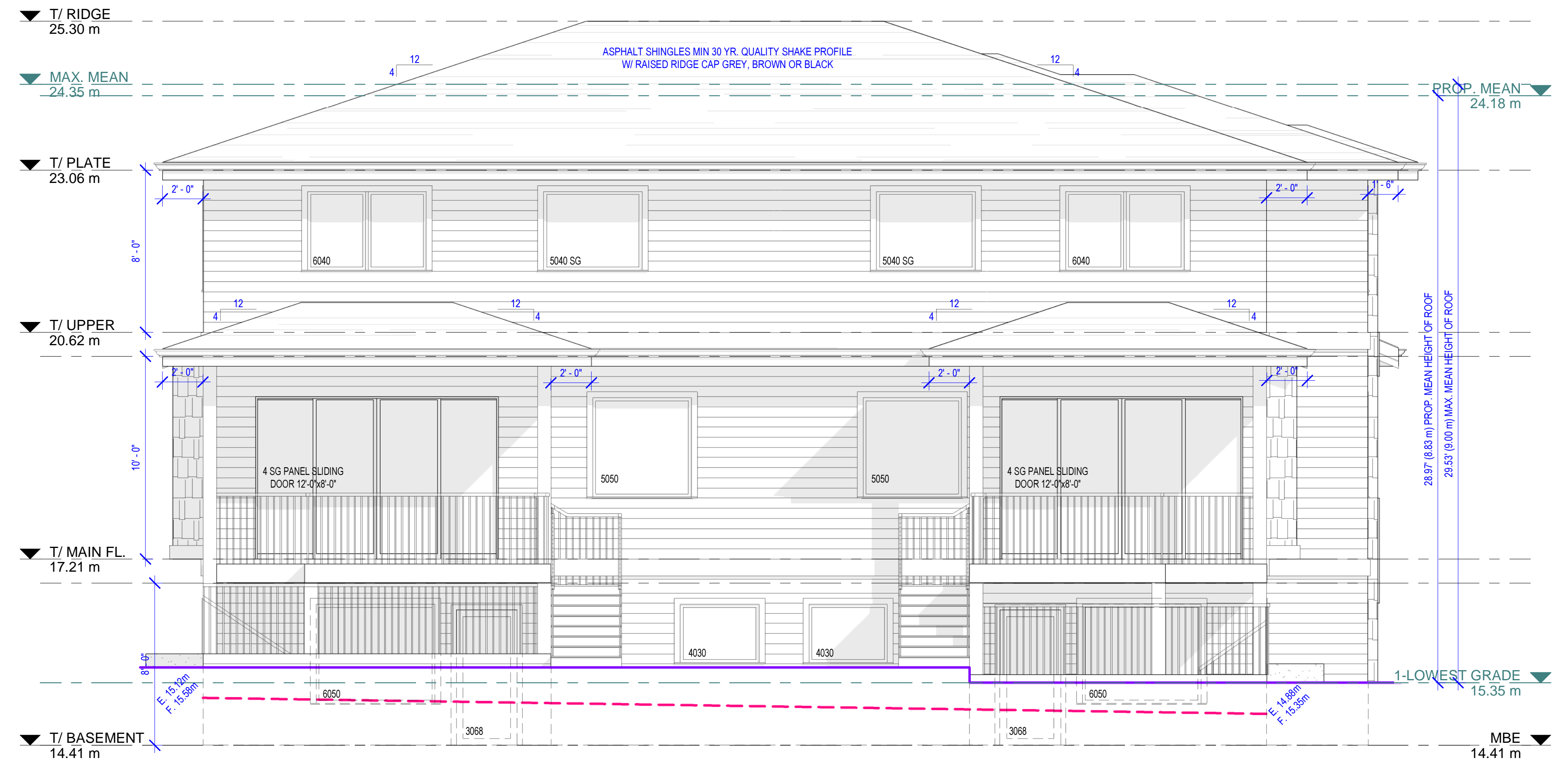
**20294 49 AVENUE,
 LANGLEY**

PROJECT
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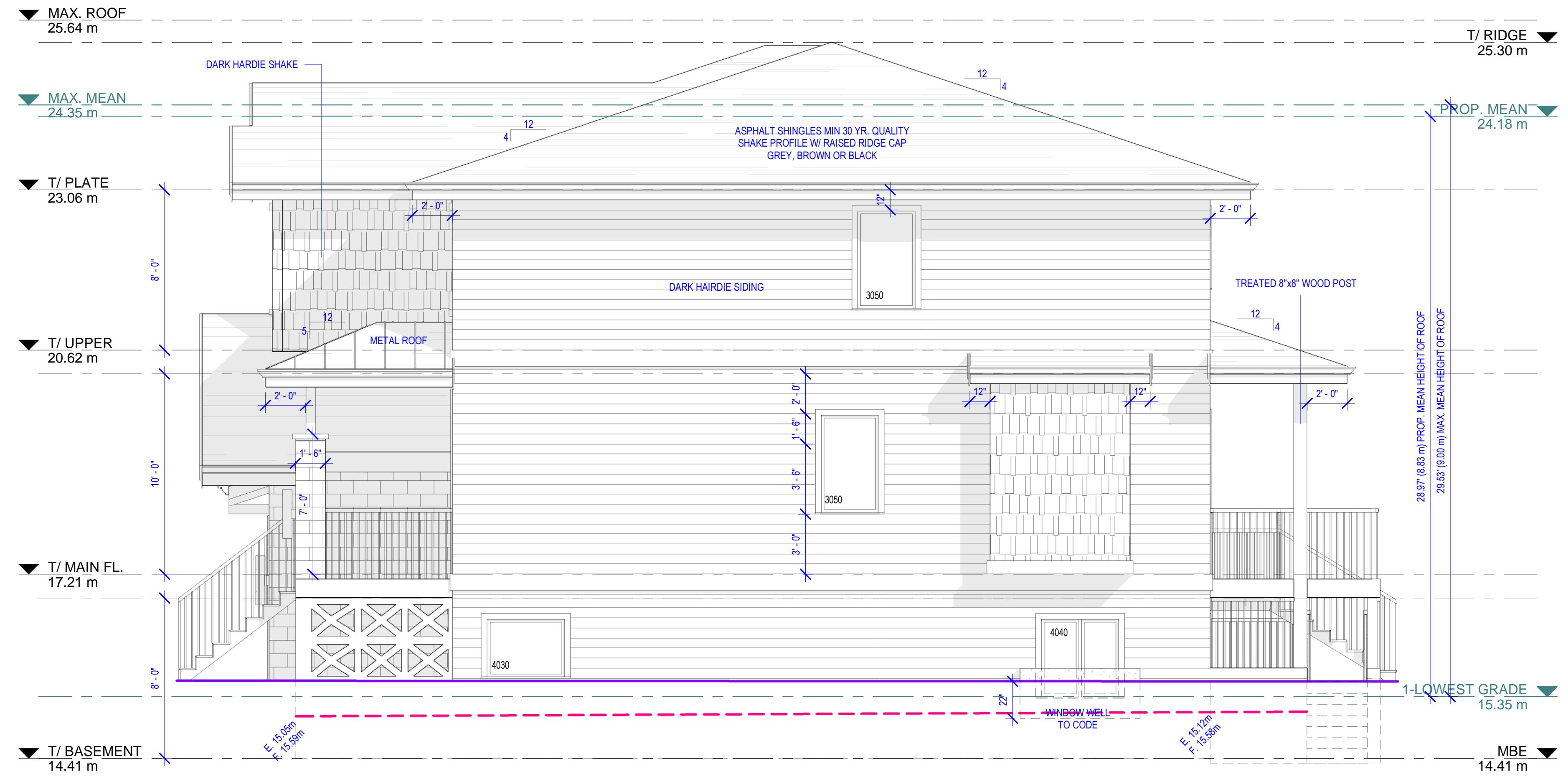
**FRONT & LEFT UNIT
 A&B**

DRAWING TITLE

A3
 SHEET NUMBER



REAR (SOUTH) ELEVATION



RIGHT (WEST) ELEVATION

JOSS
 8500 - 20020 84 AVENUE, LANGLEY, BC
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 TEL: 778 323-8873

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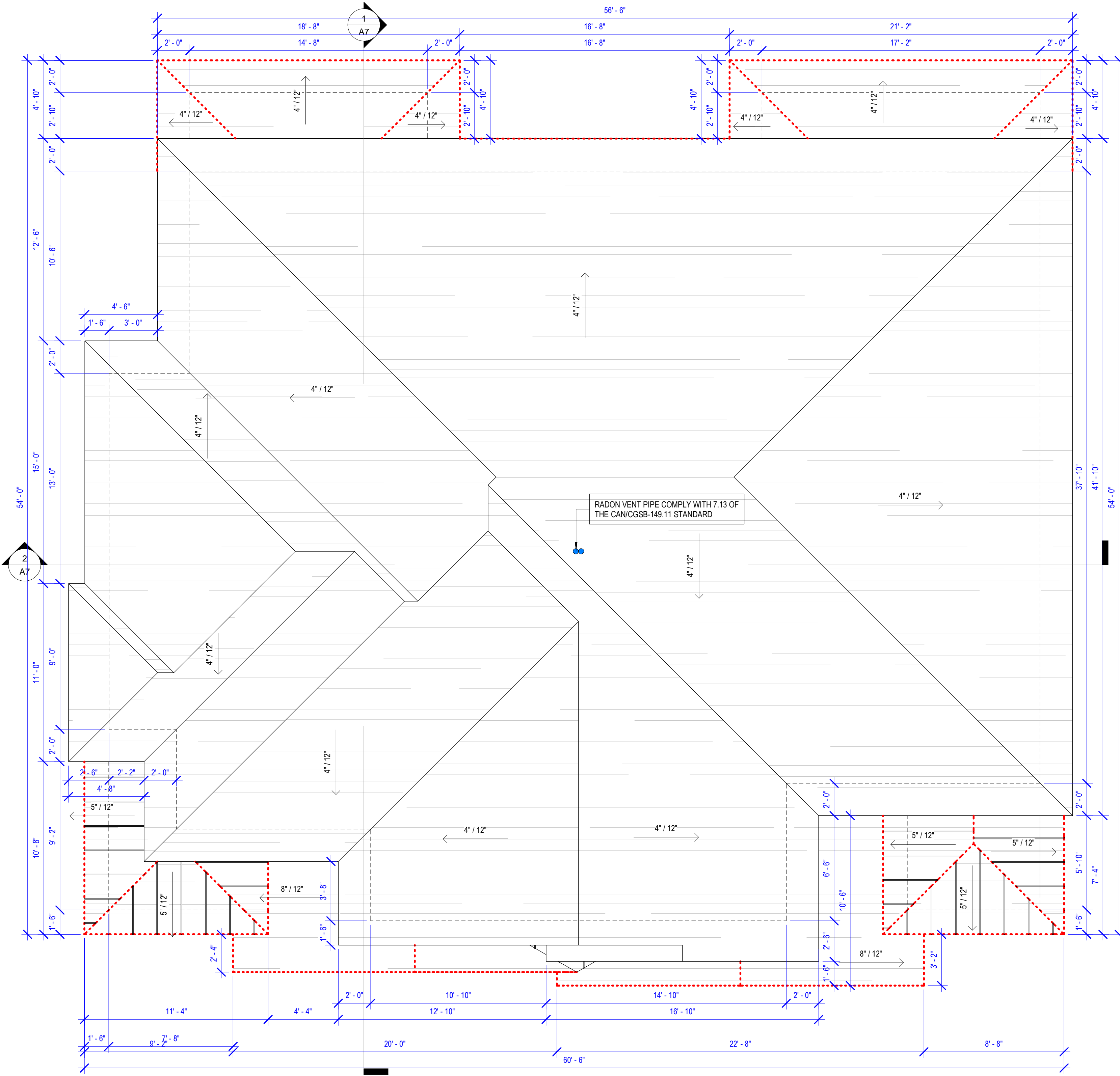
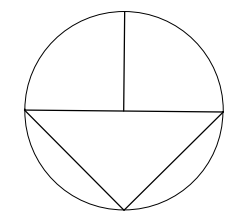
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 LANGLEY

PROJECT
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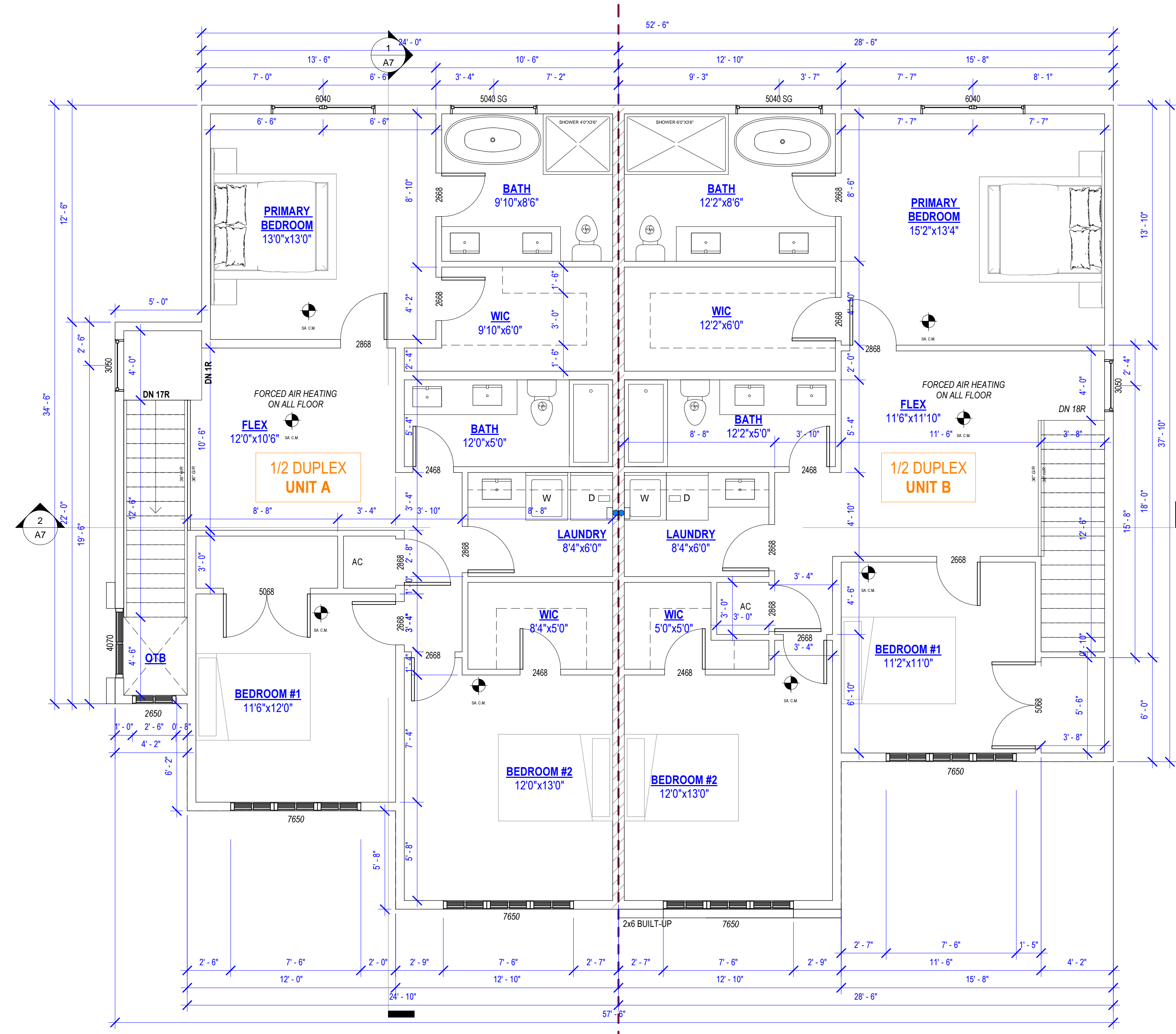
REAR & RIGHT UNIT
 A&B

DRAWING TITLE

A4
 SHEET NUMBER



ROOF PLAN



UPPER FLOOR PLAN

TOTAL UPPER FLOOR AREA = 2352.21 SF
UNIT A = 1184.47 SF
UNIT B = 1187.74 SF

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 8500 - 20020 84 AVENUE, LANGLEY, BC
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 TEL: 778 323-8873

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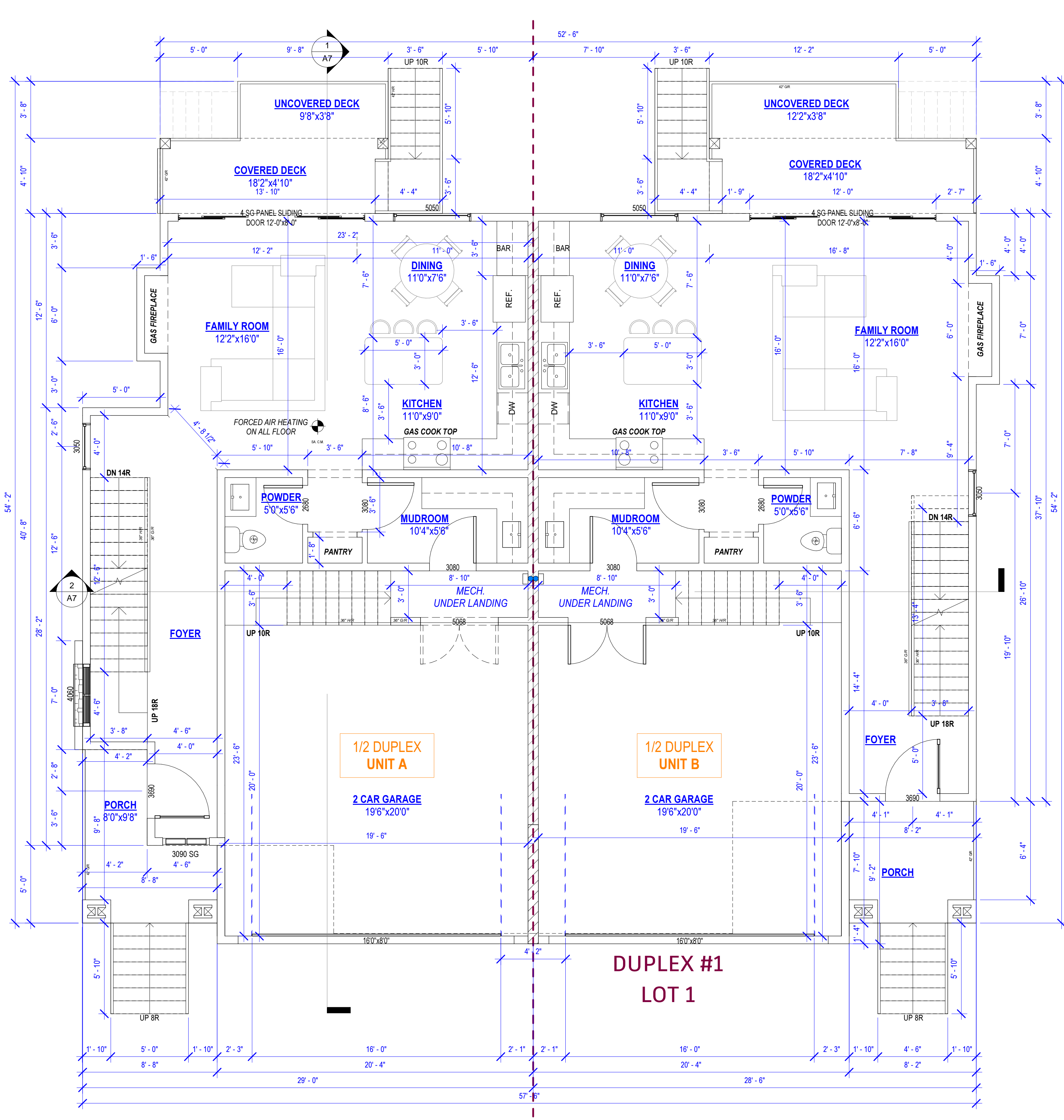
20294 49 AVENUE,
LANGLEY

PROJECT
SCALE 1/4"=1'-0"

ROOF & UPPER FLOOR
PLAN UNIT A&B

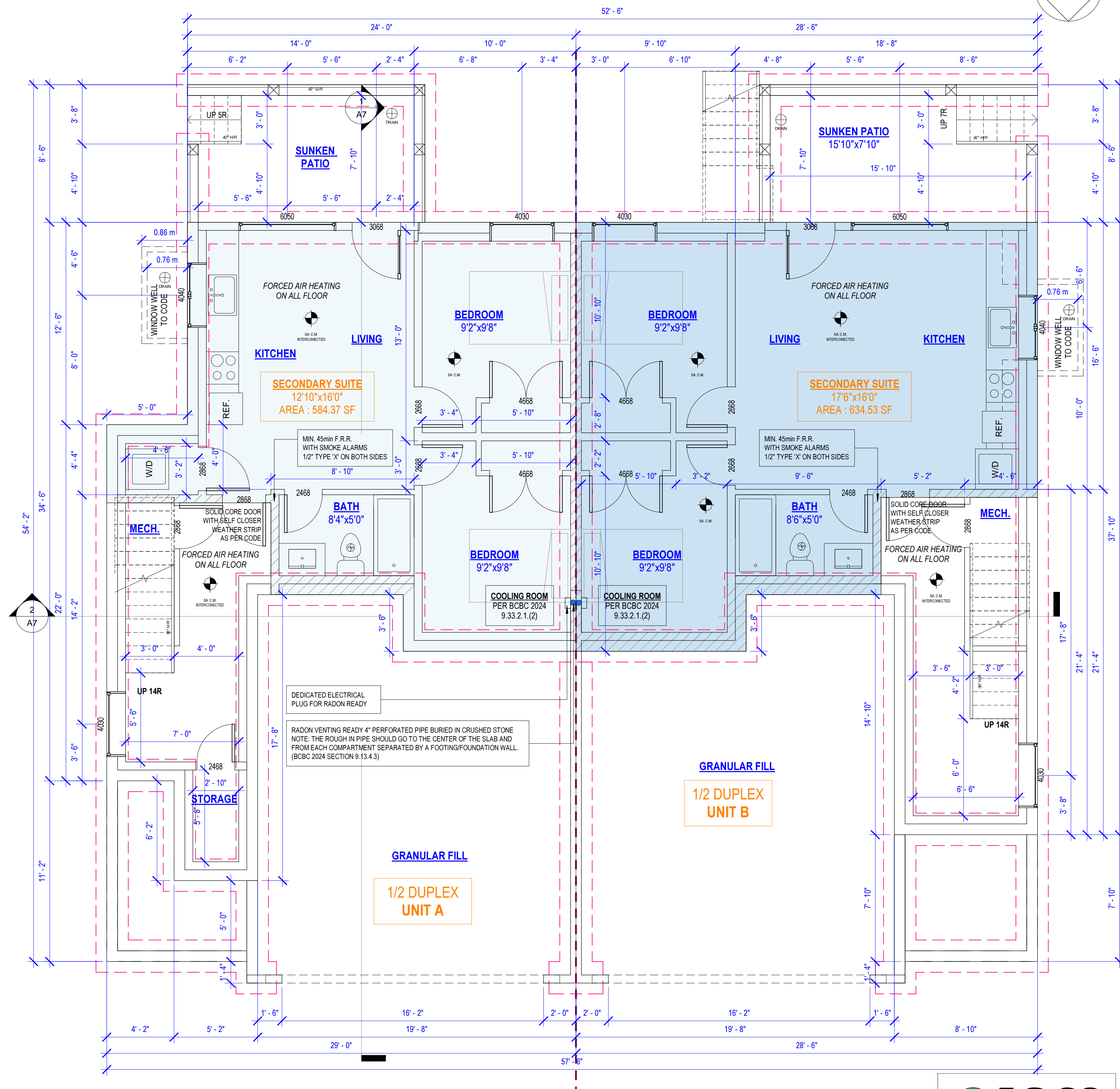
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A5

SHEET NUMBER



MAIN FLOOR PLAN

TOTAL MAIN FLOOR AREA = 1525.58 SF
 UNIT A = 741.12 SF
 GARAGE = 479.17 SF
 UNIT B = 784.46 SF
 GARAGE = 480.58 SF



BASEMENT & FOUNDATION PLAN

TOTAL BASEMENT FLOOR AREA = 1668.67 SF
 UNIT A = 812.90 SF
 UNIT B = 855.77 SF

JOSS
 8500 - 20020 84 AVENUE, LANGLEY, BC
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 TEL: 778 323-8873

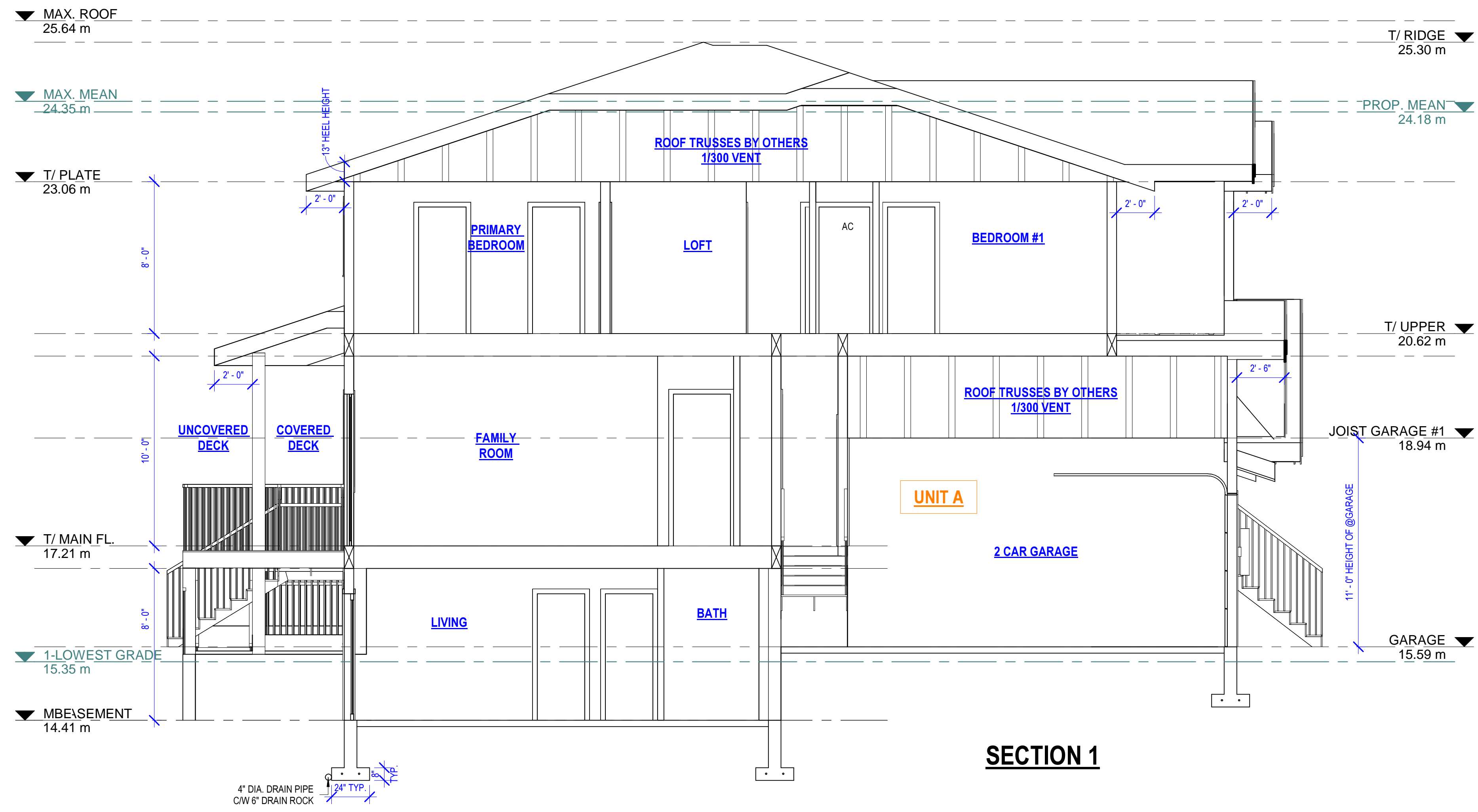
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 LANGLEY

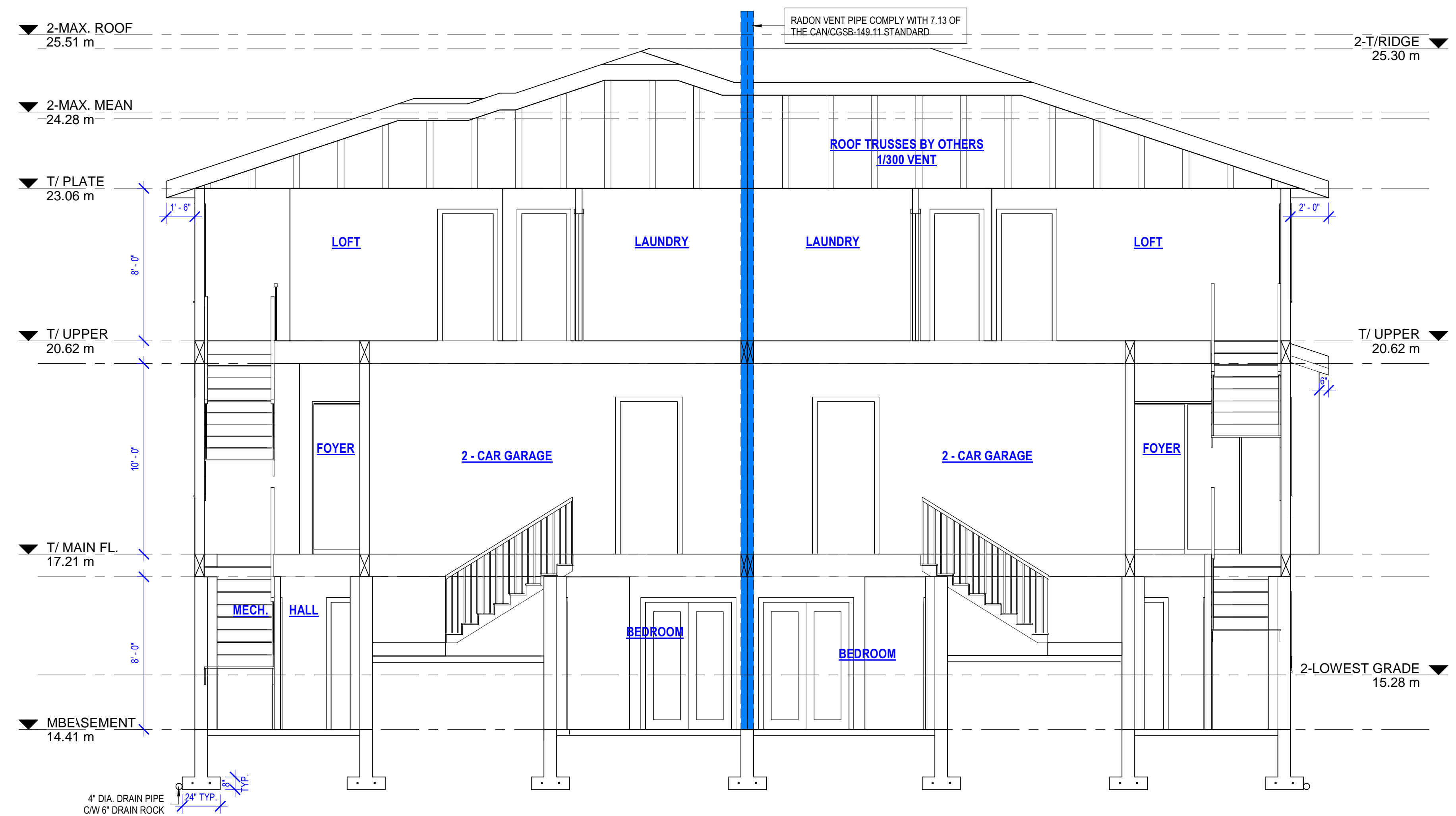
PROJECT
 SCALE 1/4"=1'-0"

MAIN, BASEMENT
 FLOOR & FDN. PLAN
 UNIT A&B
 DRAWING TITLE

A6
 SHEET NUMBER



SECTION 1



SECTION 2



B500 - 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323-8873

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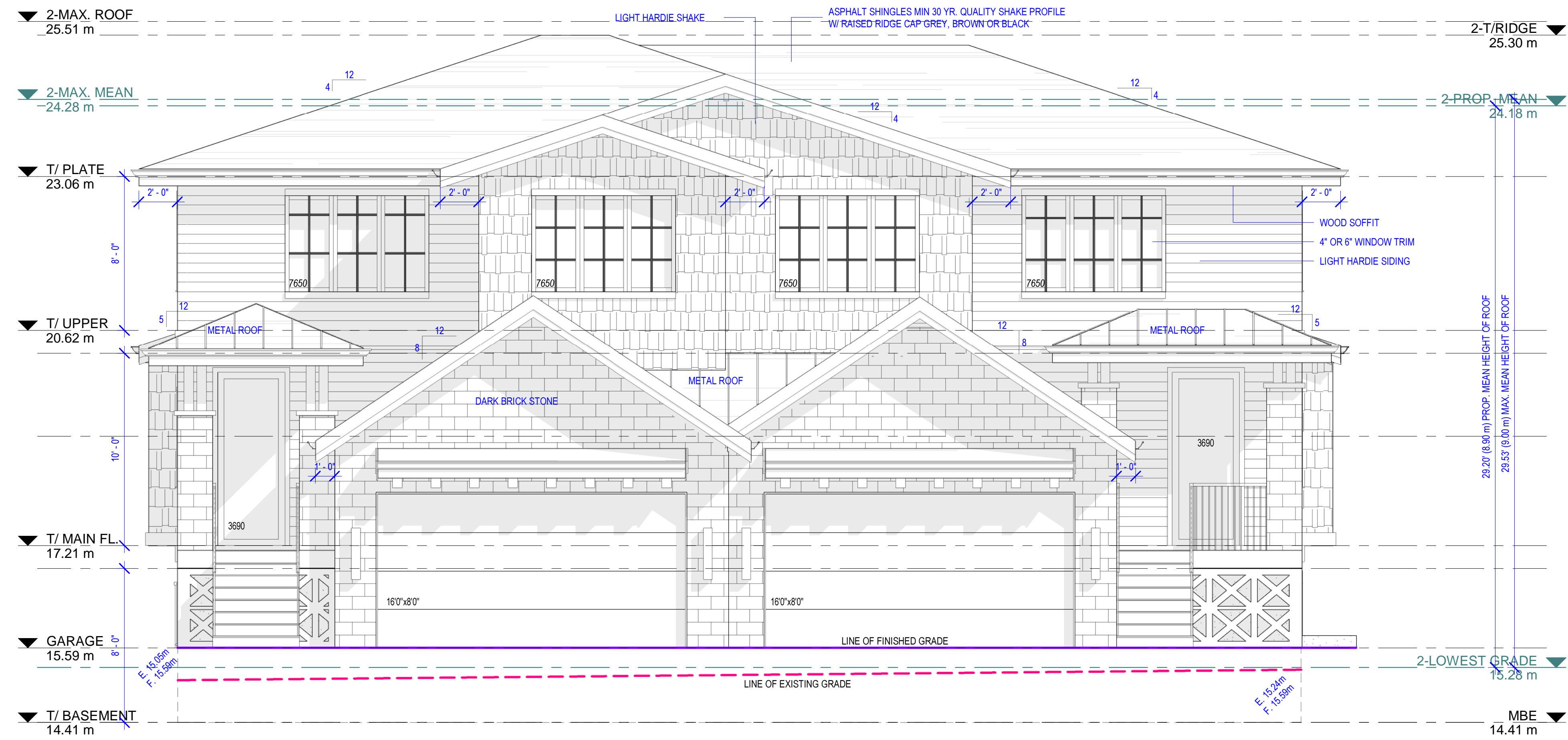
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 LANGLEY

PROJECT
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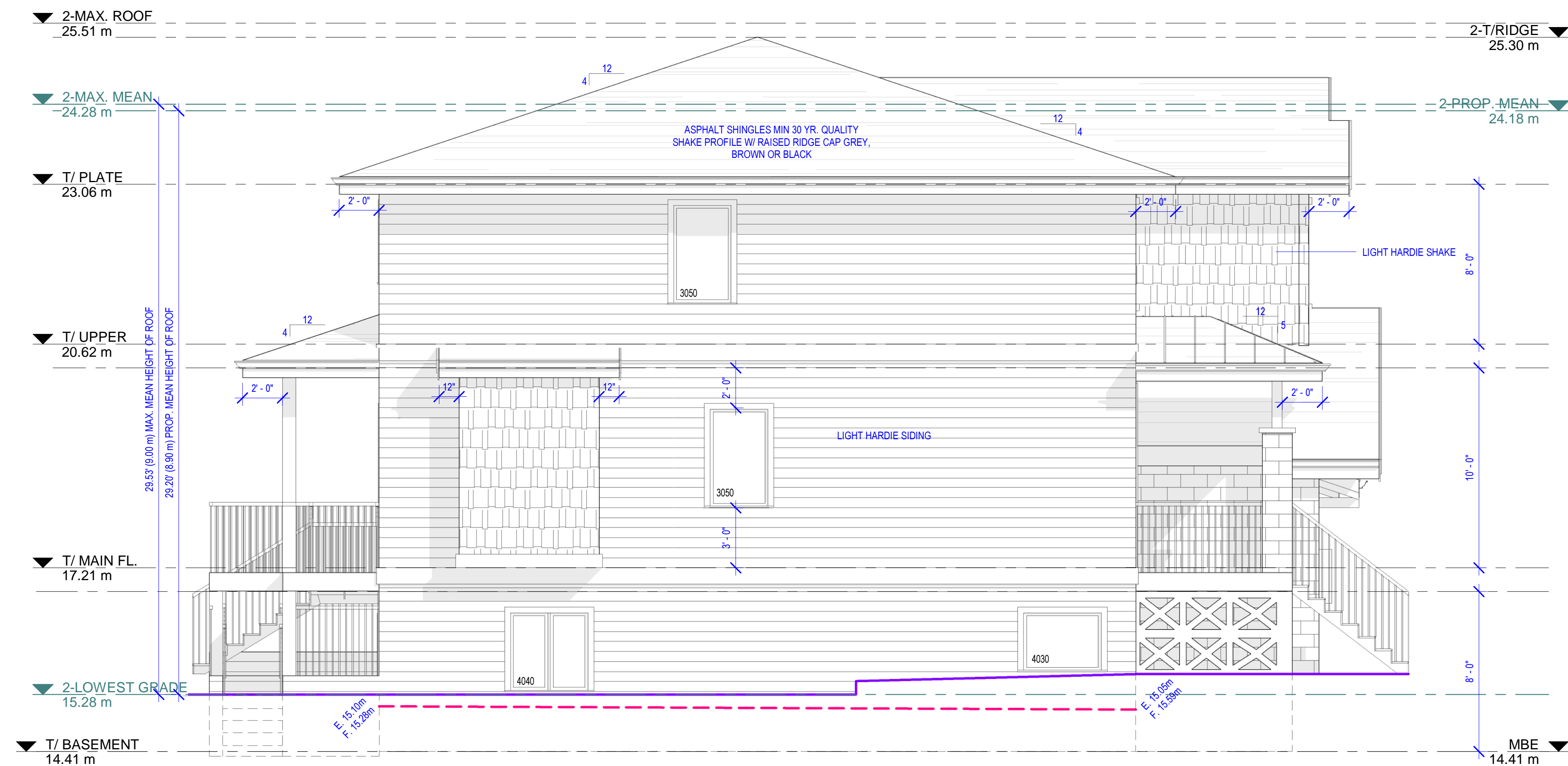
SECTION UNIT A&B

DRAWING TITLE

A7
 SHEET NUMBER



FRONT (NORTH) ELEVATION



LEFT (EAST) ELEVATION



B500 - 20020 84 AVENUE, LANGLEY, BC
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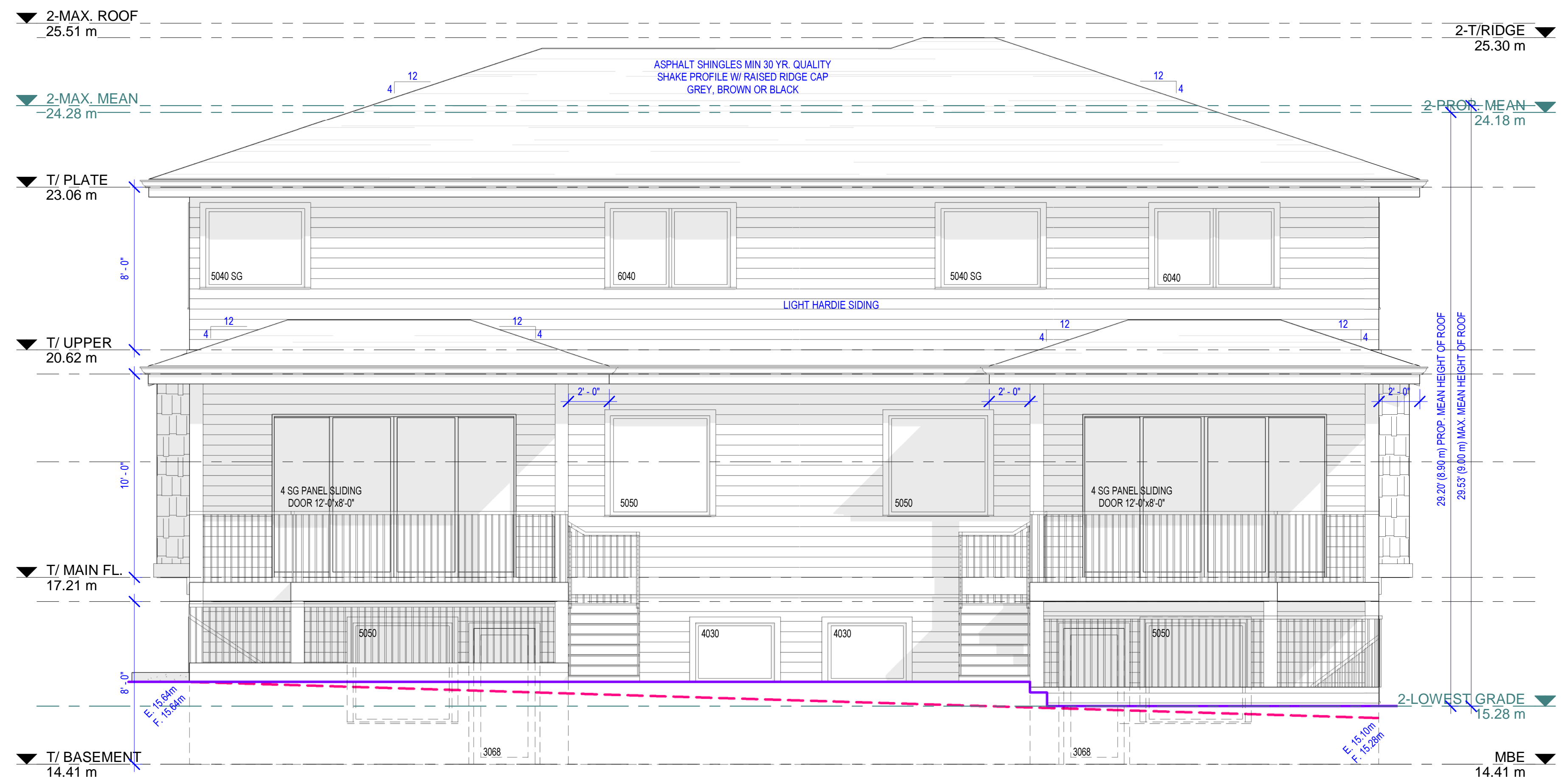
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 LANGLEY

PROJECT
 SCALE 1/4"=1'-0"

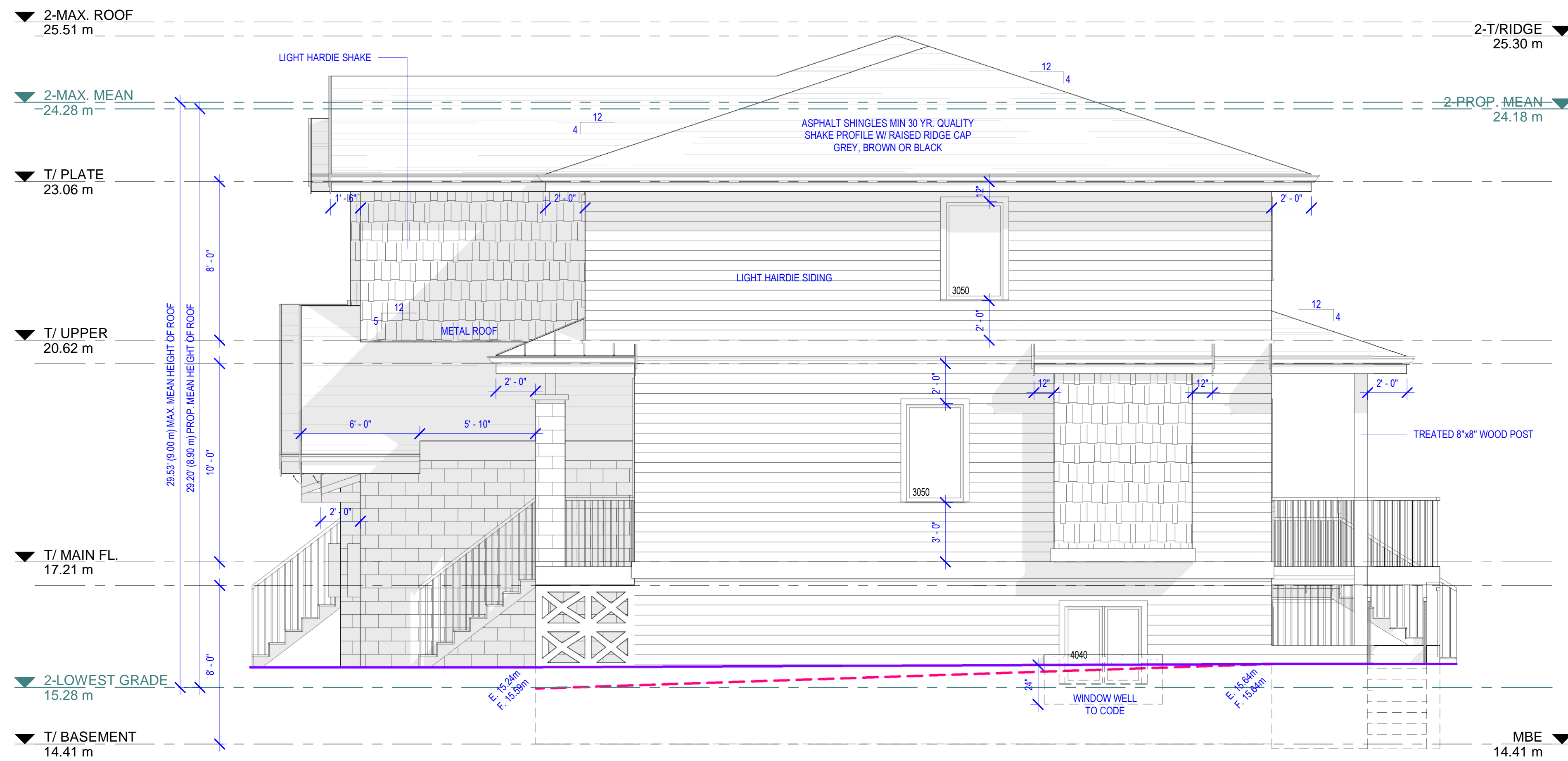
FRONT & LEFT UNIT
 C&D

DRAWING TITLE

A8
 SHEET NUMBER



REAR (SOUTH) ELEVATION



RIGHT (WEST) ELEVATION

JOSS
 8500 - 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323-8873

DRAWN JS MARCH 27, 2026_REV.

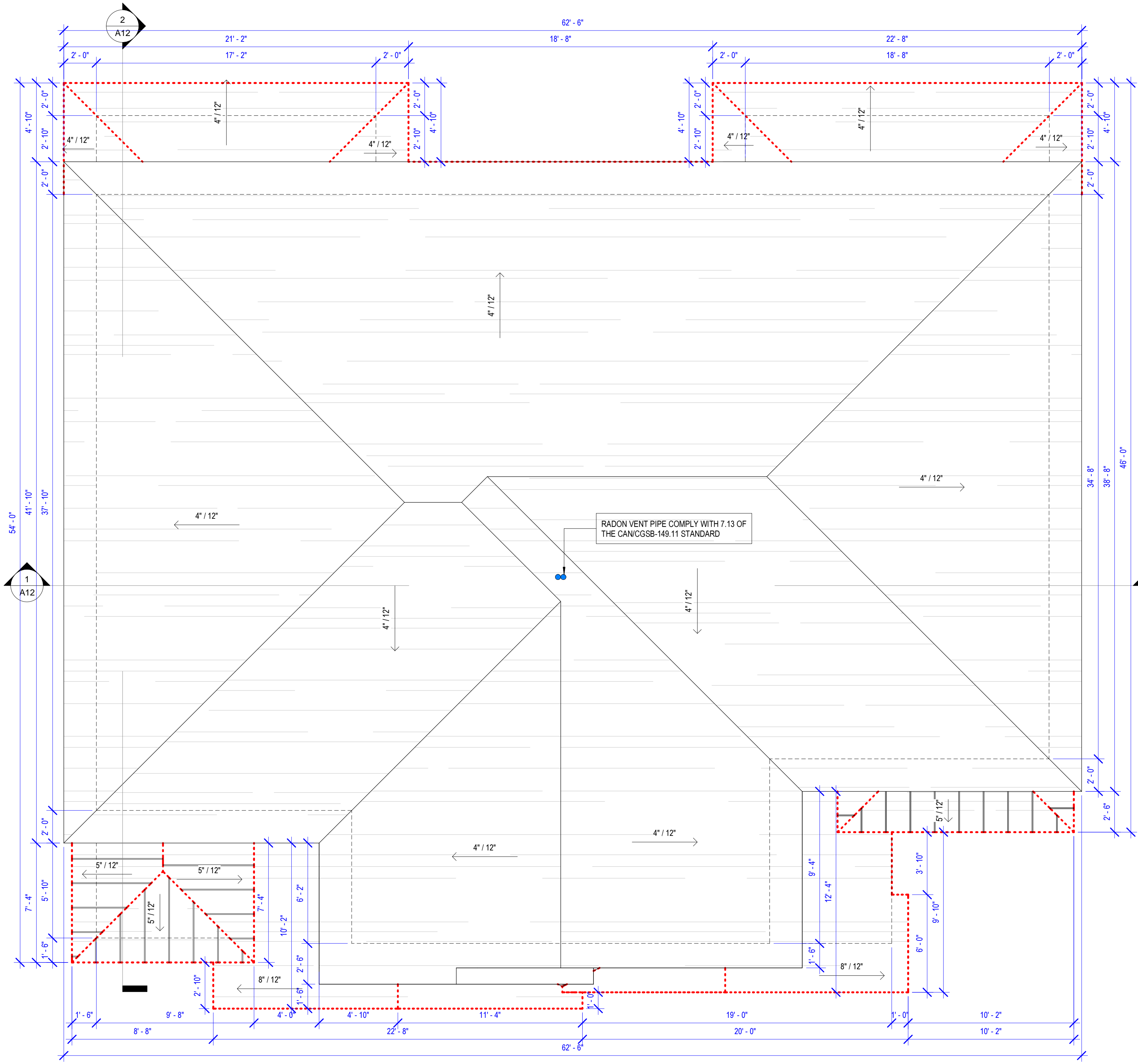
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 LANGLEY

PROJECT
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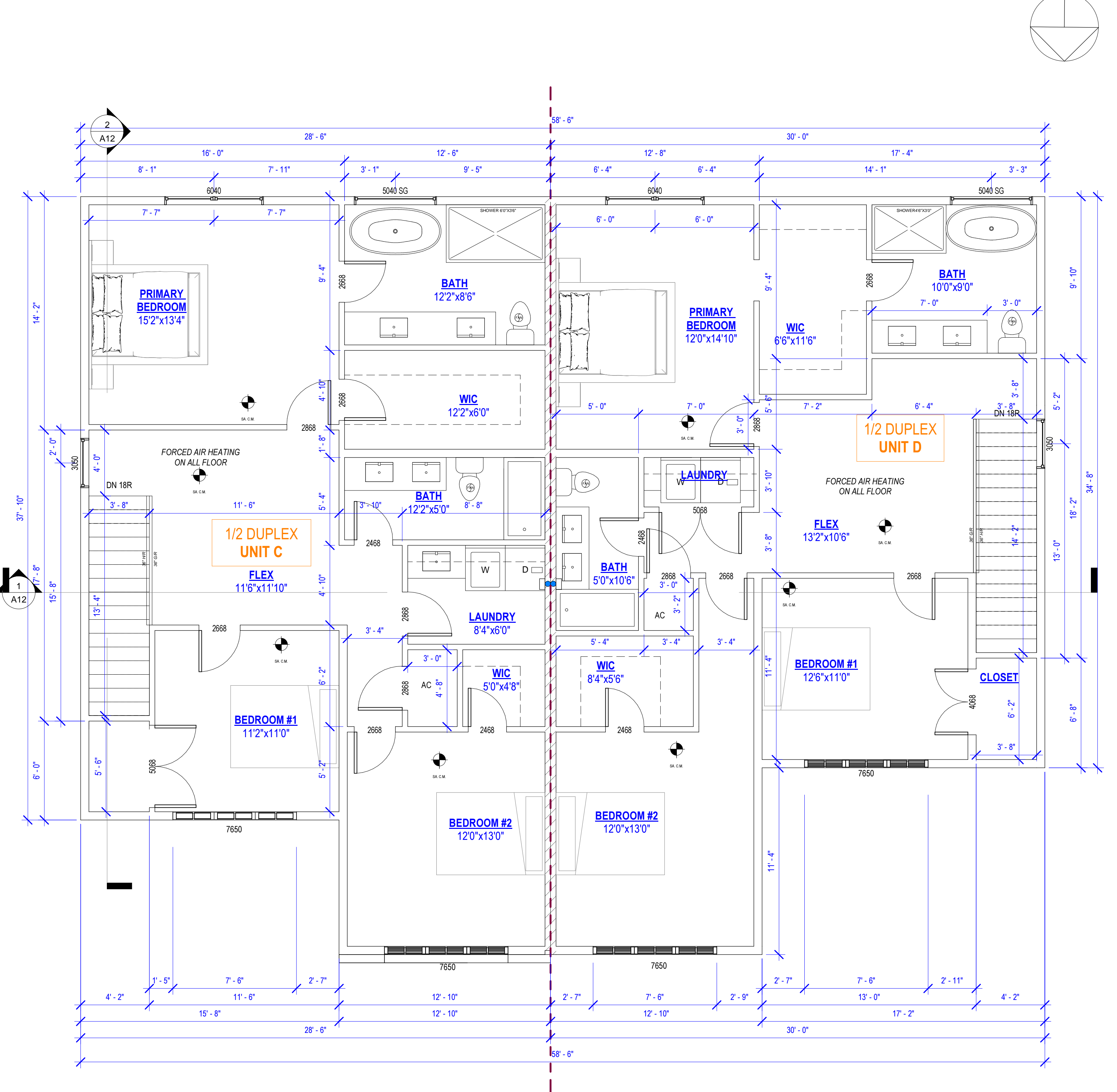
REAR & RIGHT UNIT
 C&D

DRAWING TITLE

A9
 SHEET NUMBER



ROOF PLAN



UPPER FLOOR PLAN

TOTAL UPPER FLOOR AREA = 2317.28 SF
 UNIT C = 1133.46 SF
 UNIT D = 1133.82 SF



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 TEL: 778 323-8873

DRAWN JS MARCH 27, 2026_REV.

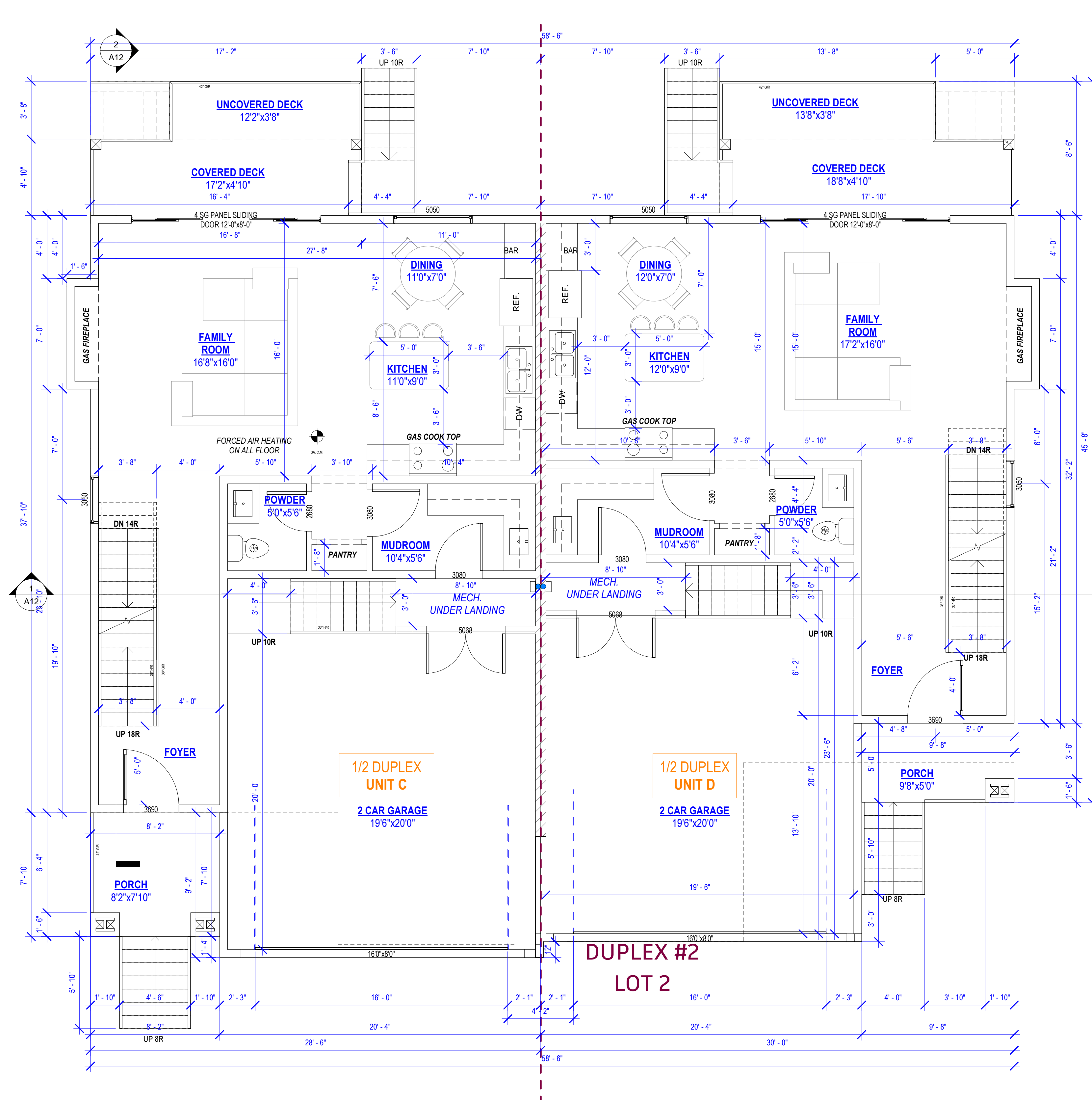
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 LANGLEY

PROJECT
 SCALE 1/4"=1'-0"

ROOF & UPPER FLOOR
 PLAN UNIT C&D

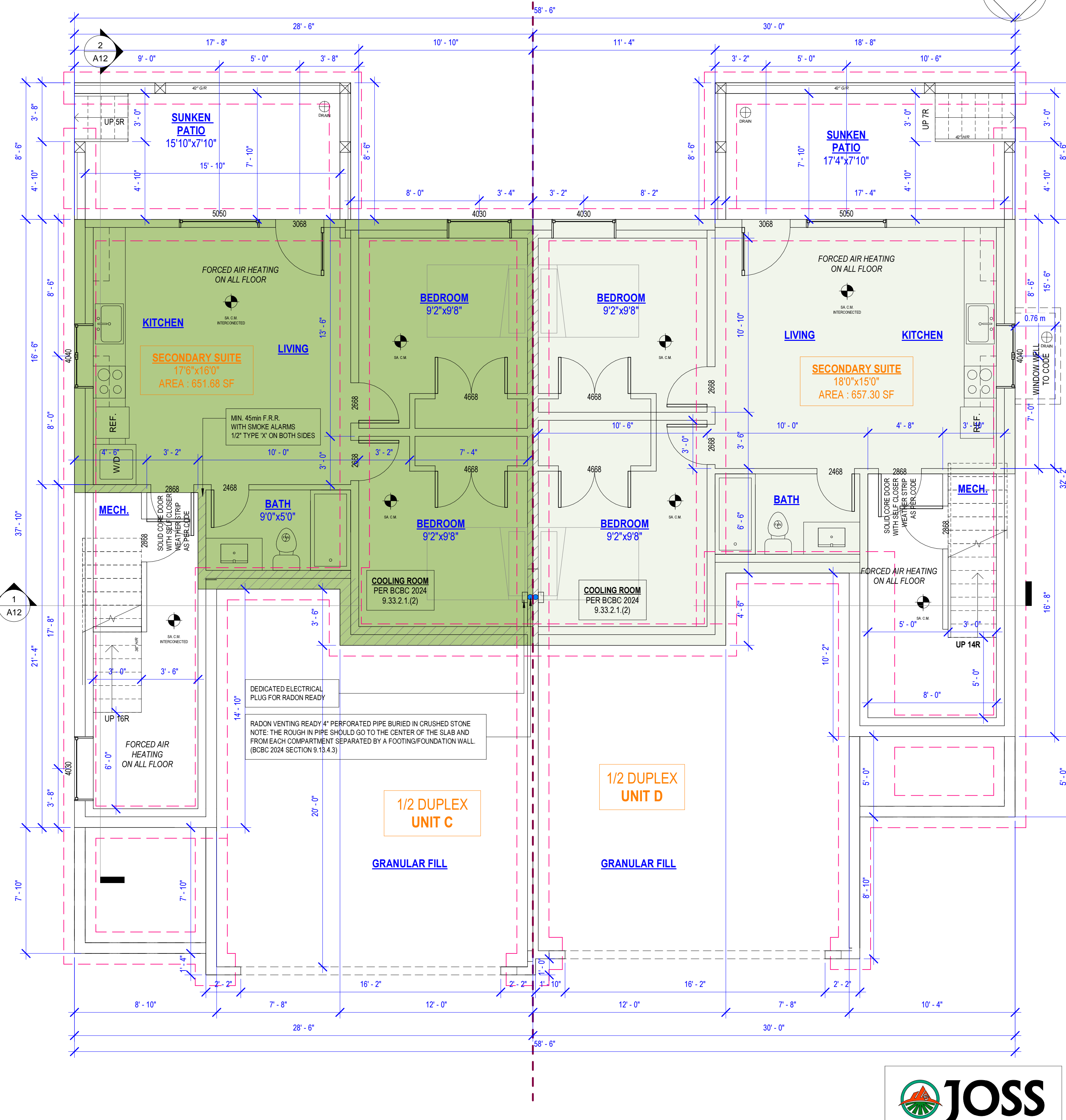
DRAWING TITLE

A10
 SHEET NUMBER



MAIN FLOOR PLAN

TOTAL MAIN FLOOR AREA = 1499.78 SF
 UNIT C = 784.55 SF
 GARAGE = 481.26 SF
 UNIT D = 715.13 SF
 GARAGE = 482.56 SF



BASEMENT & FOUNDATION PLAN

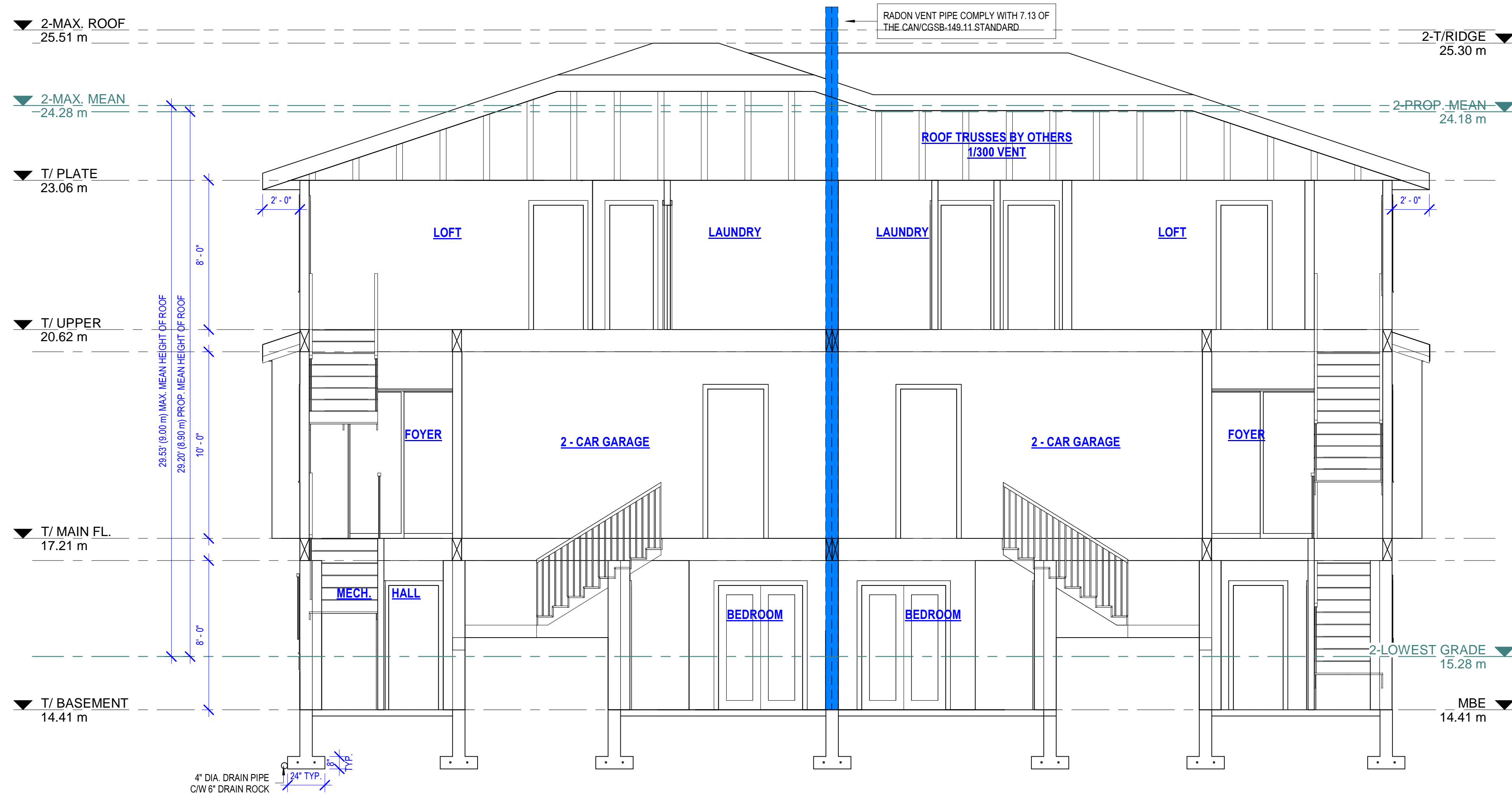
TOTAL BASEMENT FLOOR AREA = 1661.42 SF
 UNIT C = 855.77 SF
 UNIT D = 805.65 SF

JOSS
 8500 - 20020 84 AVENUE, LANGLEY, BC
 EMAIL: INFO@JOSSDESIGN.CA
 TEL: 778 323-8873

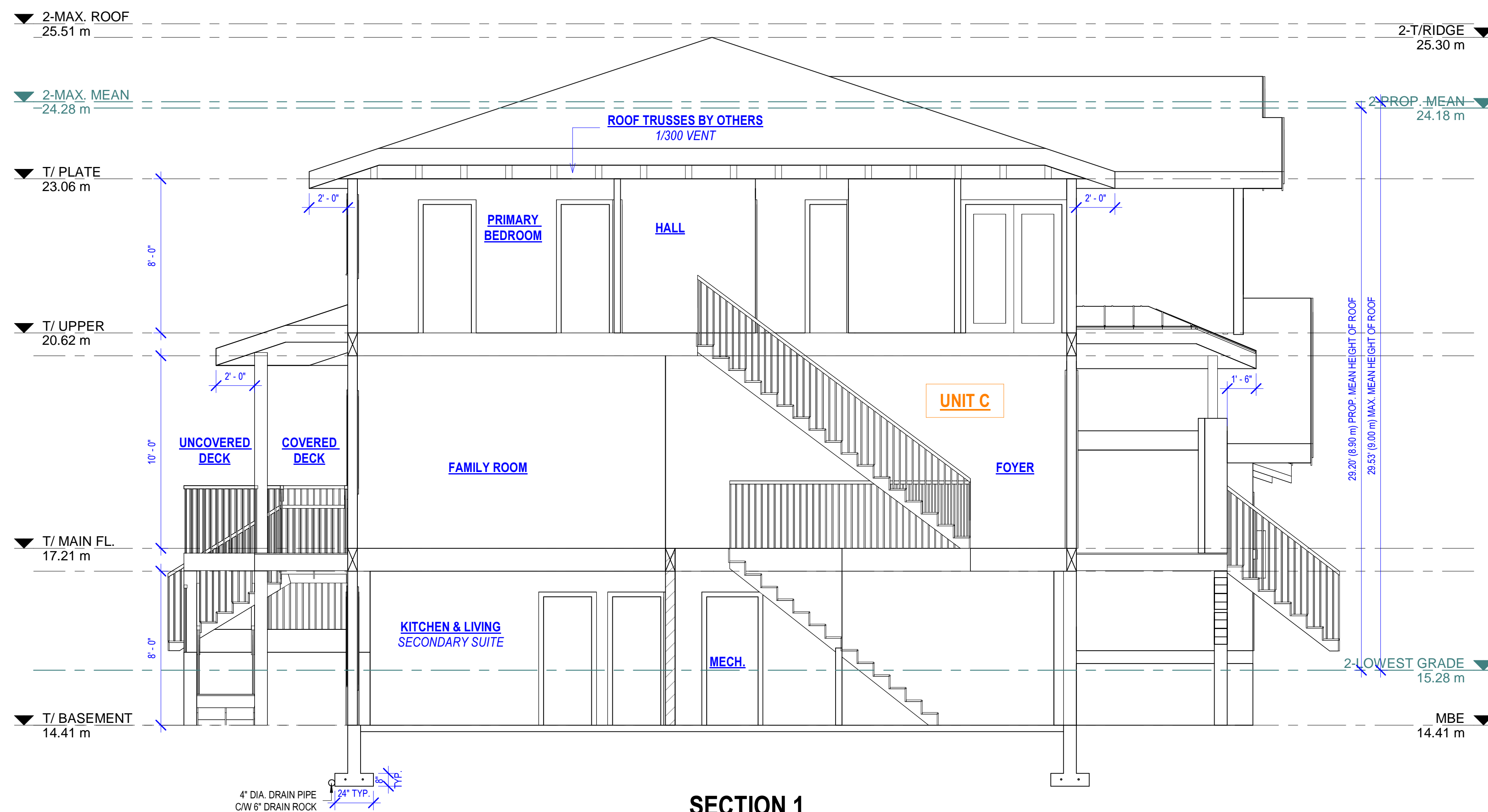
DRAWN JS MARCH 27, 2026_REV.
 20294 49 AVENUE,
 LANGLEY

PROJECT
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 MAIN, BASEMENT
 FLOOR & FDN. PLAN
 UNIT C&D
 DRAWING TITLE


A11
 SHEET NUMBER

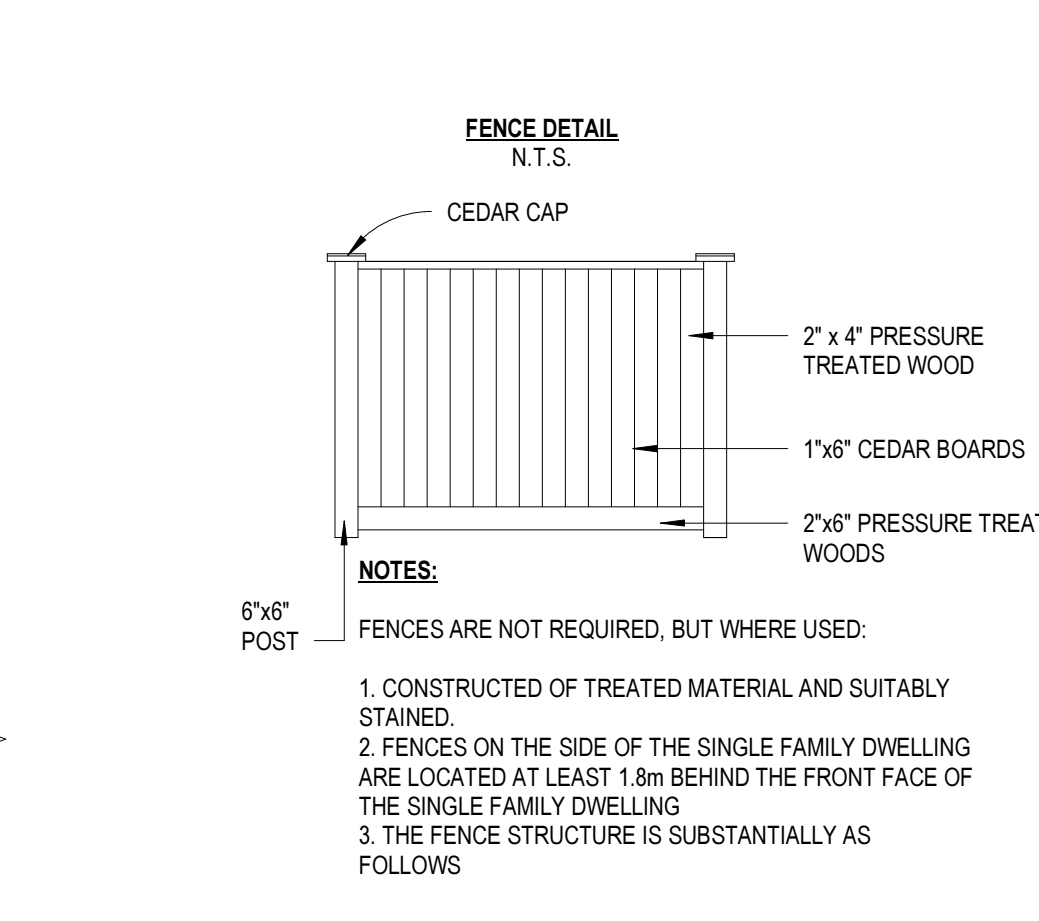
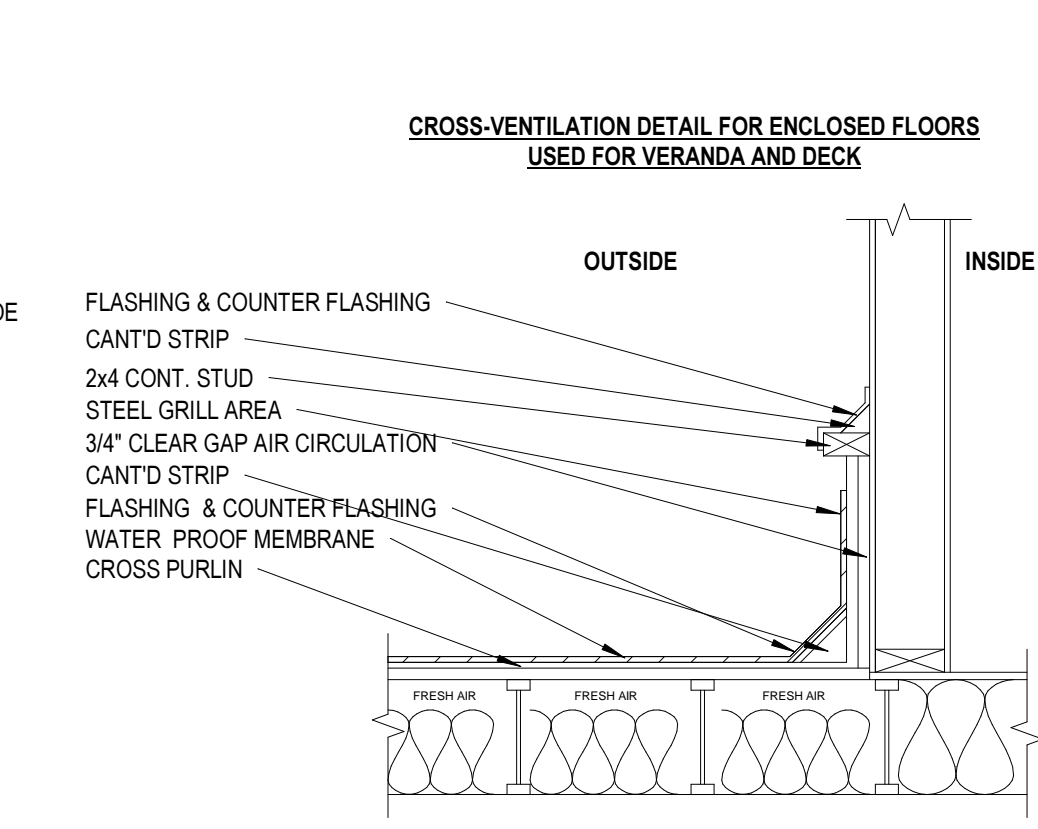
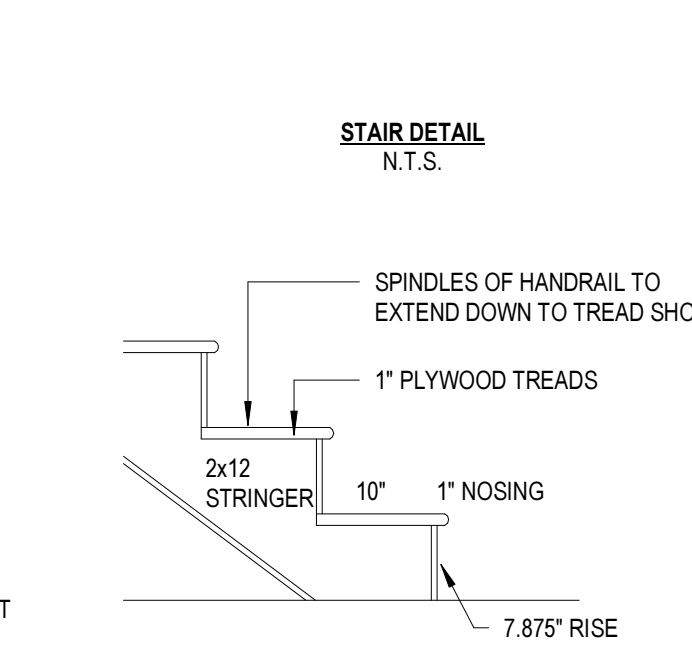
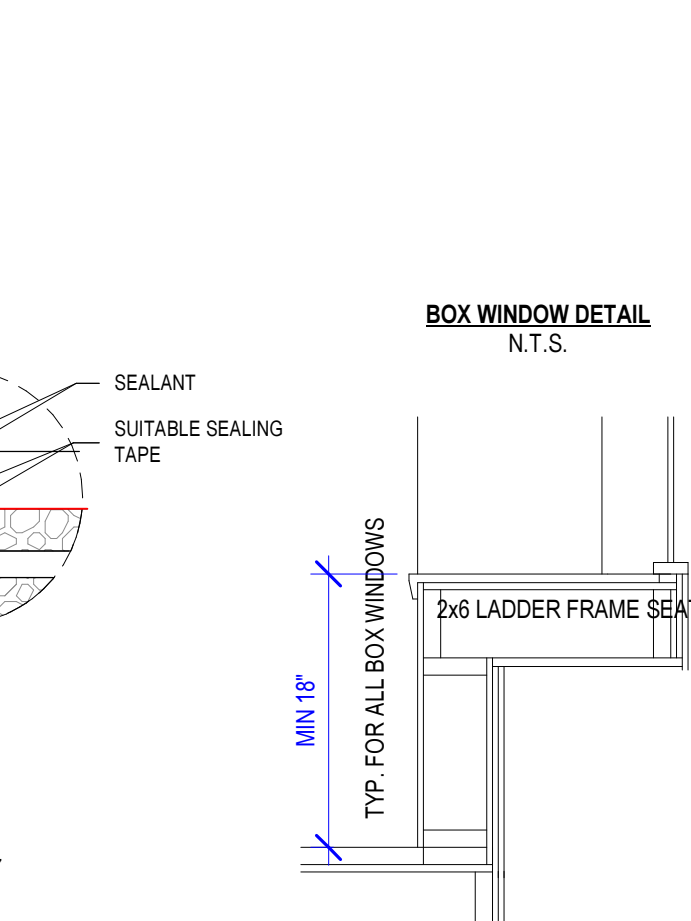
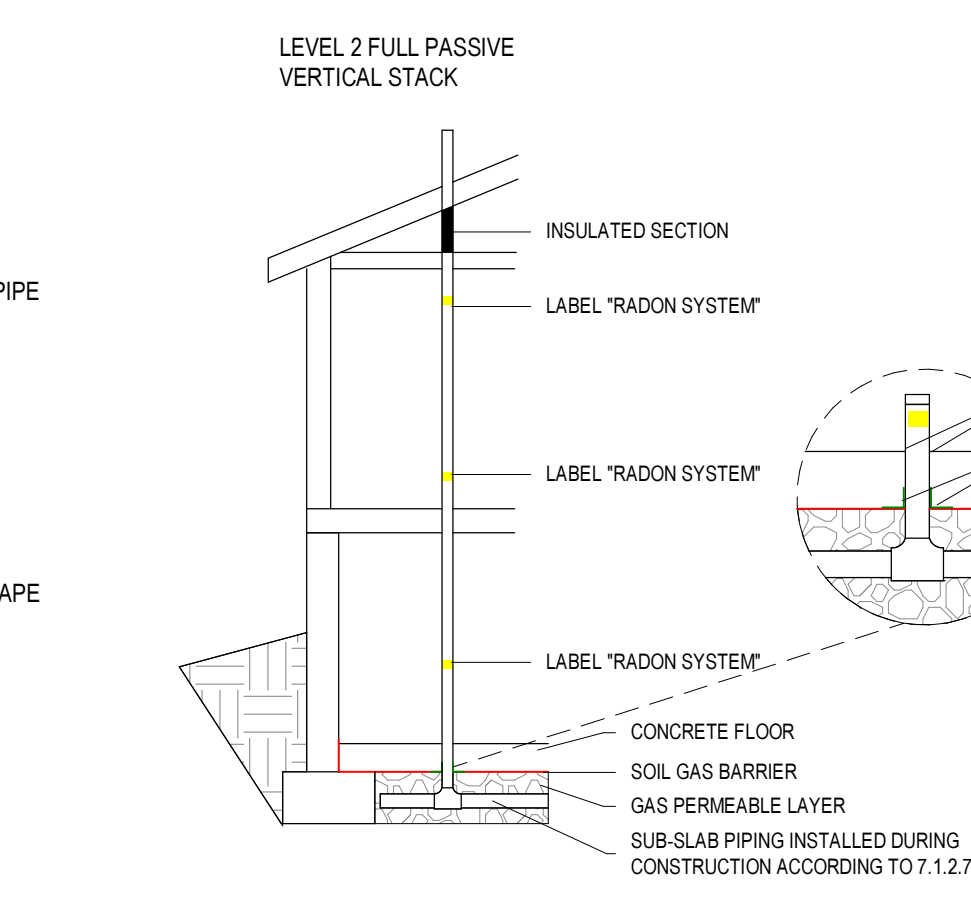
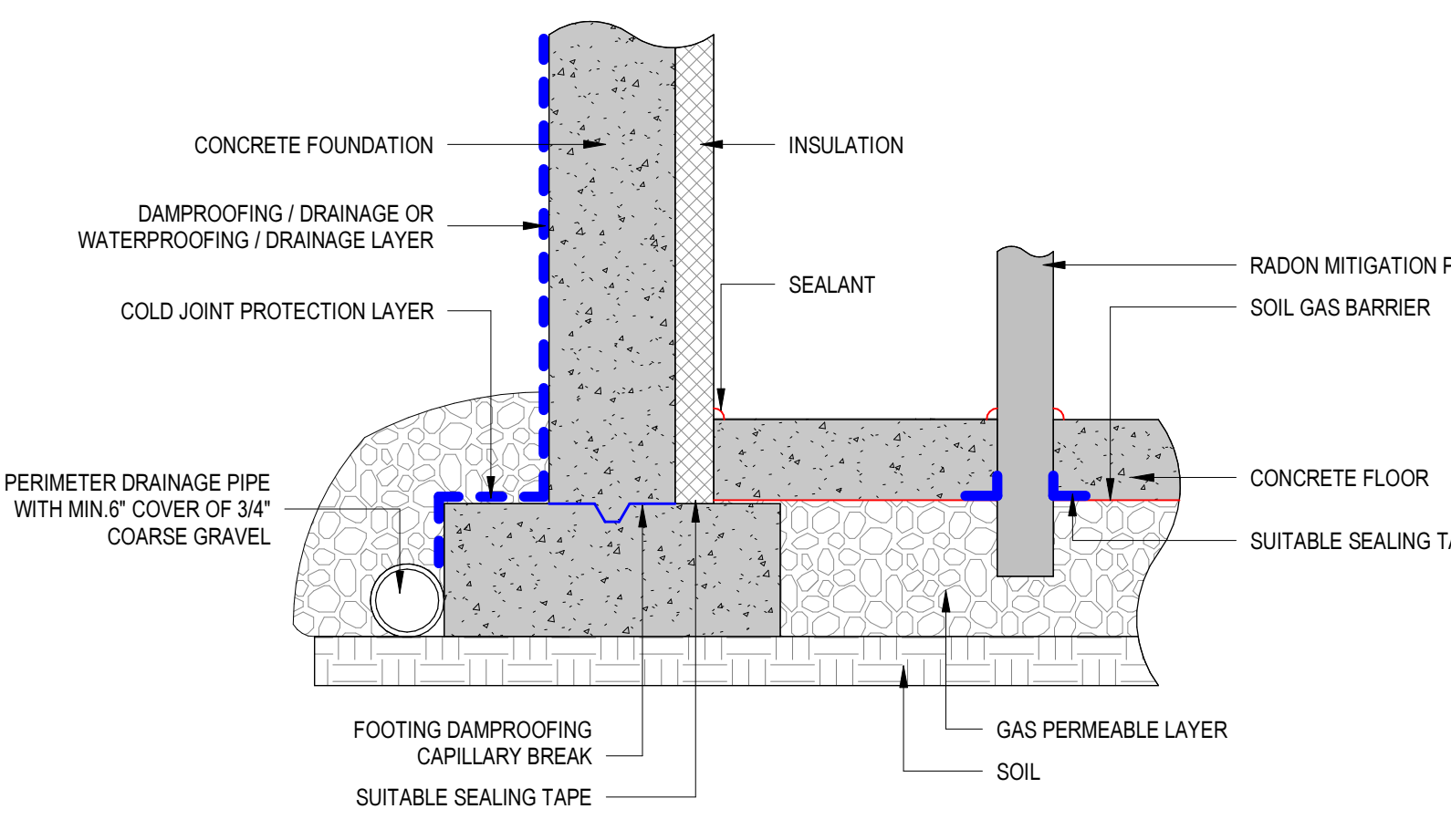
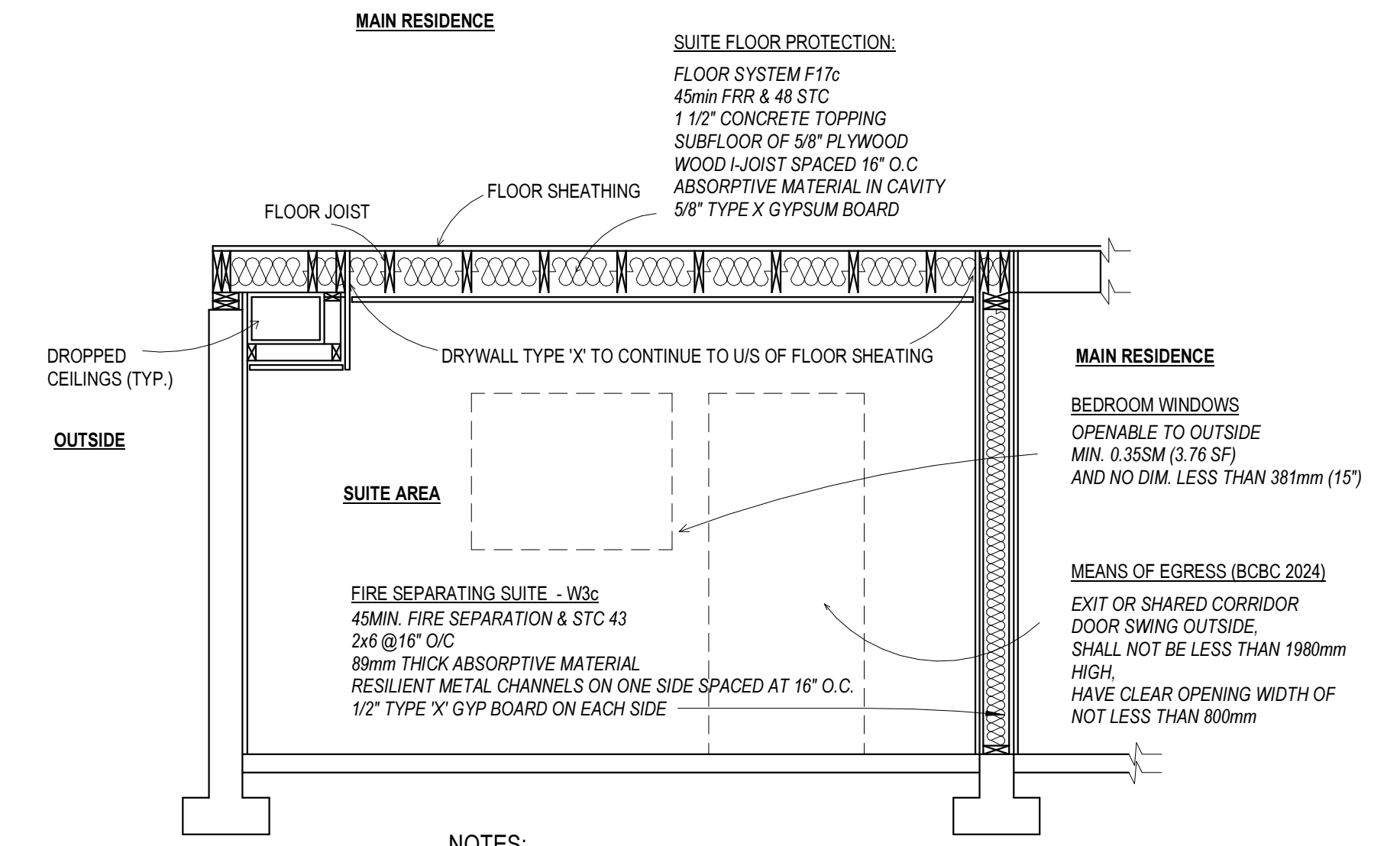
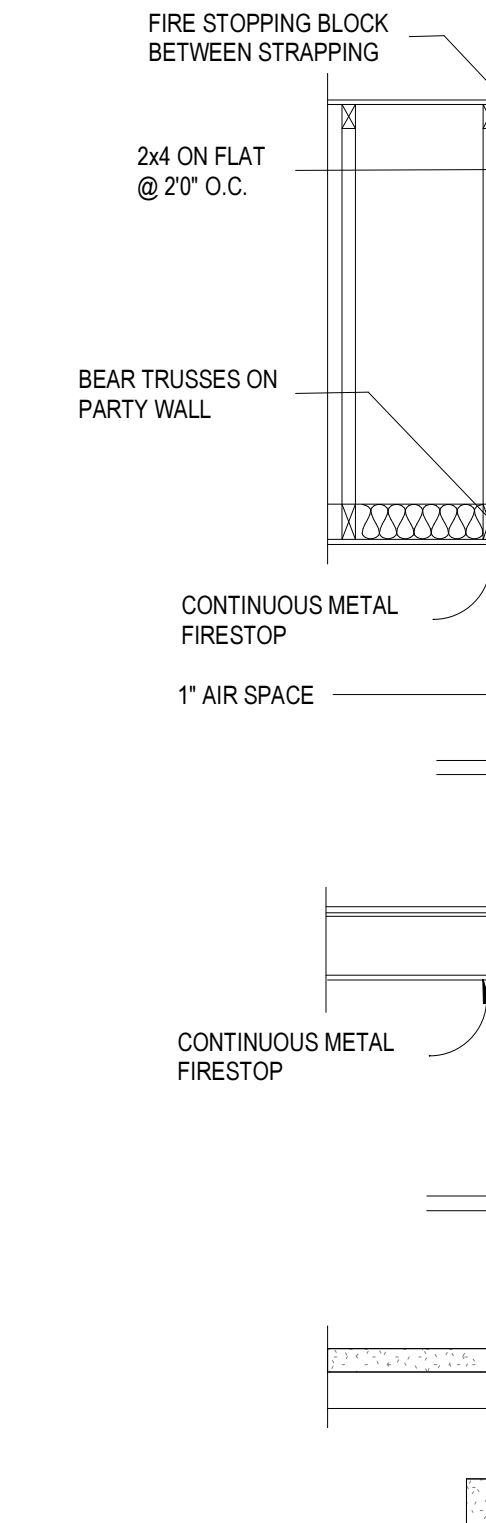
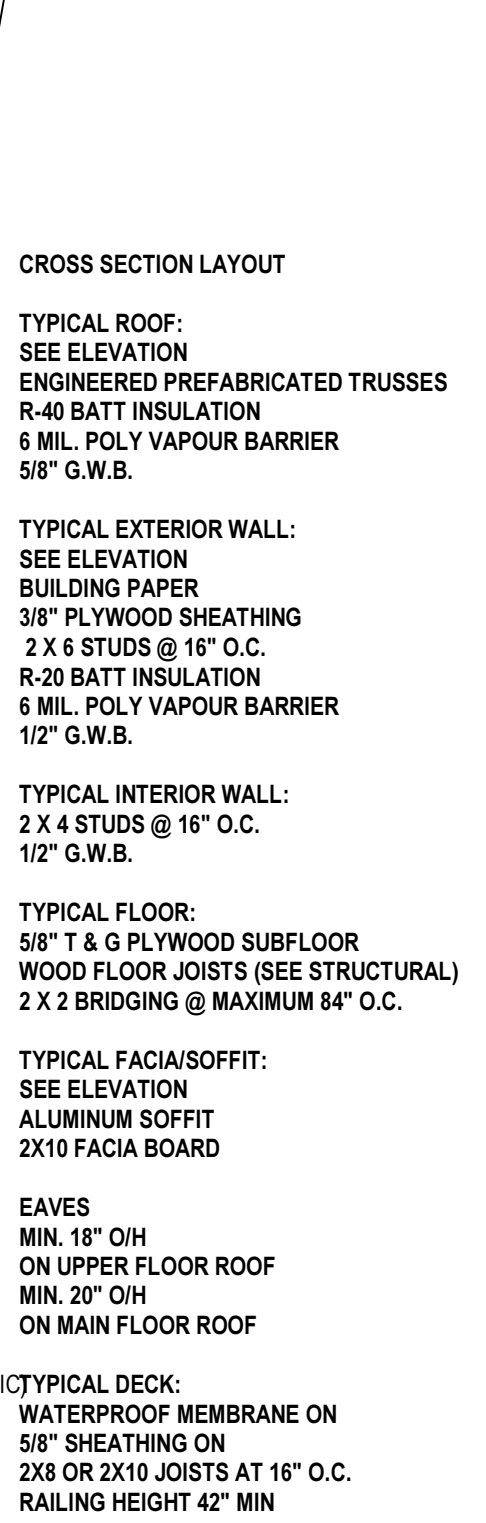
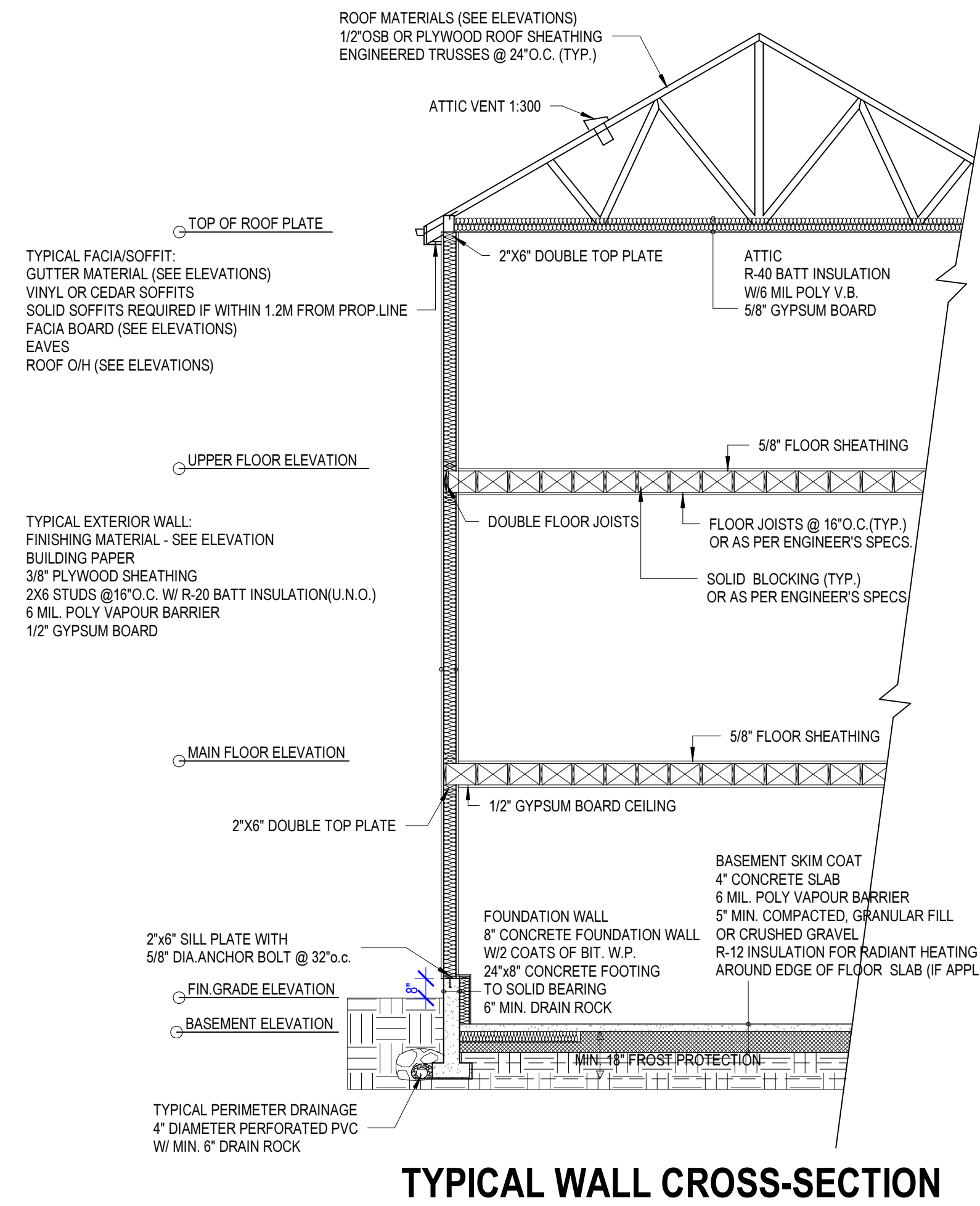


SECTION 2



SECTION 1

	
<small>B500 - 20020 84 AVENUE, LANGLEY, BC EMAIL: INFO@JOSSDESIGN.CA TEL: 778 323-8873</small>	
DRAWN	JS MARCH 27, 2026_REV.
20294 49 AVENUE, LANGLEY	
PROJECT	
SCALE	1/4"=1'-0"
SECTION UNIT C&D	
DRAWING TITLE	
A12	
SHEET NUMBER	



JOSS

8500 - 20020 84 AVENUE, LANGLEY, BC
EMAIL: INFO@JOSSDESIGN.CA
TEL: 778 323-8873

DRAWN JS MARCH 27, 2026, REV.

**20294 49 AVENUE,
LANGLEY**

PROJECT

SCALE 1/4"=1'-0"

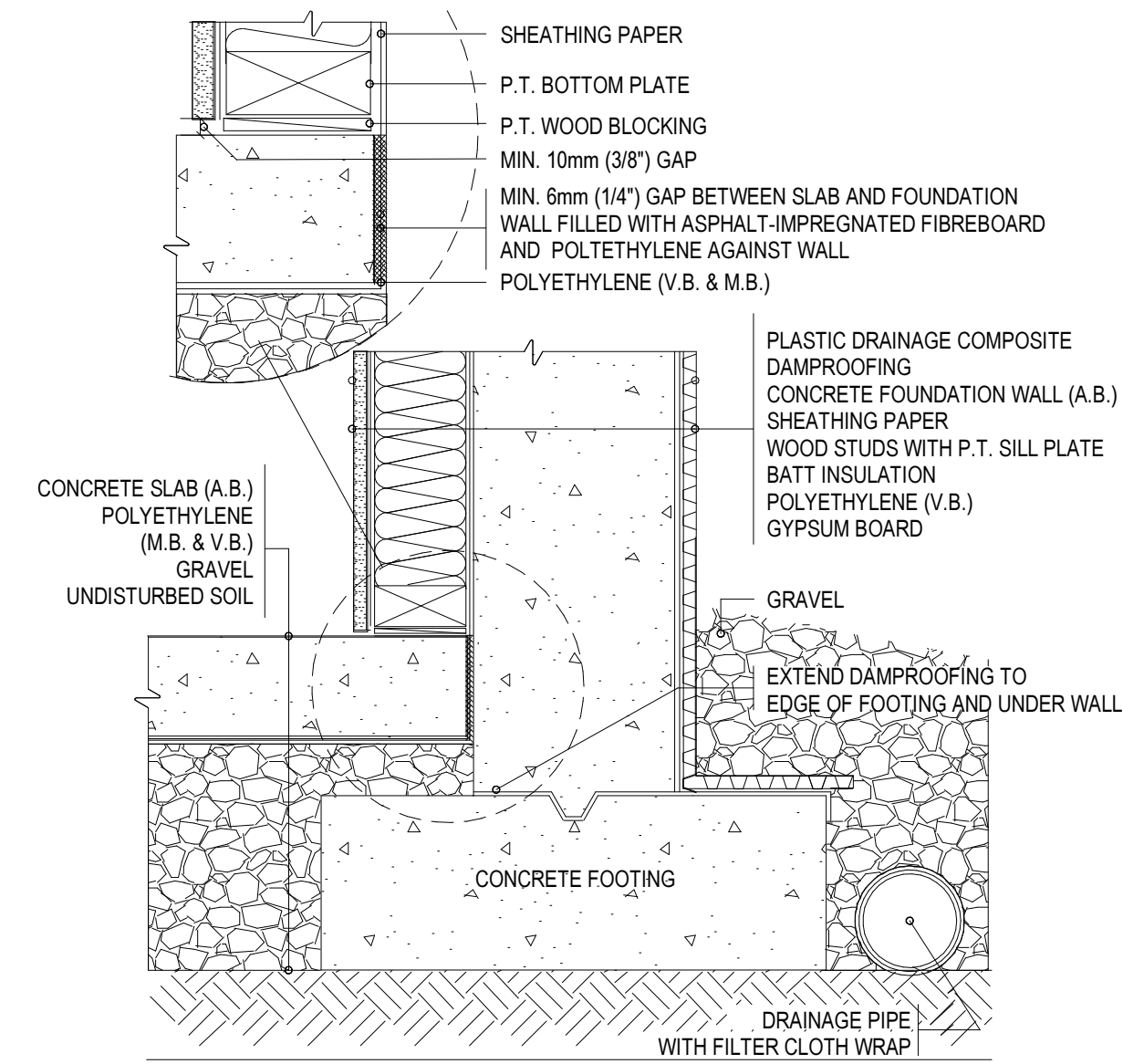
DETAILS

DRAWING TITLE

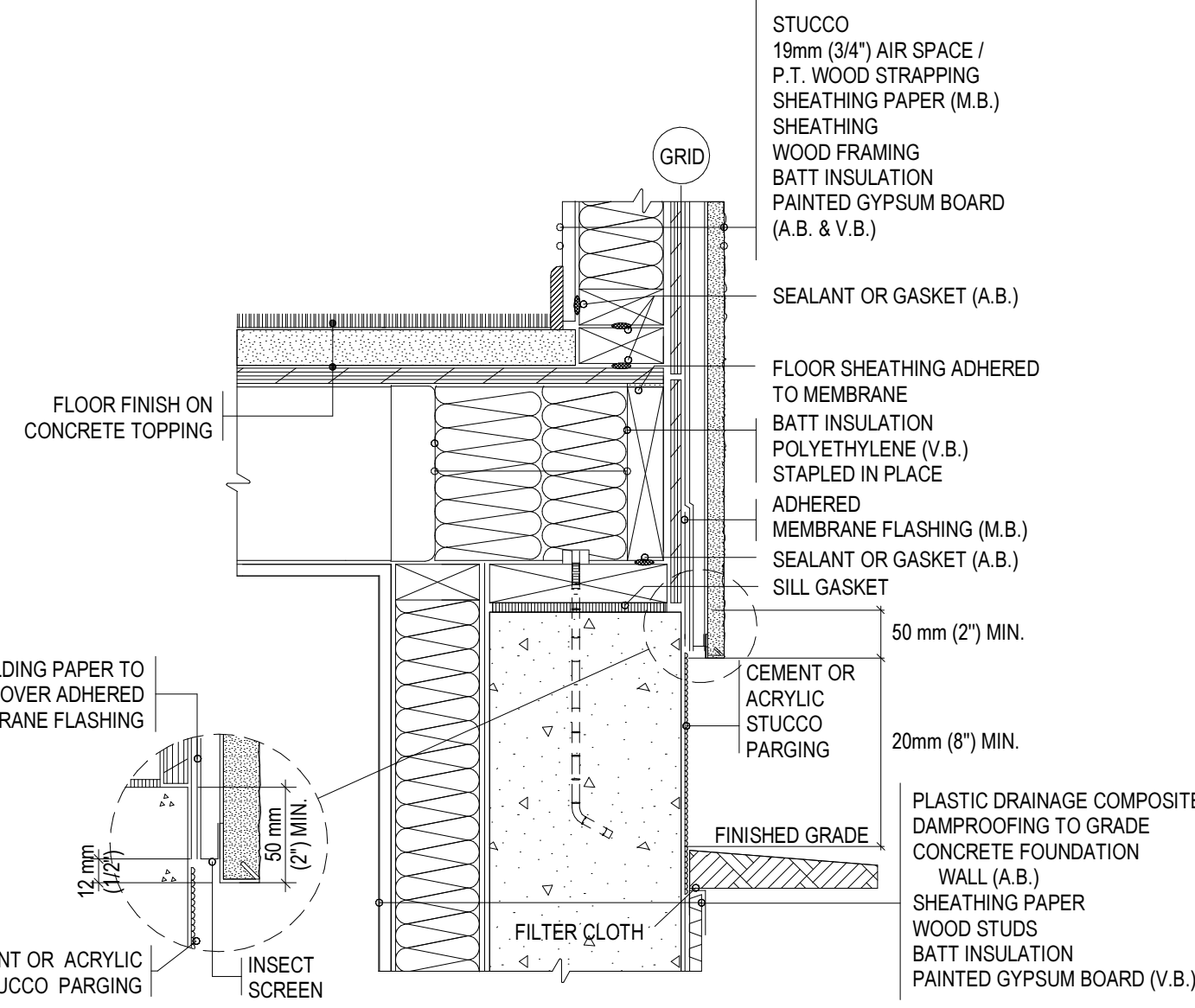
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SHEET NUMBER

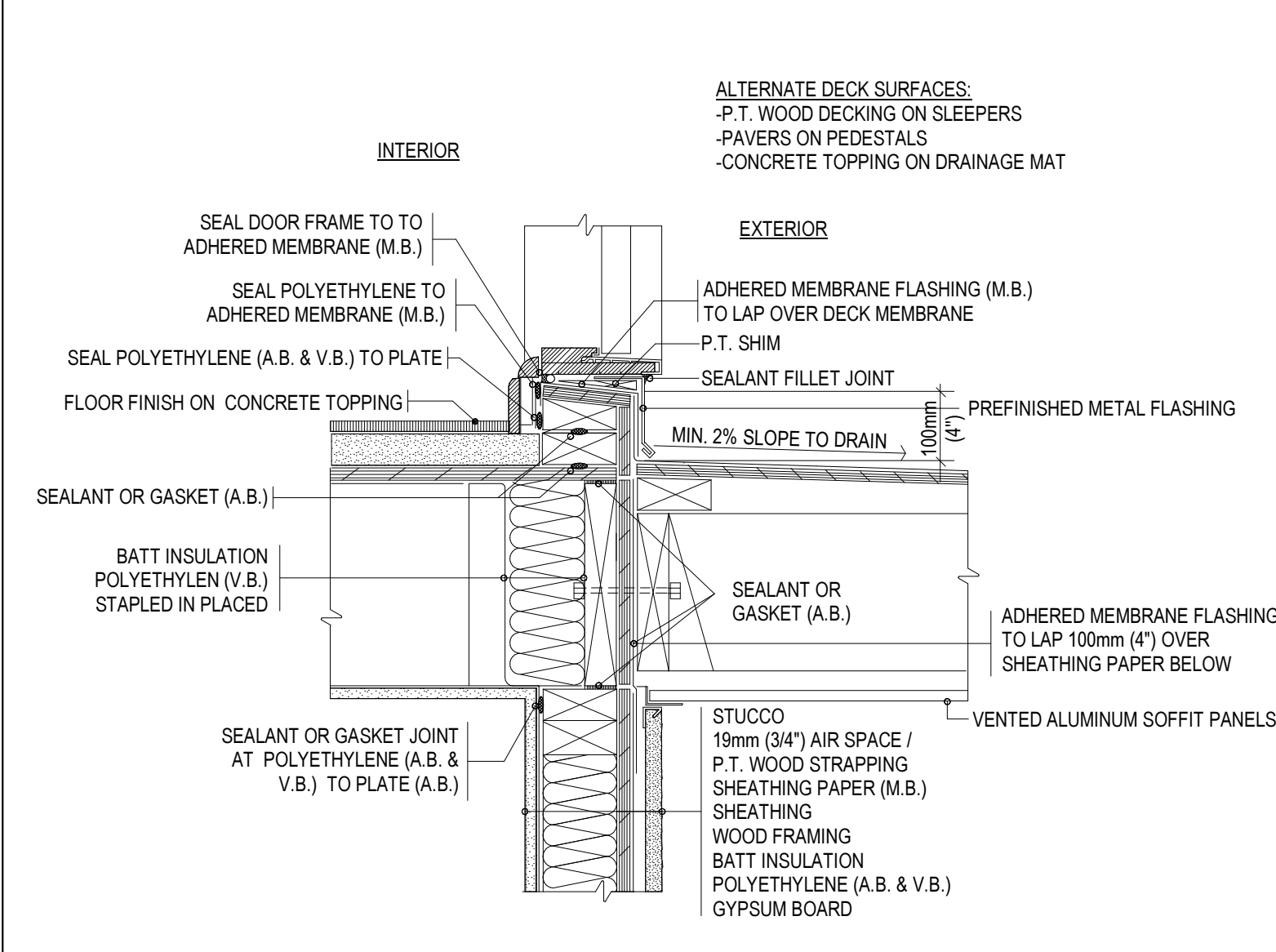
CONSTRUCTION DETAIL



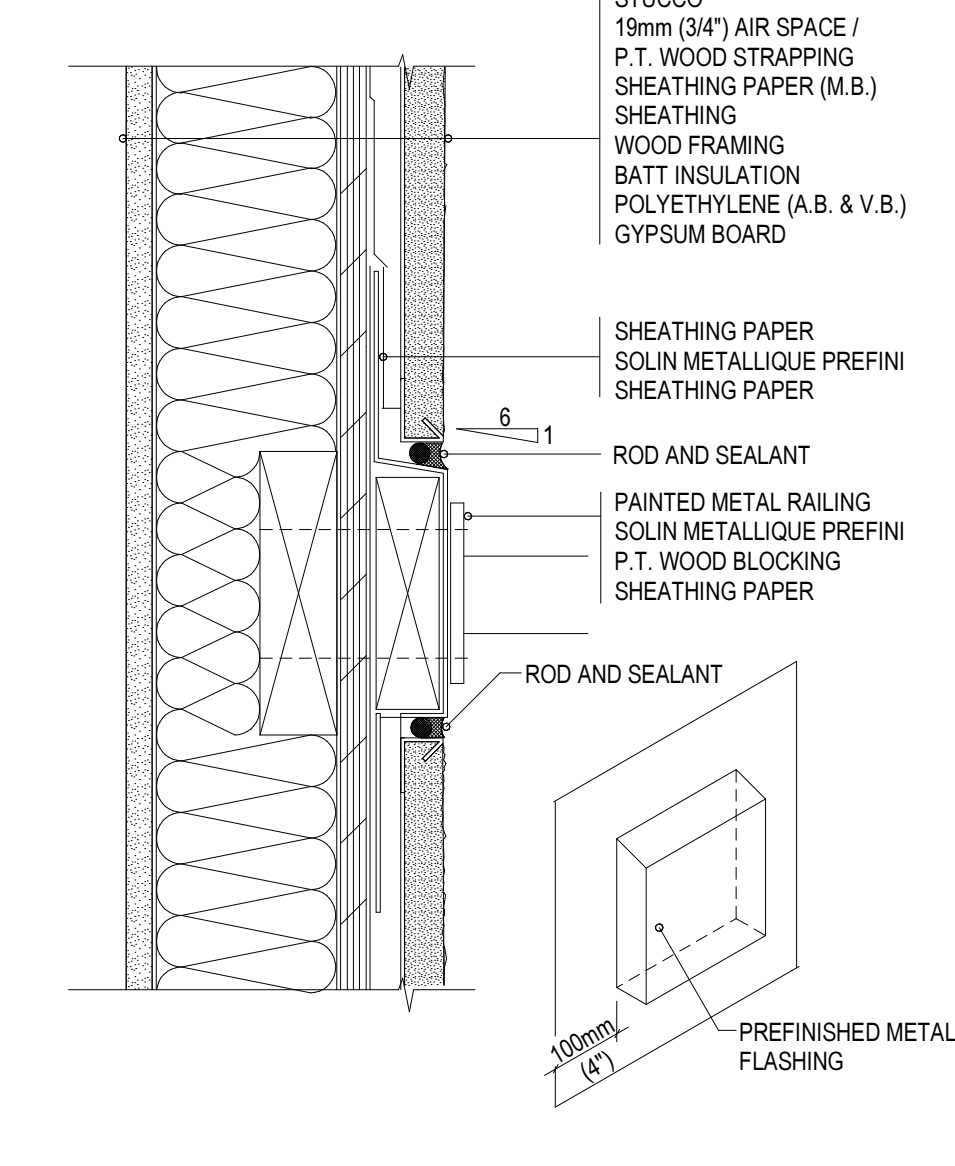
**FOUNDATION WALL SLAB
SEALED POLYETHYLENE APPROACH**



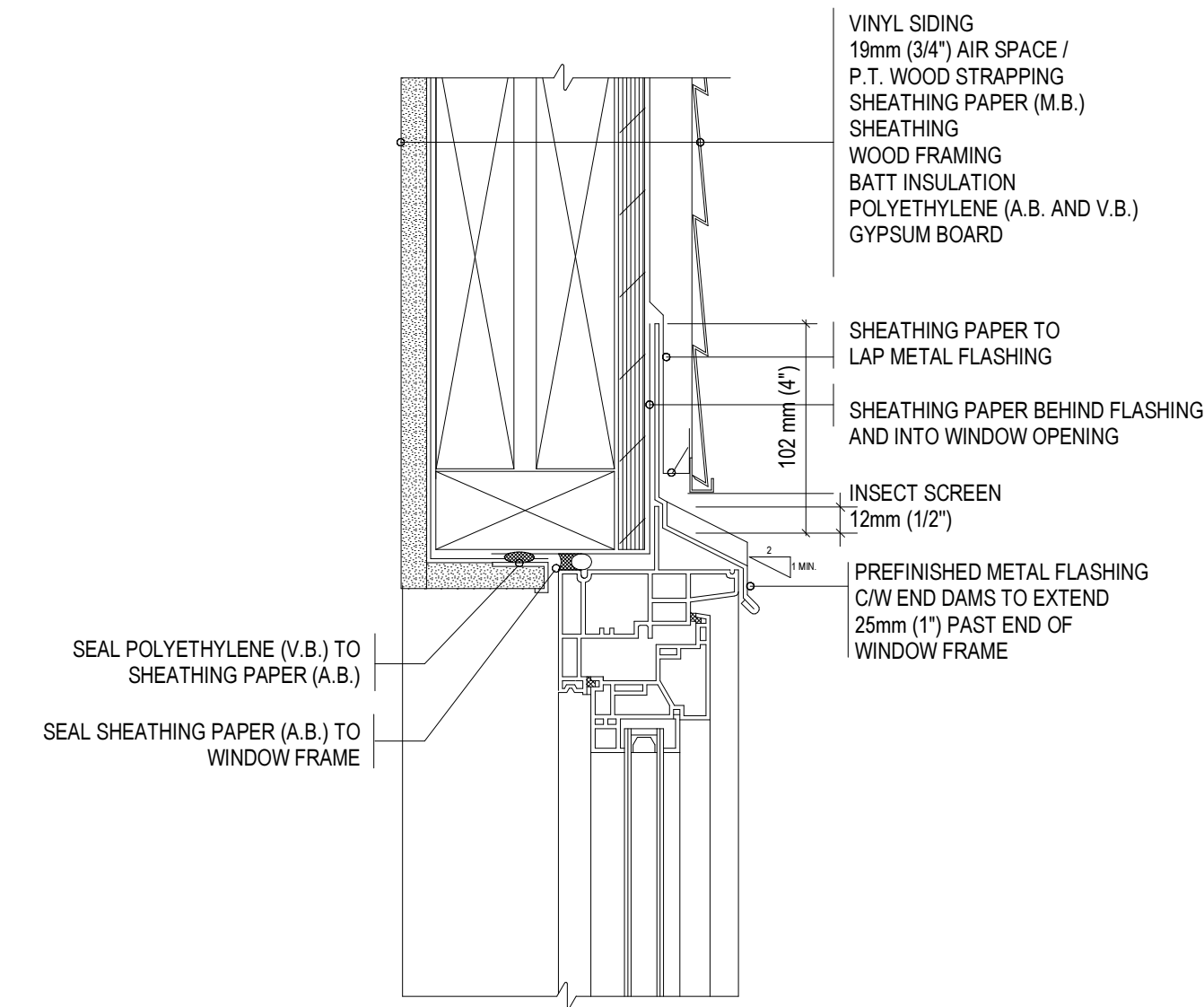
BASE OF WALL / FOUNDATION



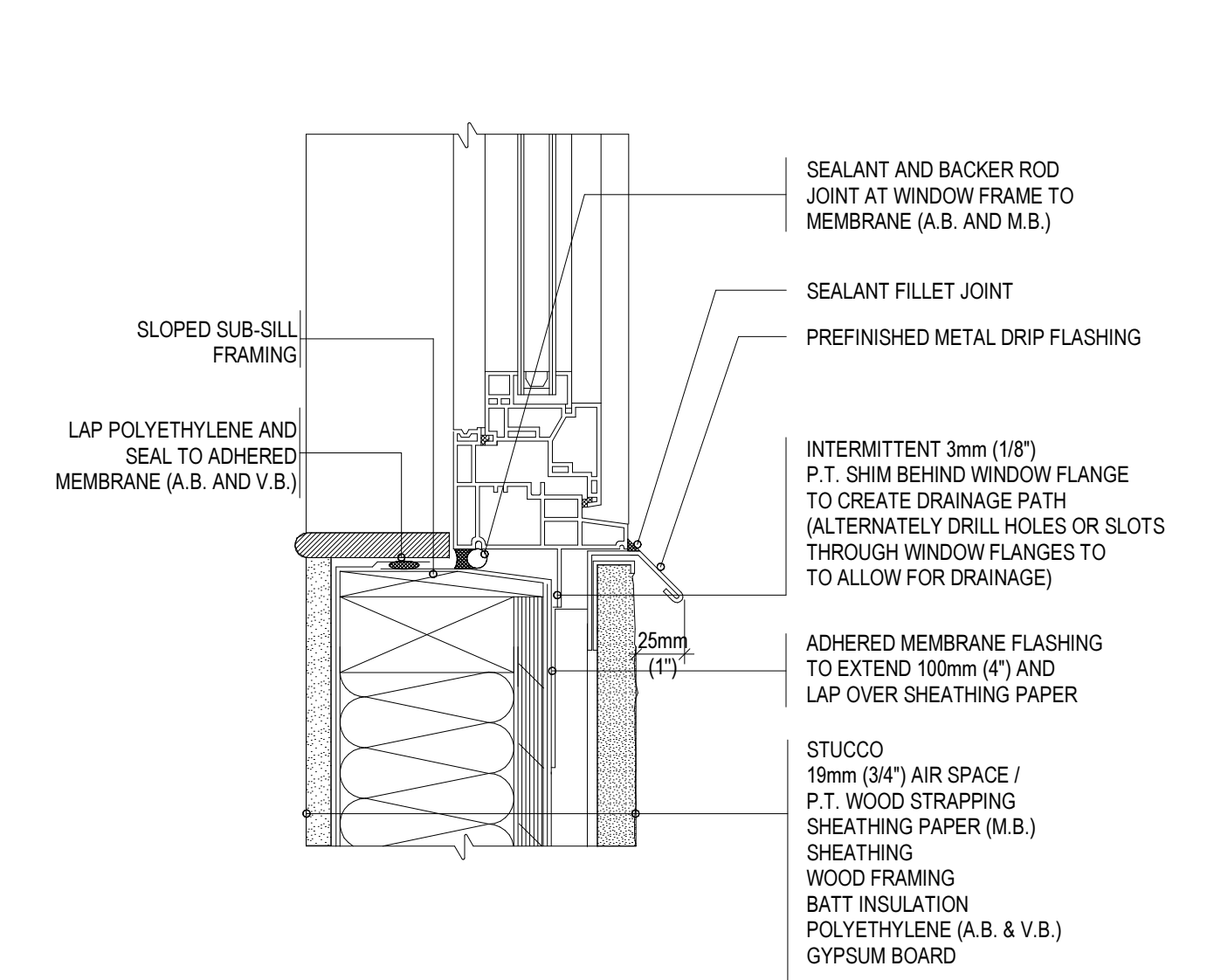
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PEDESTRIAN SURFACE
SEALED POLYETHYLENE APPROACH**



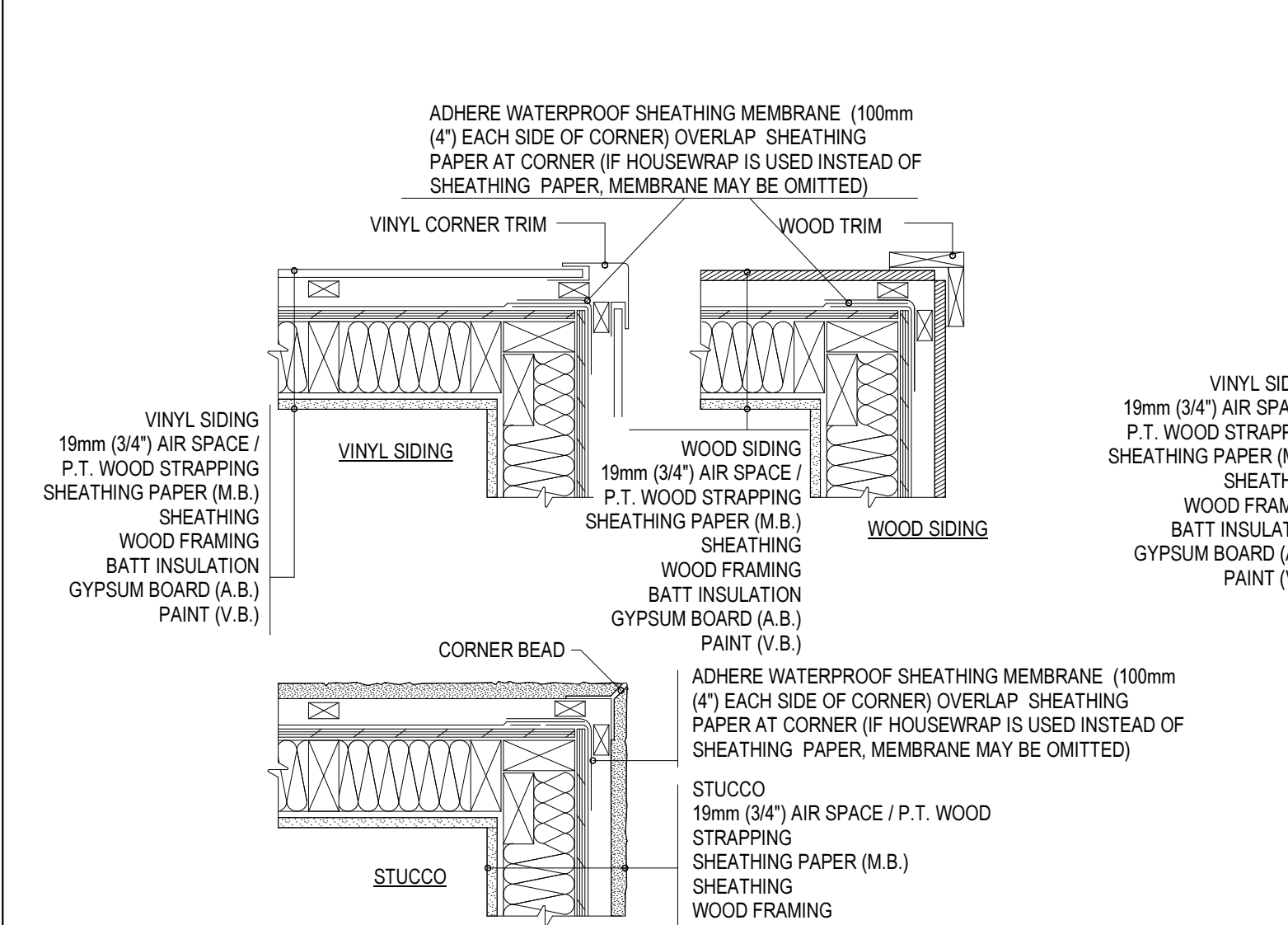
**RAILING ATTACHMENT AT WALL
SEALED POLYETHYLENE APPROACH**



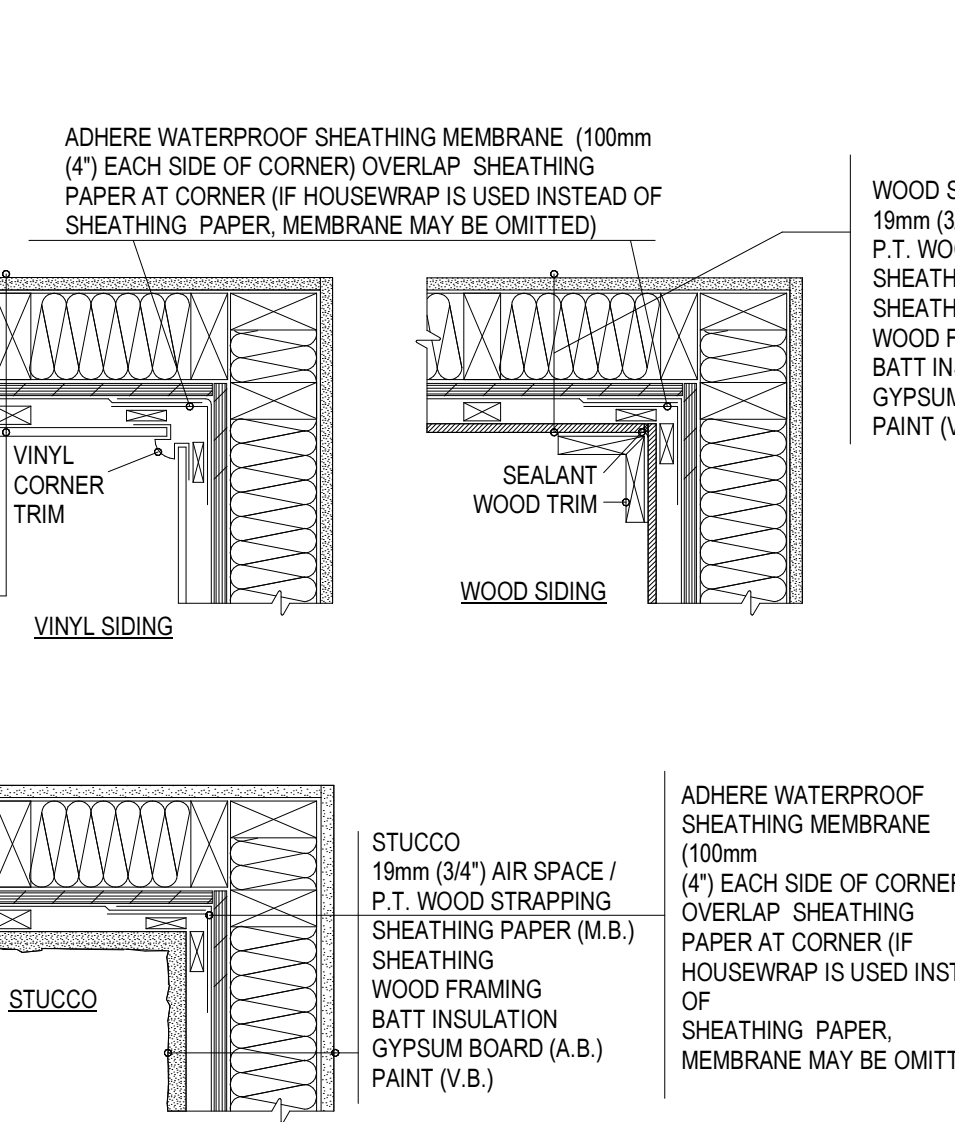
**WINDOW HEAD
SEALED POLYETHYLENE APPROACH**



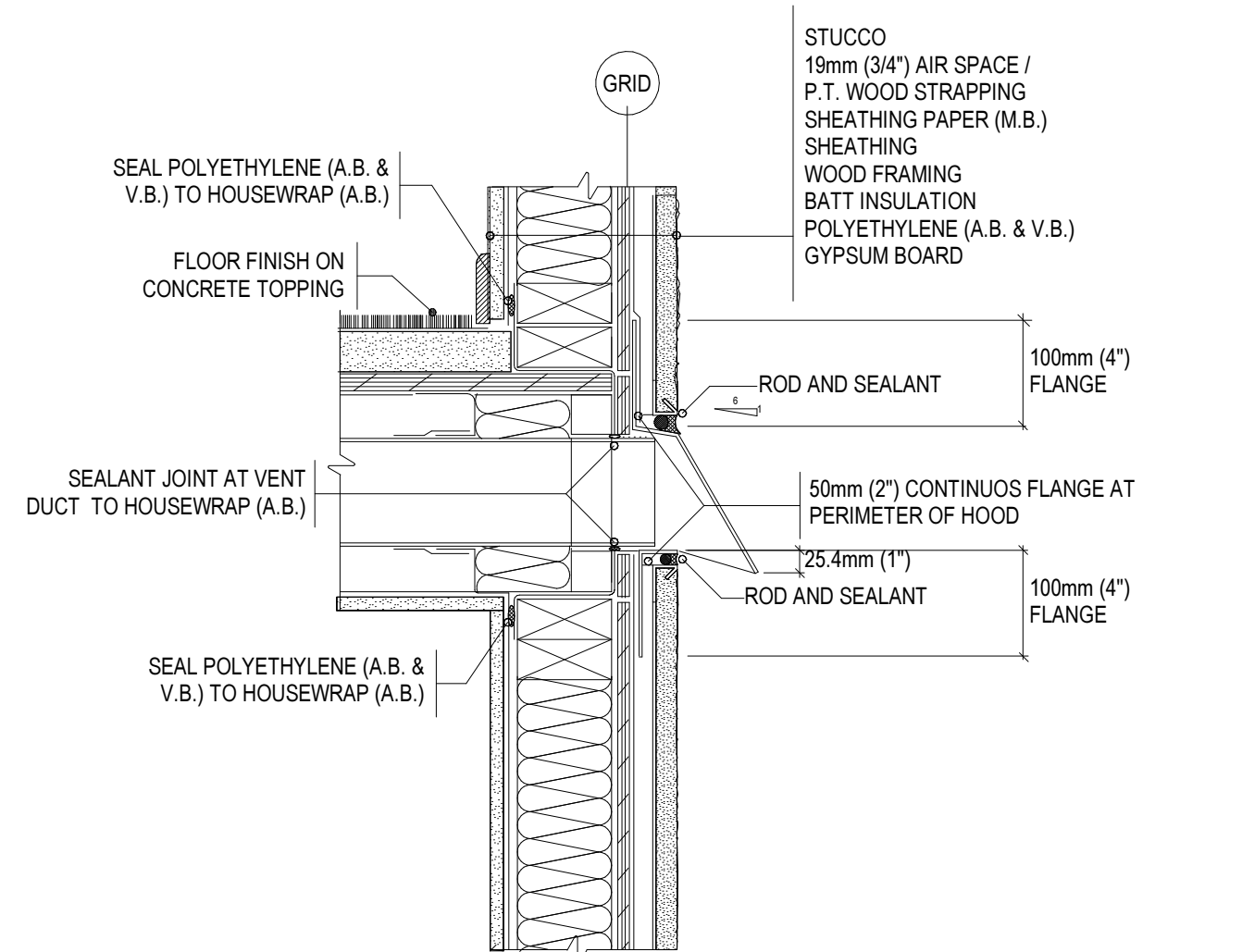
**WINDOW SILL
SEALED POLYETHYLENE APPROACH**



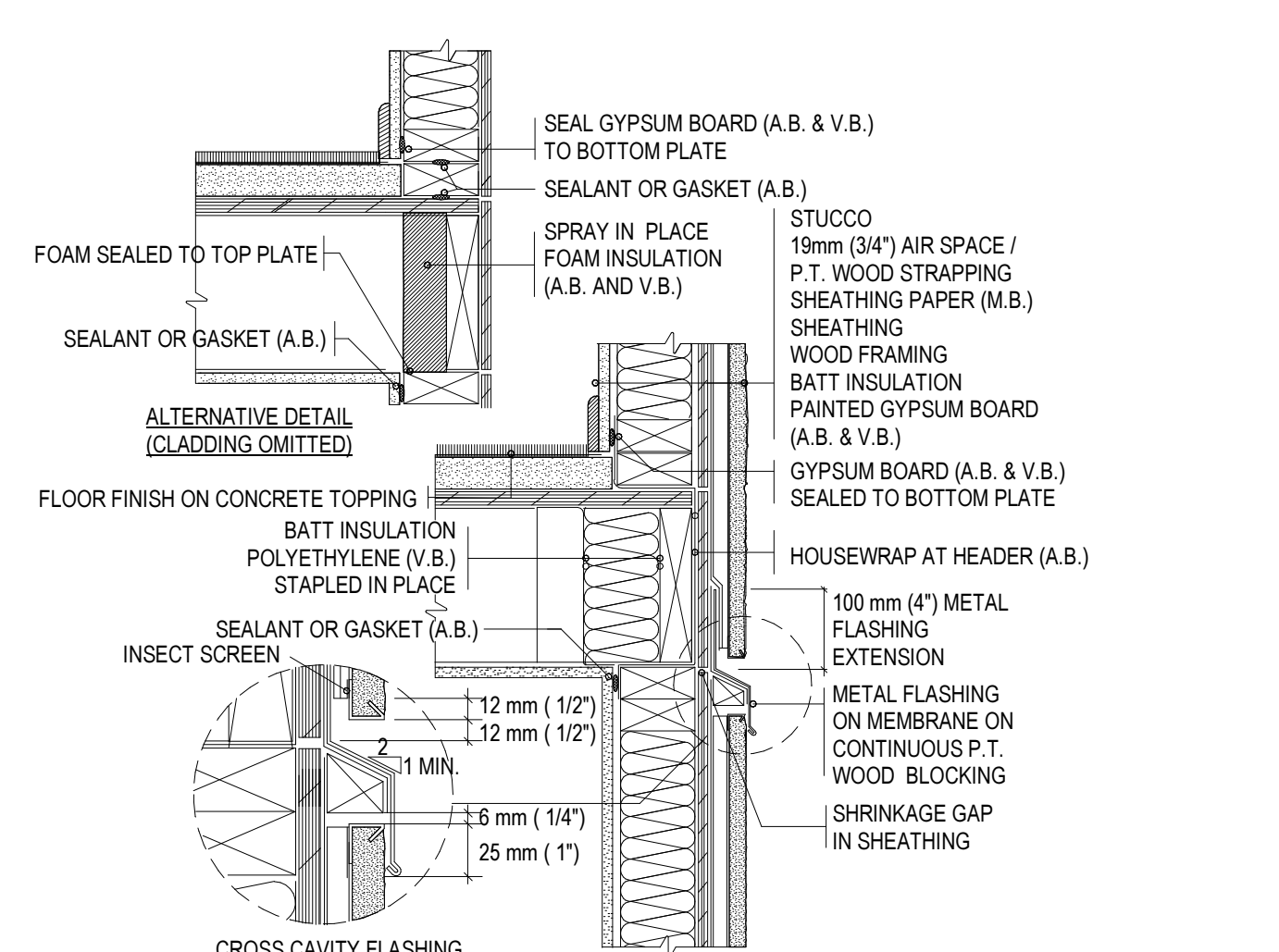
**EXTERIOR CORNER
AIRTIGHT DRYWALL APPROACH**



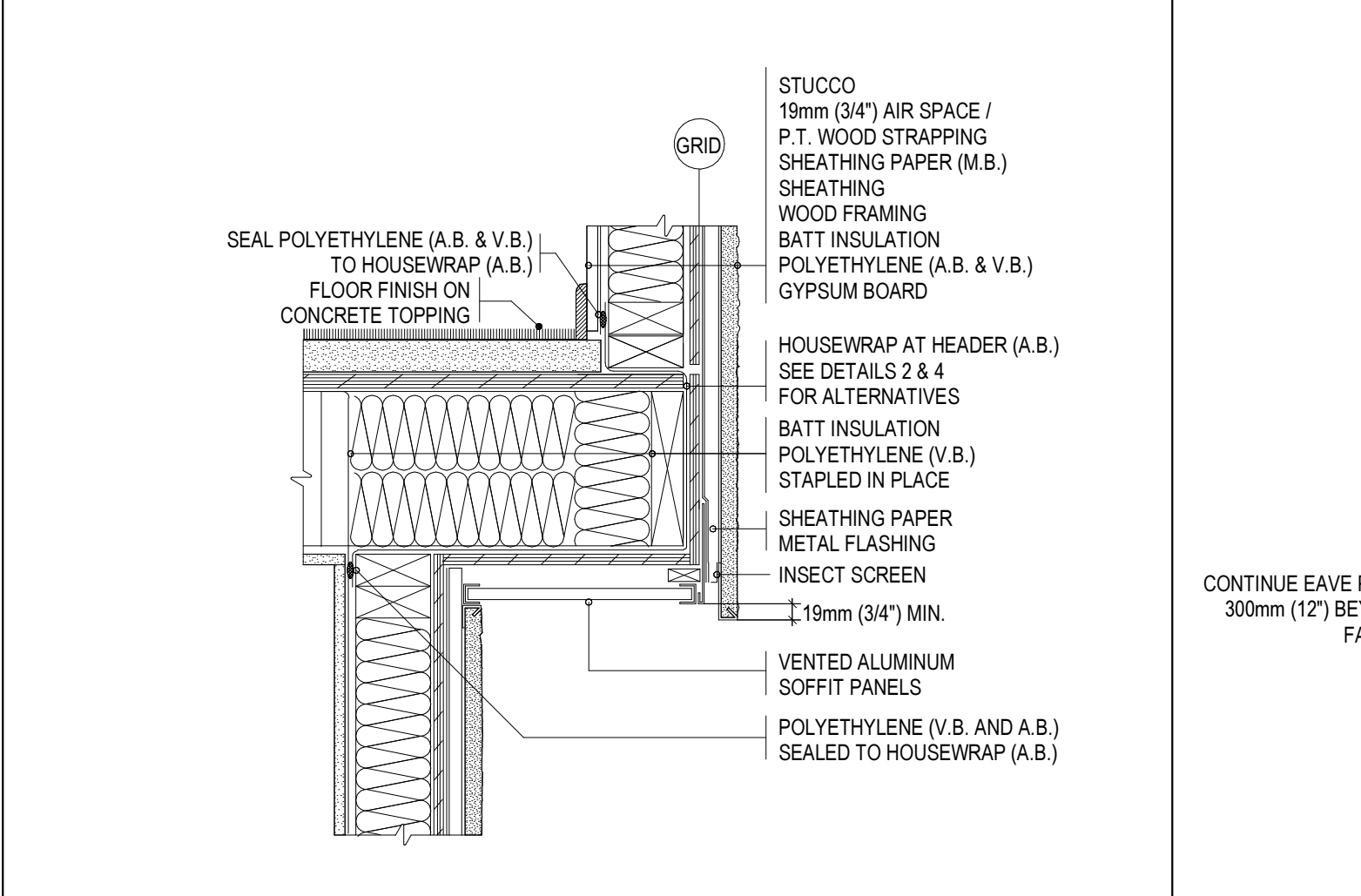
**INTERIOR CORNER
AIRTIGHT DRYWALL APPROACH**



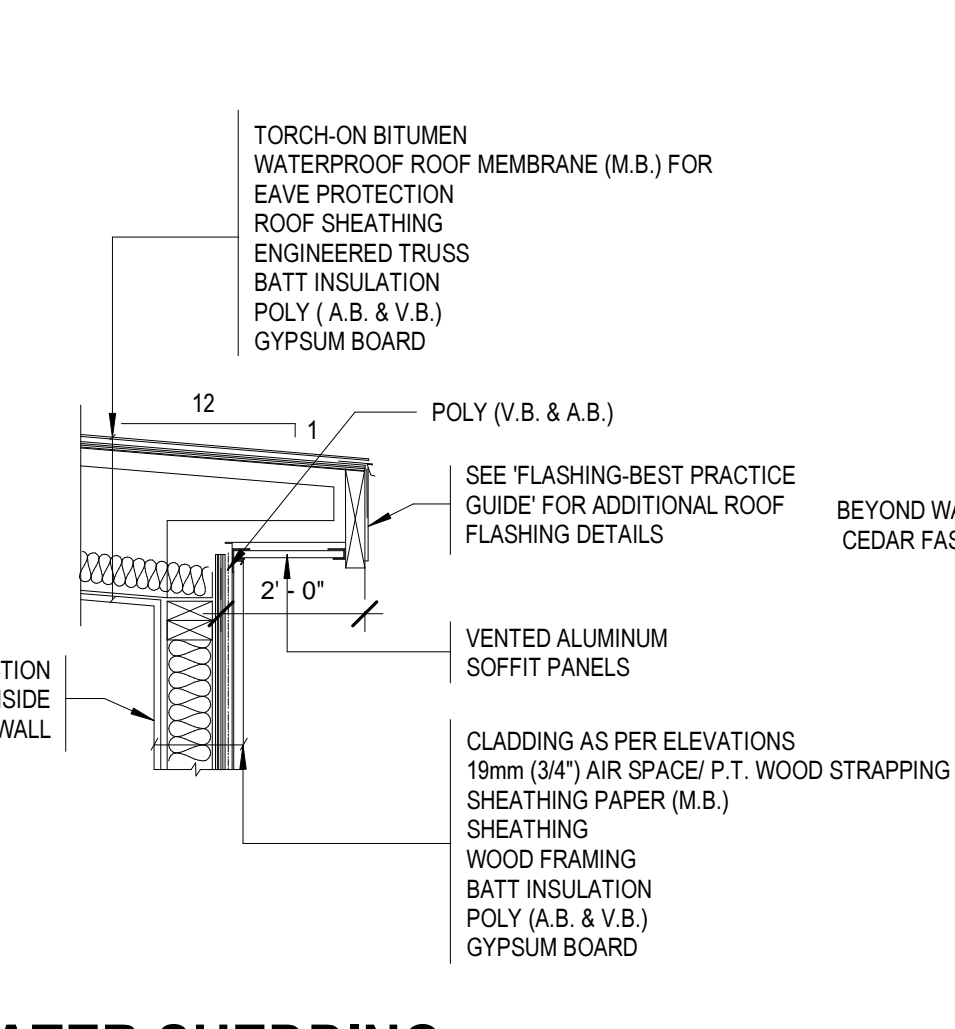
**WALL EXHAUST VENT
SEALED POLYETHYLENE APPROACH**



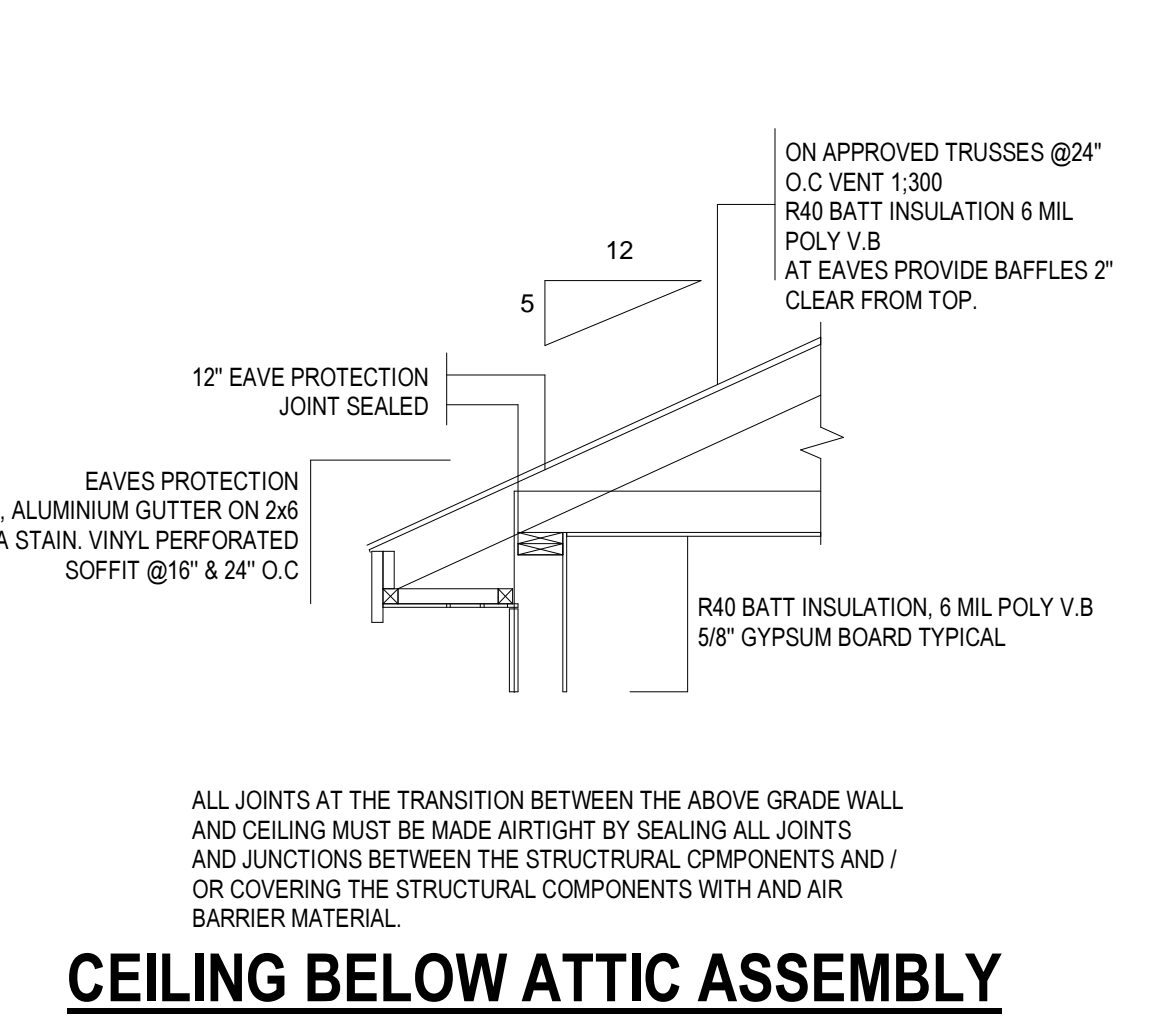
**RIM JOIST
AIRTIGHT DRYWALL APPROACH**



**CANTILEVERED FLOOR
SEALED POLYETHYLENE APPROACH**



**WATER SHEDDING
ROOF/WALL**



**CEILING BELOW ATTIC ASSEMBLY
BUILT-IN GUTTER/EAVE DETAIL**