ADVISORY DESIGN PANEL



WEDNESDAY, NOVEMBER 6, 2024 AT 7:00 PM

CKF Room Langley City Hall (In-Person Meeting)

AGENDA

1) AGENDA

Adoption of the November 6, 2024 agenda.

2) MINUTES

Adoption of minutes from the October 16, 2024 meeting.

3) DP 06-23 BALCONY UPDATE

Balcony update for a previously approved 6-storey apartment building at 19948 55A Avenue.

4) <u>DEVELOPMENT PERMIT APPLICATION DP 07-24</u> ZONING BYLAW AMENDMENT APPLICATION RZ 06-24

26-unit townhome development at 20815 45A Avenue & 4560-4580 208 Street.

5) **NEXT MEETING**

December 4, 2024 (TBC).

6) <u>ADJOURNMENT</u>



MINUTES OF THE ADVISORY DESIGN PANEL

HELD IN CKF ROOM, LANGLEY CITY HALL

WEDNESDAY, OCTOBER 16, 2024 AT 7:01 PM

Present: Councillor Paul Albrecht (Chair)

Councillor Mike Solyom (Co-Chair)

Mayor Nathan Pachal

Blair Arbuthnot Jaswinder Gabri Matt Hassett Leslie Koole Ritti Suvilai

Absent: Dammy Ogunseitan

Tony Osborn Ella van Enter

Staff: C. Johannsen, Director of Development Services

K. Kenney, Corporate Officer

A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the October 16, 2024 agenda.

It was MOVED and SECONDED

THAT the agenda for the October 16, 2024 Advisory Design Panel be approved.

CARRIED

Document Number: 197699

2) MINUTES

Adoption of minutes from the September 11, 2024 meeting.

It was MOVED and SECONDED

THAT the minutes of the September 11, 2024 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) <u>DEVELOPMENT PERMIT APPLICATION DP 06-24</u> <u>ZONING BYLAW AMENDMENT APPLICATION RZ 05-24</u>

6-storey, 283-unit apartment building at 5360 204 Street.

Mr. Metalnikov spoke to the staff report dated October 4, 2024 providing information on the proposed development.

Staff responded to questions from panel member regarding what the differences in unit sizes were with this development proposal as compared to the proponent's original development proposal that they did not proceed with.

The Applicant team entered the meeting:

Noel Lim, Project Manager, Keystone Architecture & Planning Ltd.

Steve Bartok, Principal, Keystone Architecture & Planning Ltd.

Gerald Minchuk, Development Manager, Whitetail Homes

Clark Kavolinas, Landscape Architect, C. Kavolinas & Associates Inc.

Mr. Bartok responded to questions regarding how the form and massing of the building design has changed from the previous iteration as well as the number of trees being retained.

Mr. Lim and Mr. Bartok provided a PowerPoint presentation on the proposed development, providing information on the following:

- Site context
- Site Analysis
- Project Data
- Design Rationale
- Energy efficiency features
- CPTED features
- Renderings of rental building
- Site Plan
- Amenity spaces and plans
- Garbage and recycling area
- Market visitor parking
- Rental resident parking

- P1 and P2 level plans
- Area Plans for each level
- Area Plans for each level
- Roof level plan
- Site sections
- Massing elevations
- Materials
- Streetscape
- Shadow studies

Mr. Kavolinas provided an overview of the landscaping design including details on amenity areas and planting buffer.

Panel members provided feedback on the form and character of the development and discussion took place with respect to the following:

- Potential for more greenery, including evergreen plantings on upper levels:
- Desired indoor amenity features and programming;
- Ensuring fencing between outdoor amenity area and surface parking provides privacy and eliminates potential for headlight glare;
- Potential for cedar hedge row to create sound buffer;
- Possible issue turning around to get out of underground visitor parking if all stalls are full:
- Potential to locate bike parking in parkade closer to entrance to building;
- Parallel parking along concrete wall may be difficult;
- Potential for dual doors for elevators;
- Ensuring each unit has an entry closet;
- Have heavy duty material and automatic opening used for doors to bike room and garbage room;
- Better accessibility needed from loading zones to elevators;
- Desire for more design elements in courtyard and parking layout;
- Better integration of outdoor building design with building character;
- Use of architectural lighting;
- Have some type of architectural theme in play space;
- More design features for BBQ area including retractable canopy;
- Potential to add plantings between drive aisle and pedestrian walkway;
- Having a contrasting colour for patios:
- Ensure height of wall at entrance to vehicle parking in building C is high enough to screen headlights from neighbouring units;
- Provide more design interest instead of blank brick wall at building C entry;
- Improve wayfinding features for deliveries;
- Ensure walkway around building is secure;
- Better delineate driveway entrance with design features.

In response to a question from a Panel member, a member of the applicant team and City staff provided the rationale for the previous tenant relocation policy applying to this application instead of the current tenant relocation policy (the current policy was adopted by Council in July 2024, following submission of the new building proposal).

The project team responded to questions from Panel members regarding the following:

- Rationale for the number of security gates required to separate parking areas in the resident parking;
- Rationale for having only deciduous trees in the landscape design;
- Purpose of service rooms on rental side of building;
- Security of mailroom area;
- Where P2 market parking stairwell leads;
- Amount of parking provided;
- What type of cooling systems to be installed in units;
- Location of bike and storage space for units;
- Number of elevators required by regulation;
- Whether there are charging plug-ins for e-bikes in bike storage.

Staff responded to questions from Panel members regarding the following:

- Type of trees being retained;
- Property line correction to reflect what is City property.

The project team left the meeting.

The meeting recessed at 8:05 p.m. and reconvened at 8:15 p.m.

It was MOVED and SECONDED THAT:

- 1. The ADP receive the staff report dated October 4, 2024 for information; and
- 2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Provide more detail on indoor and outdoor amenity programming (e.g. adequate washrooms, plumbing/kitchen facilities, furniture, colour; considering community gardens, expanding the courtyard, courtyard weather protection, etc.);
 - Update the courtyard design to more closely align with the building character, including more of the architectural theme in the play space and more design attention to the barbecue area;
 - c. Review fencing and landscaping between the outdoor amenity space and parking for separation and headlight glare;
 - d. Consider opportunities for more evergreen plantings;
 - e. Review turnaround opportunities in the strata visitor parking area;
 - f. Look to make the rental bicycle parking room easier to access;
 - g. Consider moving/replacing parallel parking spaces;

- h. Review elevator accessibility between the parking and residential levels (e.g. two-sided elevators);
- i. Consider adding entry closets to all units;
- j. Review accessibility between loading zones and elevators;
- k. Provide more information on exterior lighting, including to highlight landscaping;
- I. Enhance the pathway to the rental entrance (e.g. landscaping, paving, etc.);
- m. Review the colour cohesion and hierarchy of balcony fascias;
- n. Make use of heavier duty doors and auto-open buttons into waste and bicycle storage rooms;
- o. Ensure the north perimeter treatment (e.g. wall, fencing) protects the adjacent buildings from headlight glare;
- p. Provide more visual interest on the service room exteriors;
- q. Ensure the perimeter exit path is secure;
- r. Look into further enhancing the design of the building and site entrances;
- s. Consider additional noise mitigation measures for neighbouring units with living room-to-bedroom interfaces;
- t. Confirm the design of the dedication area on 204 Street.

CARRIED

Staff note: Provide more information on intended HVAC system

4) <u>DEVELOPMENT PERMIT APPLICATION DP 05-24</u> ZONING BYLAW AMENDMENT APPLICATION RZ 04-24

6-storey, 80-unit apartment building at 20130-20150 53 Avenue & 20139-20152 52 Avenue.

The Applicant team entered the meeting:
Manbir Banwait, Developer, TM Crest Homes
Gurveer Samra, Developer, TM Crest Homes
Darren Braun, Development Consultant, Blue Sky Solutions
Majd Makdissy, Architect, Barnett Dembek Architects
Clark Kavolinas, Landscape Architect, C. Kavolinas & Associates Inc.

Mr. Braun provided a PowerPoint presentation on the proposed development, providing information on the following:

- Context plan
- Parkade levels
- Perspectives from 53 Ave. Principal entrance
- Perspectives from 52 Ave. South entrance
- Aerial view renderings

A video rendering of the building was shown to Panel members.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- Use some variation in landscaping to contrast the lighter background of the building:
- Add charcoal gradation or wood texture to all white side of building to break up massing;
- Have awning in outdoor amenity area to facilitate its use all year round;
- Have taller plantings in outdoor amenity area to create more design interest:
- Consider ways to add some design/landscaping interest beside the pad mounted transformer (PMT);
- Consider having two-side elevator for better access to loading zone;
- Have greater architectural interest on podium walls before parkade entrance;
- Add higher end finishes, for outside amenity area (i.e. pop of colour, wood/carpentry elements);
- Provide more washrooms in common areas;
- Consider ways to reduce glare through windows of units looking out onto roof;
- Better identify grassed areas on landscape plan and ensure they are maintainable;
- Make use of heavier duty doors and auto-open buttons into waste and bicycle storage rooms;

- Consider including e-bike charging plugs and a maintenance area in bicycle storage room;
- Consider installing side-by-side washer/dryer units in adaptable units;
- Ensure there is adequate soundproofing between units with living room-tobedroom interfaces.

Staff responded to questions from Panel members regarding the following:

- retention of trees on the east side of the property;
- which street the addressing for the building would be on.

The applicant team responded to questions from Panel members regarding the following:

- Rationale for not having inground trees in outdoor amenity area;
- Intention for building to be rental;
- Ease of access to parking;
- What type of cooling systems to be installed in units;
- Guest unit amenity feature.

The applicant team left the meeting.

It was MOVED and SECONDED

THAT:

- 1. The ADP receive the staff report dated October 3, 2024 for information; and
- 2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Incorporate more visual variety into the landscaping (e.g. colour, evergreen & deciduous variety, etc.) to contrast the building's neutral colour palette:
 - b. Consider greater use of darker tones on the north elevation;
 - c. Provide more design interest, vertical elements, and weather protection (i.e. updating the trellis with a covering canopy) in the outdoor amenity;
 - d. Look for opportunities to enhance the landscape pad beside the PMT;
 - e. Consider providing two-sided elevators to improve access;
 - f. Provide more design attention to the west and southwest podium walls
 - g. Improve washroom access for both indoor amenity rooms and the outdoor amenity space;
 - h. Review the design of the 5th floor roof for glare and visual appeal against adjacent 6th floor unit windows;
 - i. Ensure the southeast landscape area is consistently labeled as natural grass and ensure it is easily maintainable;
 - j. Make use of heavier duty doors and auto-open buttons into waste and bicycle rooms;
 - k. Consider e-bike charging and repair facilities in bicycle rooms.

- Consider updating washer/dryers in adaptable units to be side-by-side for improved accessibility;
- m. Consider additional noise mitigation measures for neighbouring units with living room-to-bedroom interfaces.

<u>CARRIED</u>

Staff note: Provide more information on intended HVAC system

5) 2025 ADVISORY DESIGN PANEL MEMBERSHIP

Staff advised that members will be contacted to determine their interest in 2025 ADP membership. Members are requested to advise Mr. Metalnilkov if interested in continuing to serve on the Panel.

6) **NEXT MEETING**

November 6, 2024 (TBC).

7) ADJOURNMENT

It was MOVED and SECONDED

THAT the meeting adjourn at 9:00 pm.

<u>CARRIED</u>

ADVISORY DESIGN PANEL CHAIR

P. alhalt

CORPORATE OFFICER



EXPLANATORY MEMO

November 6, 2024 Advisory Design Panel
Design Update
DP 06-23
19948 55A Avenue

Proposed Balcony Update to Development Permit DP 06-23 (19948 55A Avenue)

The owner of a 6-storey, 126-unit apartment development at 19948 55A Avenue has requested to update the building's design to add movable glass panels to balconies and patios that allow these spaces to be opened or enclosed by the apartment residents. The panels have been added within existing walls and columns, with three small exceptions on the ground floor where they extend slightly into the patios to create enclosable areas beside living rooms and to create space for outdoor air conditioning condensers. These movable panels are provided at half height along balcony frontages (above standard immovable glass railings) and at full height on the interior of the air conditioning condensers, which are left in small open-air areas for ventilation.

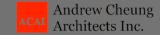
The Development Permit (DP 06-23) for this building was reviewed by the Advisory Design Panel (ADP) in July 2023 and approved by Council in April 2024. A Building Permit has not yet been issued. In accordance with the General Exemptions from the Development Permit Areas in the City's Official Community Plan (OCP), this balcony update request is considered a minor change that does not require a formal Development Permit amendment. However, staff is referring this update to the ADP for its information and to provide the opportunity for questions and clarification. Any comments provided at the ADP meeting will be noted informally by staff and considered with the owner prior to the finalization of their Building Permit.

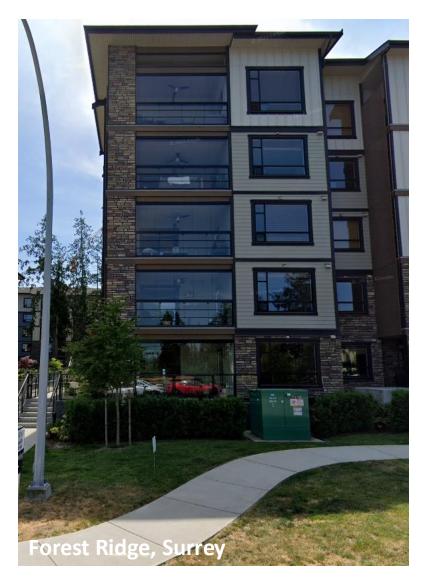
An information package on the proposed change prepared by the owner's architect is attached to this memo, along with the architectural and landscape plans approved with the Development Permit for reference.

19948 55a Ave Langley

ADP Presentation Showcasing Enclosed Balcony

By ACAI









Exterior
Appearance of
Lumon
Enclosed
Balcony

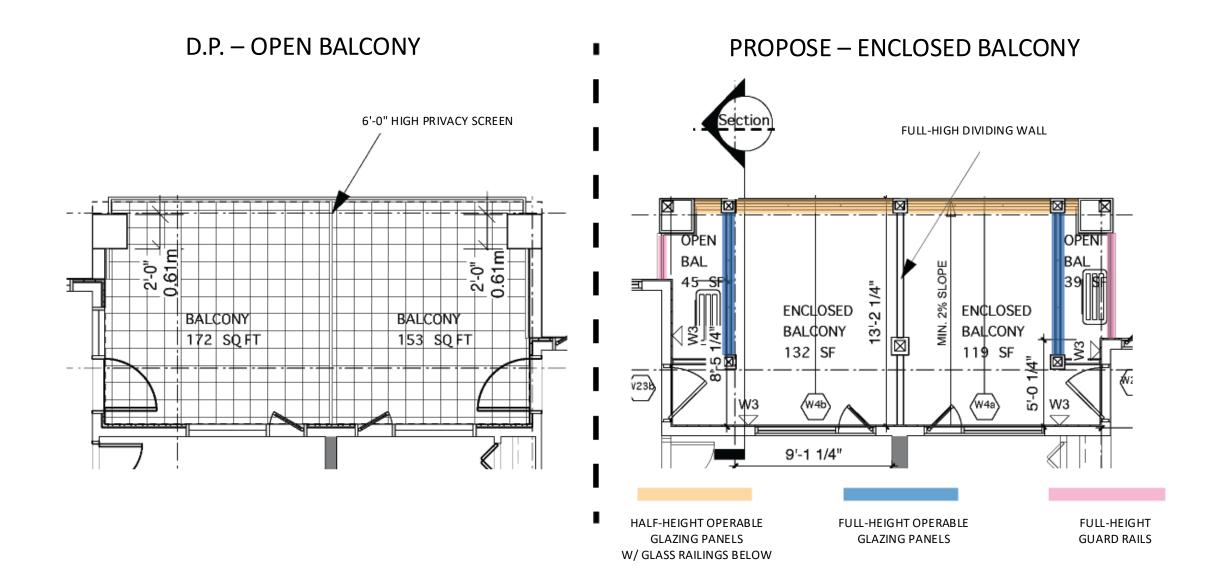
The Civic, 5638 201A Street, Langley, BC



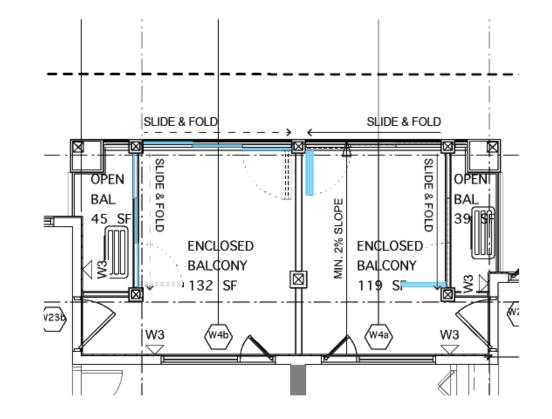




Enlarged Plan Comparison



Enclosed
Panels Can
Be Fully
Opened









North Elevation Comparison





South Elevation Comparison





East Elevation Comparison

D.P. PROPOSE





West Elevation Comparison

D.P. PROPOSE



Render Views (D.P.)



Render Views (PROPOSE)



Render Views (D.P.)



Render Views (PROPOSE)





PROJECT DATA

REZONING FROM RS-1 TO CD BASED ON RMS ZONE PID:

LEGAL DESCRIPTION: LOT A SECTION 3 TOWNSHIP 8

SITE SIZE : 4,080 SQ.M. (43,917 SQ.FT.)

NUMBER OF STOREYS:

GROSS FLR AREA: MAX. ALLOWABLE

GROUND FL. 867 SQM, (9.327 SQ. FT) THRDFL 1603 8 QM, (17254 9Q, FT.) FOURTHFL 1,854 SQM. (17,806 SQ. FT.) FIFTH IL. 1054 DOM: (17,000 DO. FT.)

1236 SOM. (13306 SO. FT.) 8,566 SQM. (92,225 SQ. FT.)

FSR: MAX. ALLOWABLE

NUMBER OF DWELLING UNITS:

128 (309 UNITS/HECTARE)

EXISTING AVERAGE GRADE: 10.45 M (34.28)

PROPOSED 22.73M (74.561) PROPOSED 8.0M /19.763 REAR YARD MIN RECVIRED 9 084 /50 BOS

MIN REQUIRED SIDE YARD : PROPOSED WEST 6.0M (19.84) EAST 7.9M (25.91)

SITE COVERAGE: 4,080 X 40% = 1,632 SQ. M. (17.567 SQ.FT.)

1,854 SQM. (17,808 SQ. FT.) (40.5%)

REQUIRED RESIDENTS: 10(87UDIO) X 20 + 11(18ED) X 66 + 13 (28ED) X 40 = 1458 (148) VISITORS: 0.2 X 128 = 25.2 (26)

6.1M (20.08)

PROVIDED RESIDENTS 146 VISITORS 26

HANDICAPPED PARKING REQUIRED PESIDENTS: 0.05 X 146 = 7.3(7) VISITORS: 0.05 X 26 = 1.3(1)

PROVIDED RESIDENTS 7 VISITORS 1

RESIDENTS: 0.5 X 146 = 73 VISITORS: 0.5 X 26 = 13

PROVIDED RESIDENTS 60 VISITORS 12

BICYCLE: REQUIRED 0.5 X 126 = 63

REQUIRED 1 X 128 = 128

PARKING :

PROVIDED 127 (113 INSUITE + 14 PARKING LEVEL)

ADAPTABLE UNITS: REQUIRED 0.20 X 128 = 25.2 (25)

AMENITY SPACE: REQUIRED 3 80, M. X 128 = 378 SQ. M. (COMBINED)

PROPOSED INDOOR AMENITY: 179 SQ. M. (1.42 SQ. M./UNIT)

UNITS SYNOPSIS

UNIT A	-		NO. BED AREA NUMBER OF UNITS TOTAL			TOTAL UNITS TOTAL (SQM)	TOTAL (SQFT)						
UNITA		7	SQ FT	SQM	1ST FL	2ND FL	380 FL	4TH FL	5THFL	6TH FL	9		
	INSUIT	28	794	73.8	1			2	5	(3)	1.	73.8	79
UNIT A2	INSUIT	28	78.9	73.3		2	2	2	2		8	586 A	631
UNITB	INSUIT	18	521	48.4	1	1	1	1	1	0	5	242.0	2.60
UNITC	INSUIT	18+D	638	59.3	1	1	1	. 1	1	8	5	2965	3,190
UNITD	INSUIT	18	554	51.5	1	1	1	1	1.10	0	5.	257.5	2,770
UNIT D2	INSUIT	18	545	50.6		1	1	. 1	10	0	4	202.4	2,18
UNIT D3	INSUIT	18	547	50.8			0 1		3	1	1 1	508	54
UNITE	INSUIT	18	824	58.0	1	1	- 1	1	1		5	290.0	3.12
UNITE	PARKING	28	708	65.8	1	1	1 1	1	1 1	1	6	394.8	4.24
UNITG	INSUIT	18	510	47.4	1		1		3	8	1	47.4	510
UNIT G2	INSUIT	18	536	49.8	185 2	1	1	1	1	8	4	199.2	214
UNITH	INSUIT	18	491	45.6	1		7 11 1	7	3 "	2	1	458	49
UNIT H2	INSUIT	18	503	46.7		1	1	1	1.	8	4	186.8	201
UNIT J	INSUIT	28	751	69.8	1						1	69.8	75
UNIT J2	INSUIT	28	758	70.4		1	1	1	10	1	5	362.0	3,790
UNITK	INSUIT	28	808	75.1		2	2	2	2	8	8	600.8	6.46
UNITL	INSUIT	18	508	47.2		2	2	2	2	0	8.	377.6	4.06
UNIT M	INSUIT	STUDIO	461	428		2	2	2	2	2	8	342.4	3,68
LINIT M2	INBUIL	STUDIO	491	428		2	1	1	1	3	5	214.0	230
UNIT MD	INSUIL	STUDIO	400	43.2			- 1	-1-	1		3	129.0	1,300
UNITN	PARKING	28	800	74.3							1	743	800
UNIT N2	PARKING	28	707	65.7	1 2		1	1	1	1	4 4	262.8	2.82
UNITO	INSUIT	18+D	607	56.4		.1	1	1	to	1	5	282.0	3,03
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UNITP	INSUIT	28	761	70.7			1	1	1.	1	4	282.8	3,04
UNITQ	INSUIT	18	506	55.4			.1:	1	10	1	4	2218	2,38
UNITR	INSUIT	STUDO	432	40.1	1 3		1	1	1	1	4 4	160.4	1,72
UNITS	INSUIT	29+D	767	713			1		3	1	- 1	713	76
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UNITU	INSUIT	18	510	47.4					9	1	1	47.4	51
UNITV	INSUIT	28	740	68.7			0 1		3	1	1 1	68.7	74
UNITW	INSUIT	18+D	630	58.5	-					2	2	117.0	1.28
UNITX	INSUIT	1B+D	617	57.3	3		5 7		3	1	1 1	57.3	617
UNIT X2	INSUIT	18+D	649	603			8 1		12	- 1	1	603	84
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DRAWING LIST

- CONTEXT PLAN

DP 0.0	PROJECT DATA
DP 1.1	SITE PLAN
DP 2.1	PARKING PLAN P1 KEY
DP 2.1a	PARKING PLAN P1 WEST
DP 2.1b	PARKING PLAN P1 EAST
DP22	GROUND FLOOR PLAN KEY
DP 2.2a	GROUND FLOOR PLAN WEST
DP 2.2b	GROUND FLOOR PLAN EAST
DP 2.3	SECOND FLOOR PLAN KEY
DP 2.3a	SECOND FLOOR PLAN WEST
DP 2.3b	SECOND FLOOR PLAN EAST
DP 2.4	THIRD FLOOR PLAN KEY
DP 2.48	THIRD FLOOR PLAN WEST
DP 2.4b	THIRD FLOOR PLAN EAST
DP 2.5	FOURTH & FIFTH FLOOR PLANKEY
DP 2.5a	FOURTH & FIFTH FLOOR PLAN WEST
DP 2.5b	FOURTH & FIFTH FLOOR PLAN EAST
DP 2.6	SIXTH FLOOR PLAN KEY
DP 2.6a	SIXTH FLOOR PLAN WEST
DP 2.6b	SIXTH FLOOR PLAN EAST
DP 2.7	ROOF PLAN KEY
DP 2.7a	ROOF PLAN WEST
DP 2.7b	ROOF PLAN EAST
DP 3.1	NORTH ELEVATION KEY
DP 3.1a	NORTH ELEVATION - EAST
DP 3.1b	NORTH ELEVATION - WEST
DP 3.2	SOUTH ELEVATION KEY
DP 3.2a	SOUTH ELEVATION - WEST
DP 3.2b	SOUTH ELEVATION - EAST
DP 3.3	EAST ELEVATION
DP 3.4	WEST ELEVATION
DP 4.1	SECTION A
DP 42	SECTION B KEY
DP 4.2a	SECTION B - WEST
DP 4.2b	SECTION B - EAST
DP 5.1	STREET ELEVATION - KEY
DP 5.1a	STREET ELEVATION - EAST
DP 5.1b	STREET ELEVATION - WEST
DP 6.1	SHADOW STUDIES MARCH 20
	SHADOW STUDIES SEPTEMEBER 23
DP 7.1	RENDERINGS
DP 6.2 DP 7.1	SHADOW STUDIES SEPTEMEBER 2 RENDERINGS



JUN. 08 2023 Issued For RZ + DP Submiss JUN. 19 2023 Issued For RZ + DP Revision JUL 12 2023 lasued For RZ + DP Revision AUG. 24 2023 Issued For ADP Revision

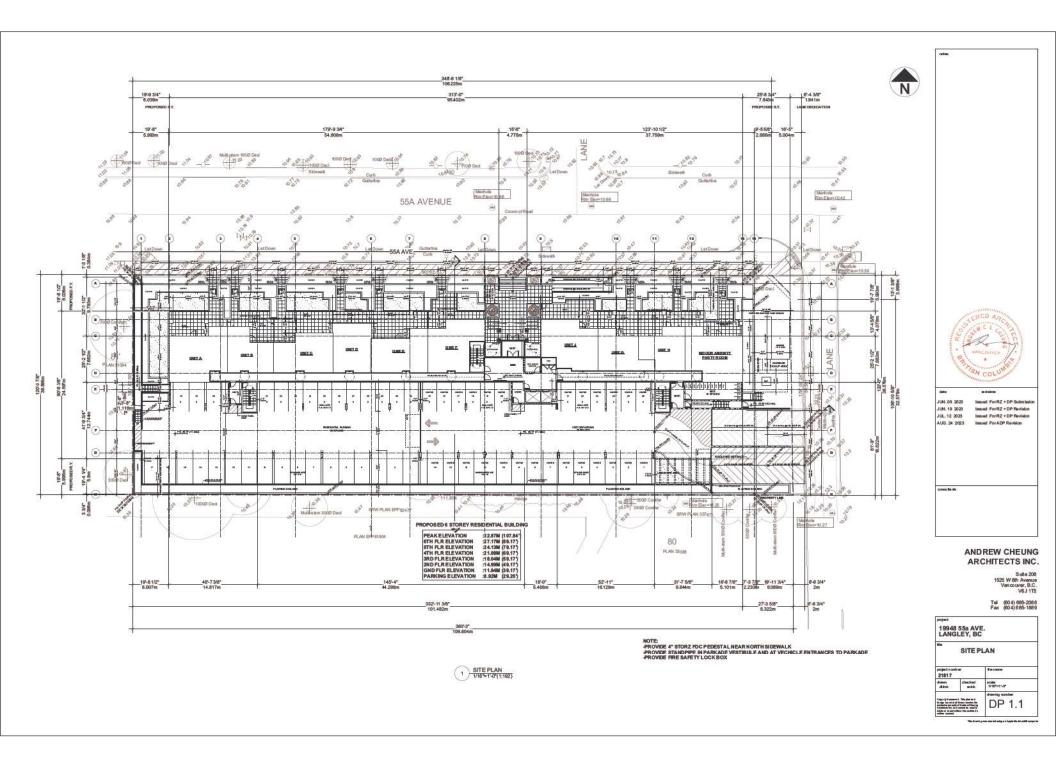
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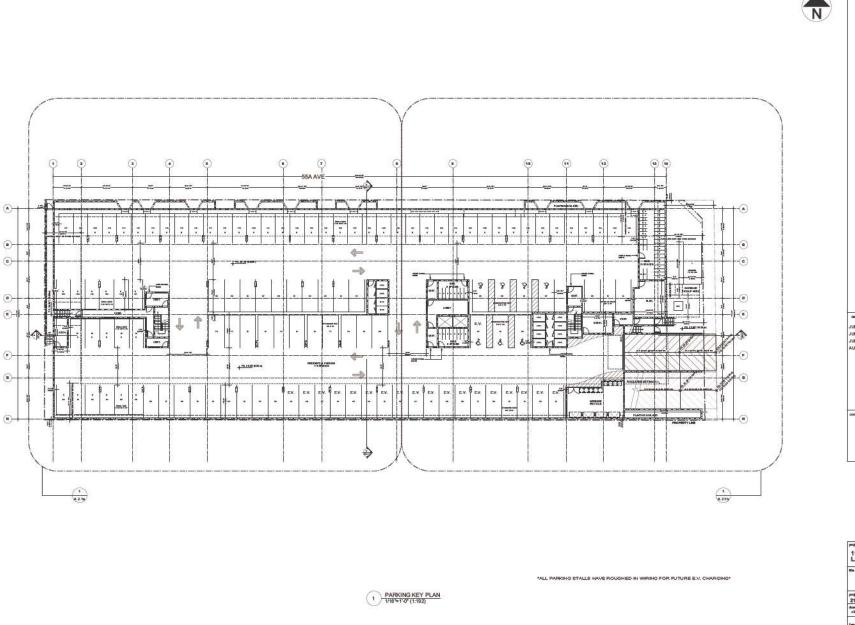
ANDREW CHEUNG ARCHITECTS INC.

Tel (604) 685-2088 Fax (604) 685-1889

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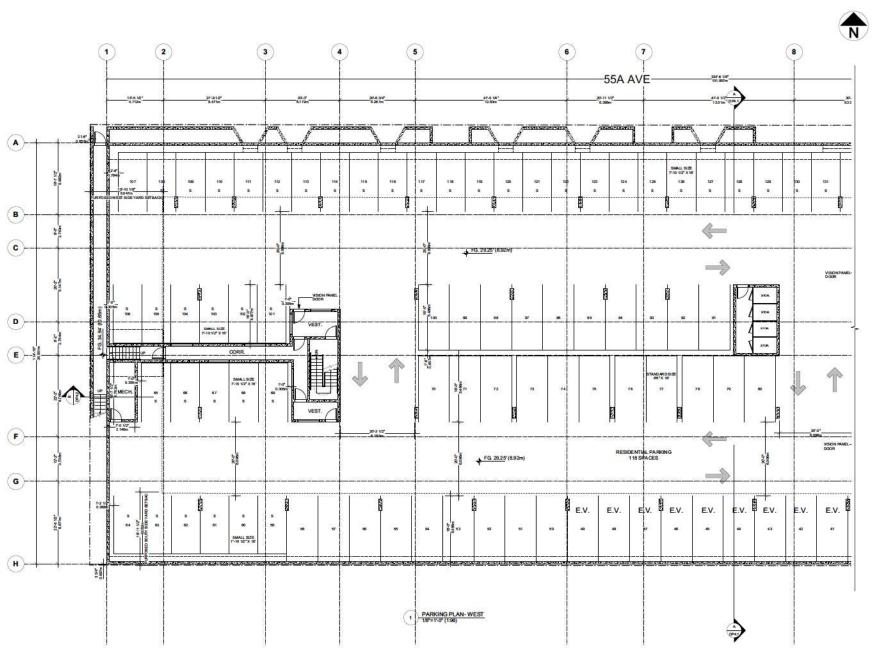


ANDREW CHEUNG ARCHITECTS INC.

> Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

Tel (604) 585-2088 Fax (604) 585-1889

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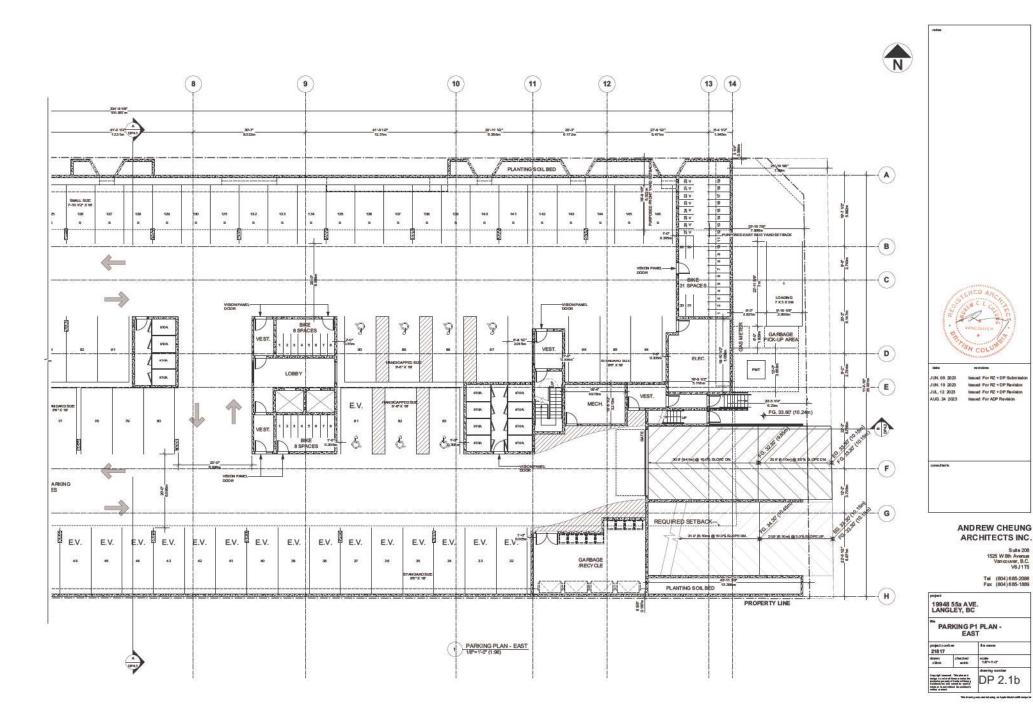


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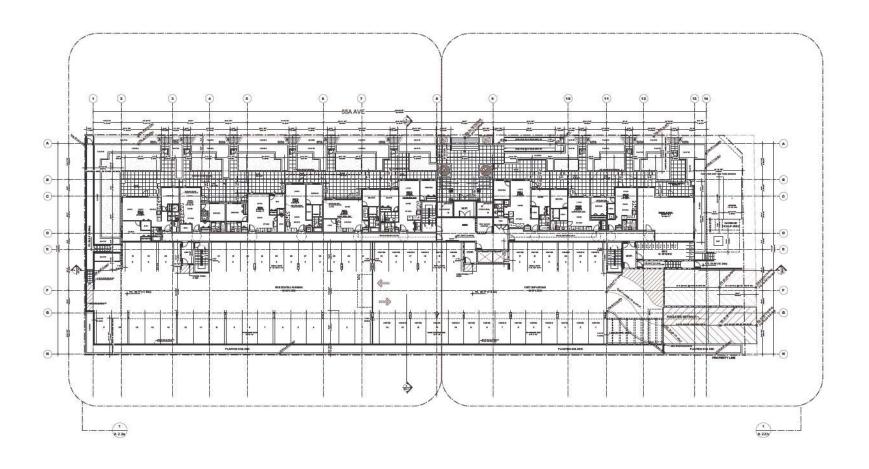
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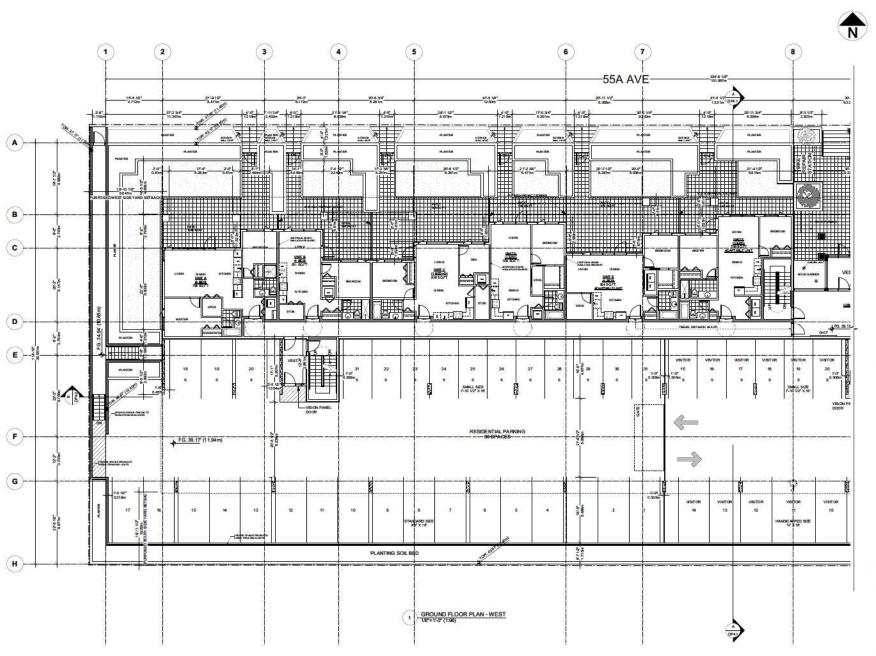
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*ALL PARKING STALLS HAVE ROUGHED IN WIRING FOR RUTURE E.V. CHARGING

1 GROUND FLOOR KEY PLAN 1/16 = 1'-0" (1:192)



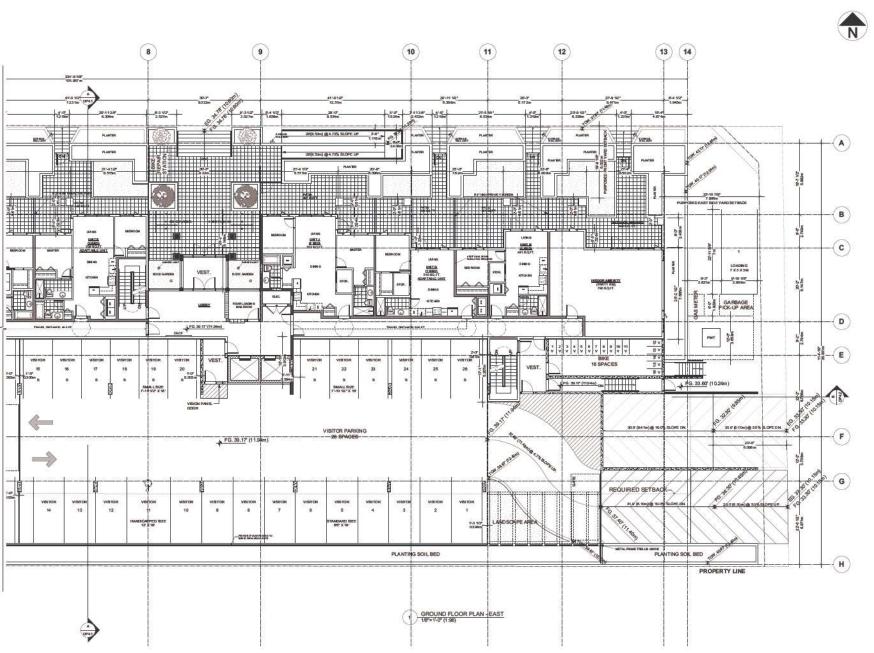


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Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J 175

Tel (604)685-2088 Fax (604)685-1889

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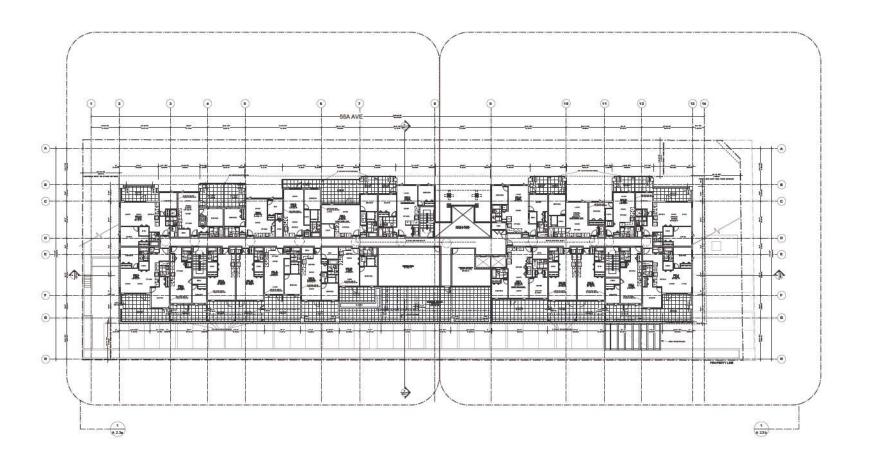
ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

Tel (804)685-2088 Fax (604)685-1889

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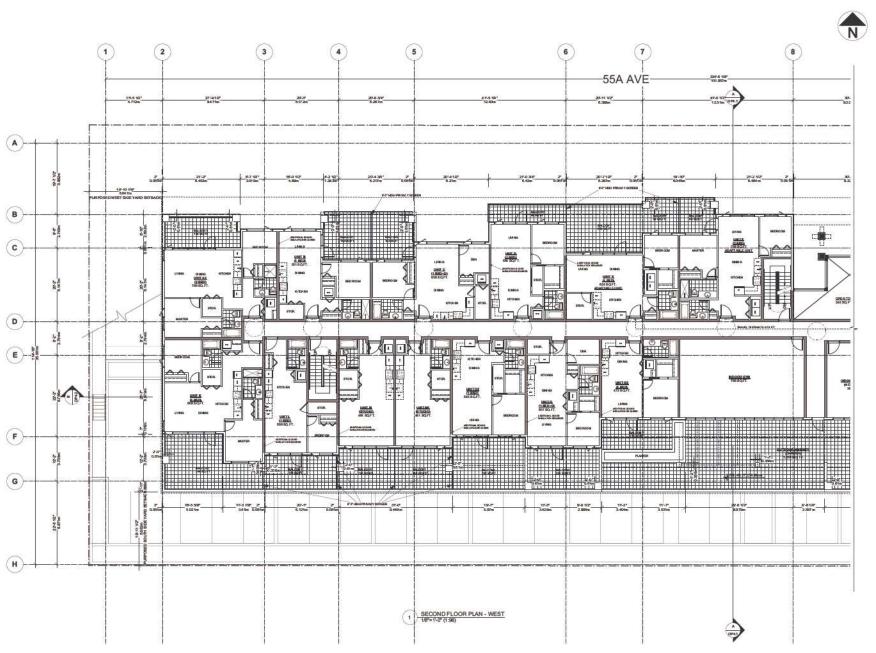
ANDREW CHEUNG ARCHITECTS INC.

Suite 20 1525 W 8th Avenu Van couver, B.C V6J1T

Tel (604) 685-2088

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1 SECOND FLOOR KEY PLAN 1/16 = 1'-0" (1:192)



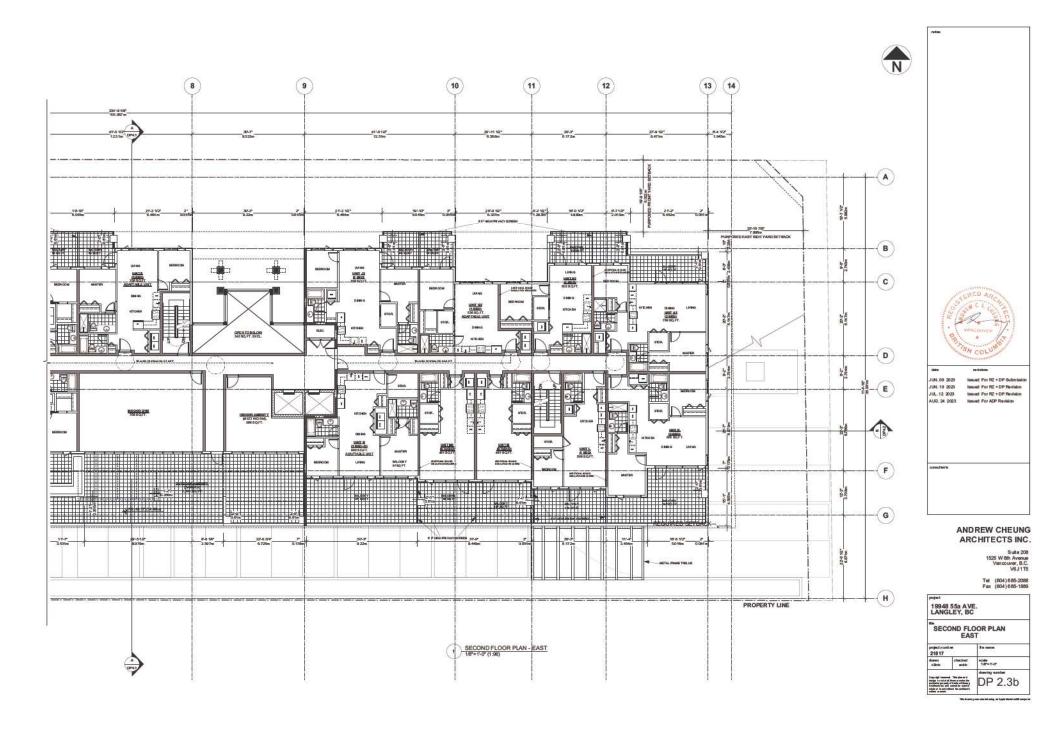


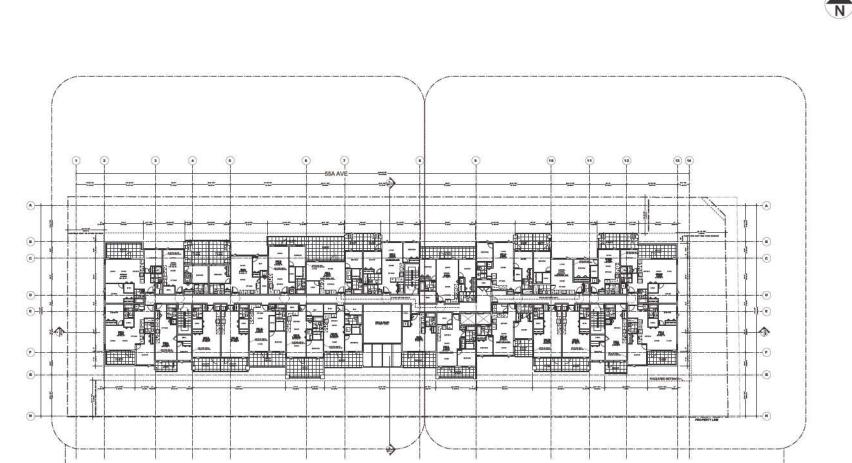
ANDREW CHEUNG ARCHITECTS INC.

Suite 20 1525 W 8th Avenu Van couver, B.C V6J1T

Tel (604)685-2088 Fax (604)685-1889

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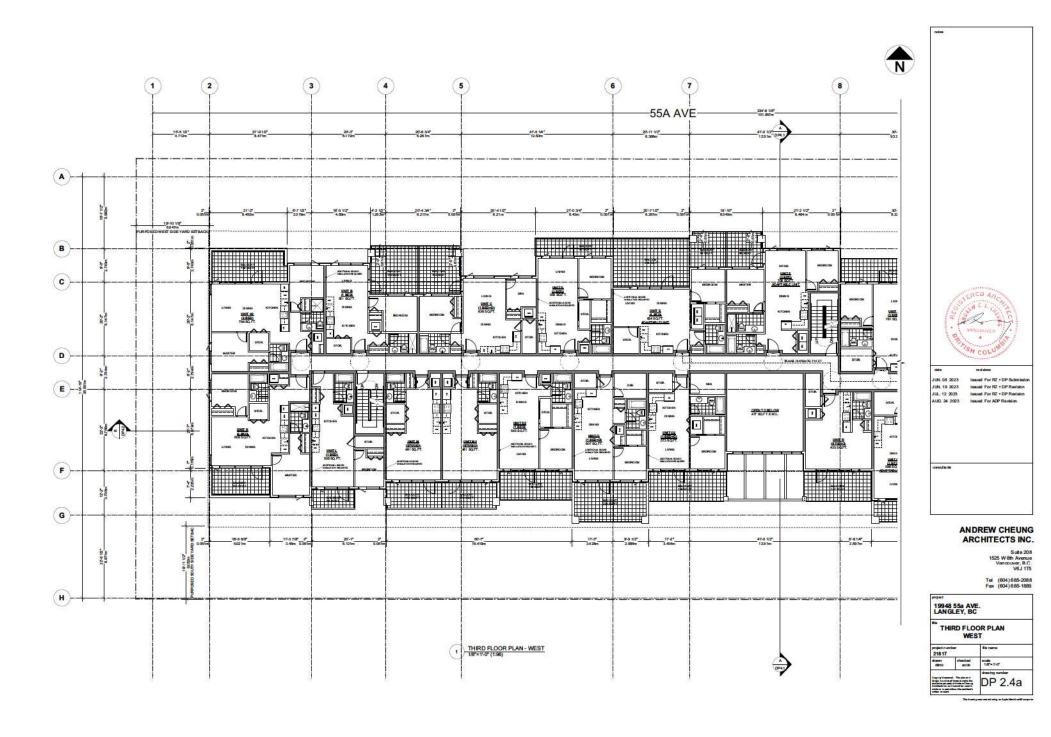
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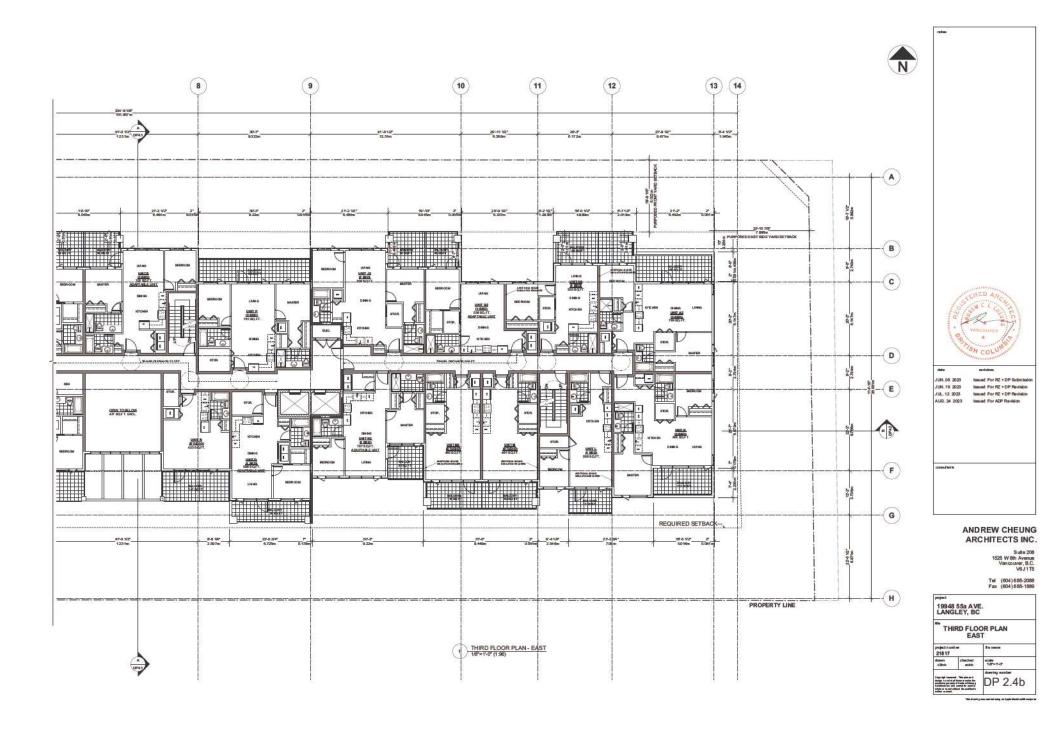
Suite 20 1525 W 8th Avenu Van couver, B.C V6J1T

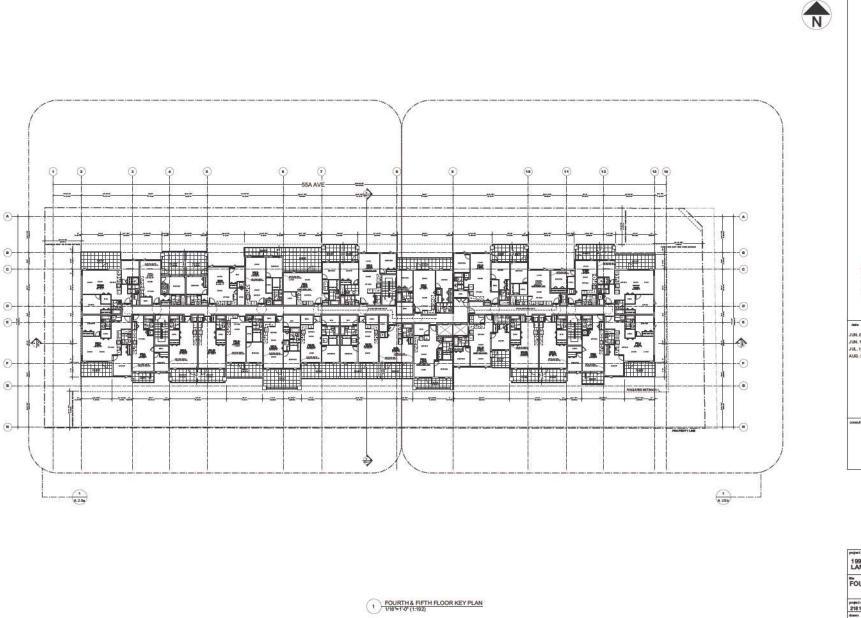
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1 THIRD FLOOR KEY PLAN 1/16 = 1'-0" (1:192)







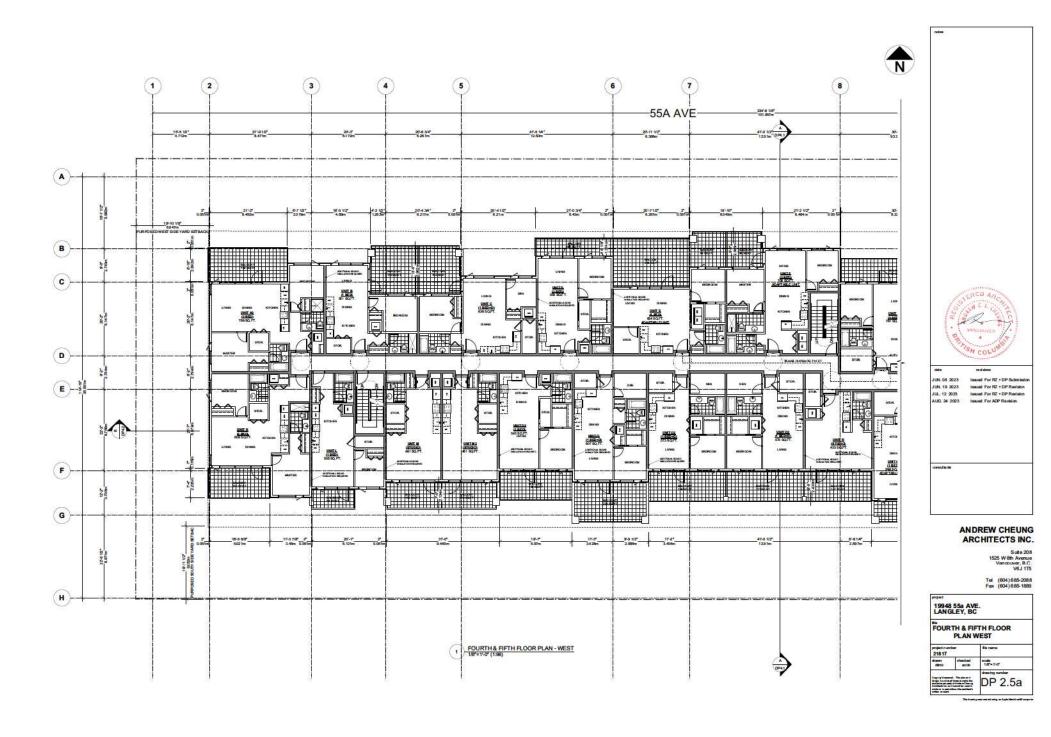
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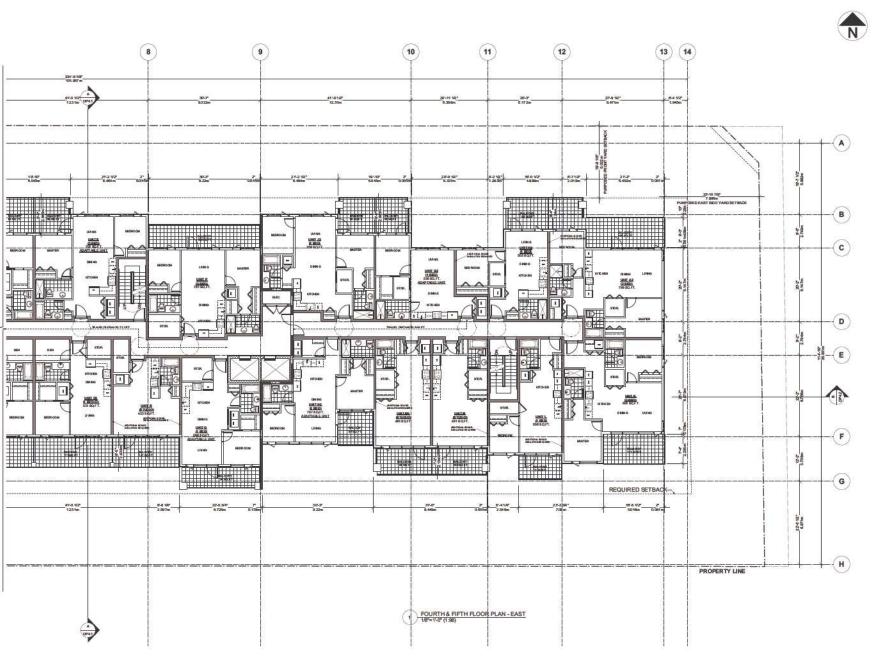
ANDREW CHEUNG ARCHITECTS INC.

Suite 20 1525 W 8th Avenu Van couver, B.C V6J1T

Tel (804) 685-2088 Fax (804) 685-1889

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ANDREW CHEUNG ARCHITECTS INC.

Tel (604)685-2088 Fax (604)685-1889

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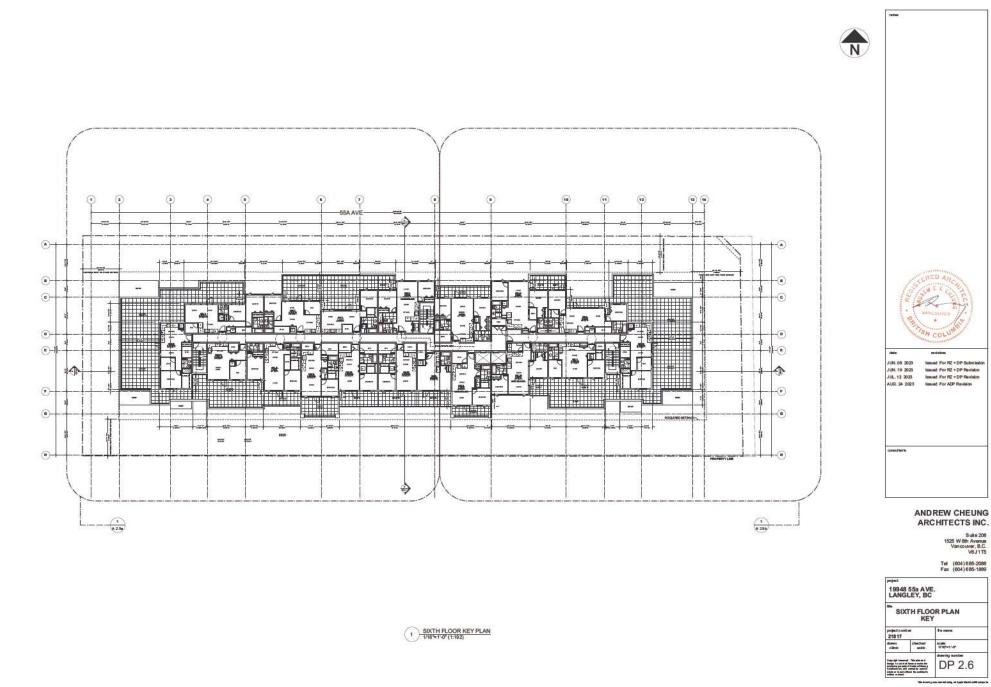
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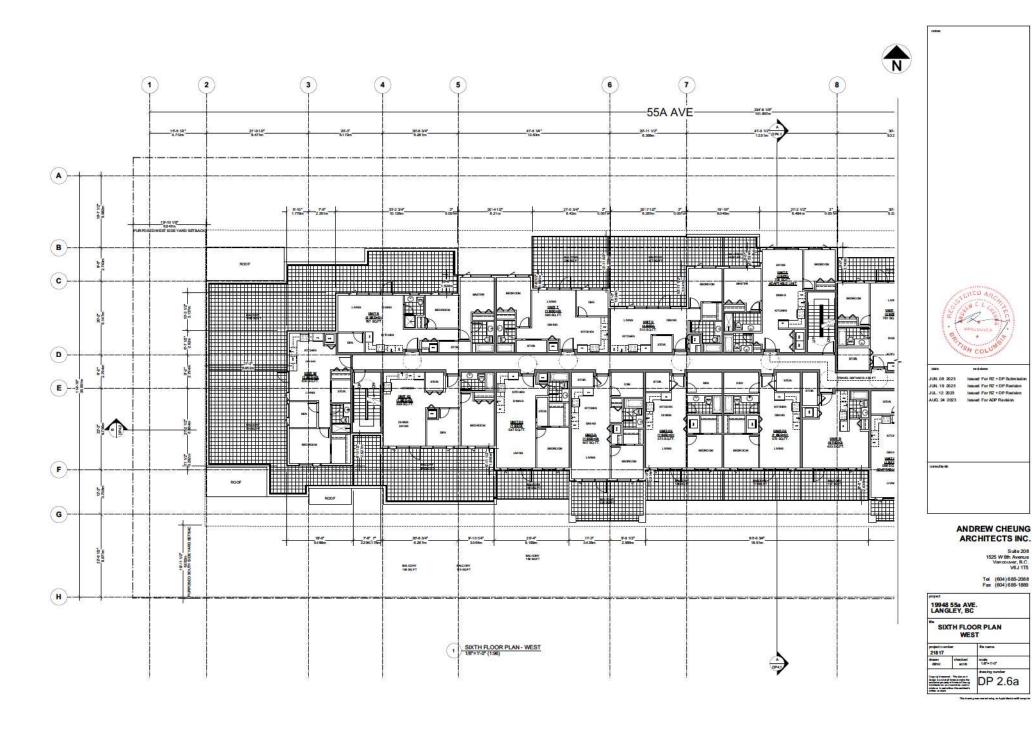
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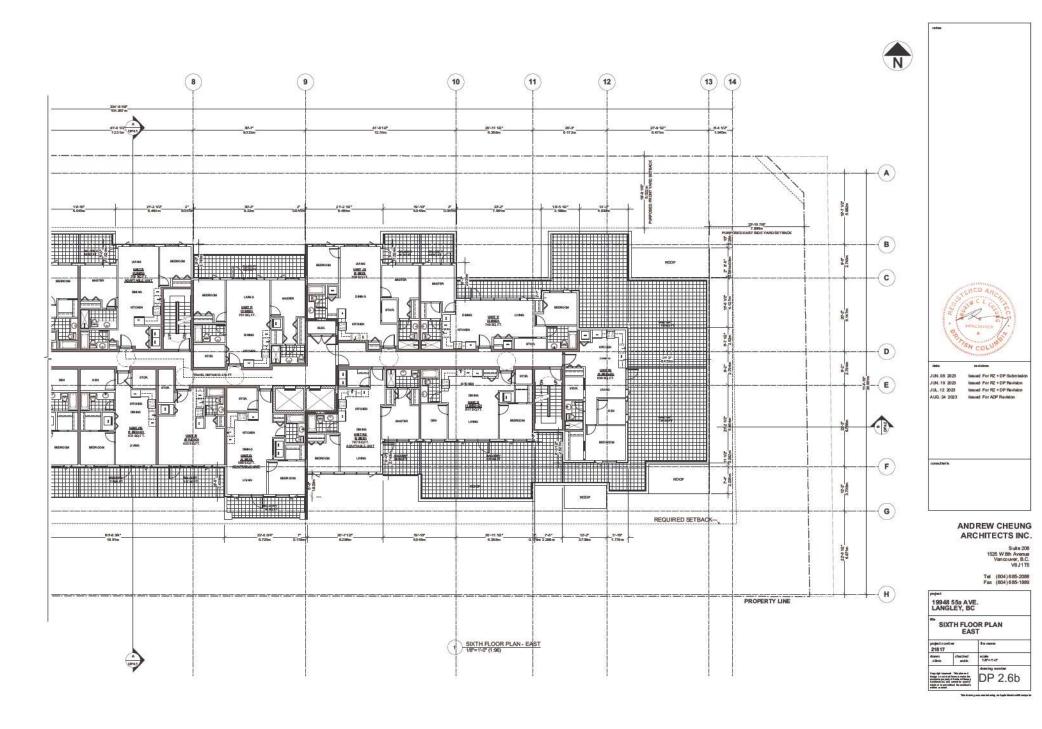
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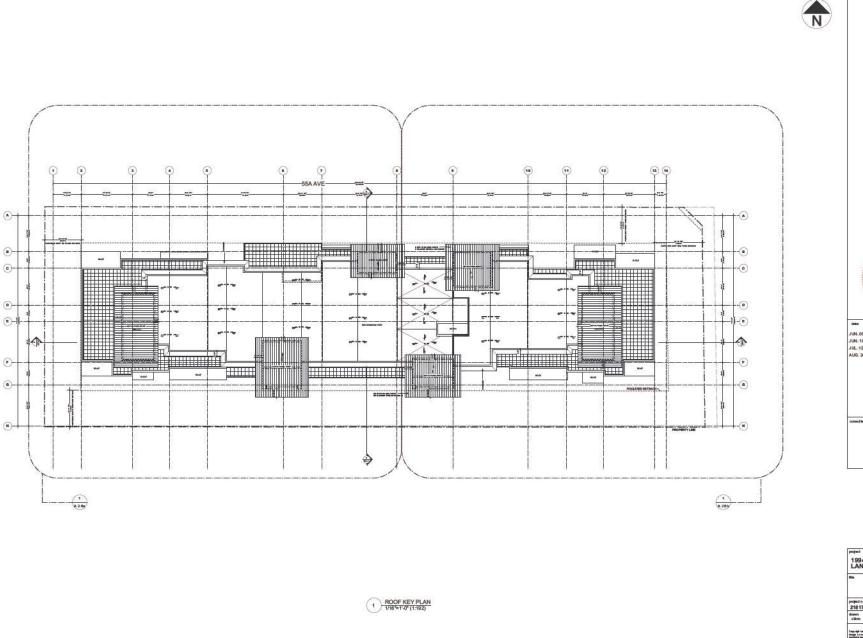
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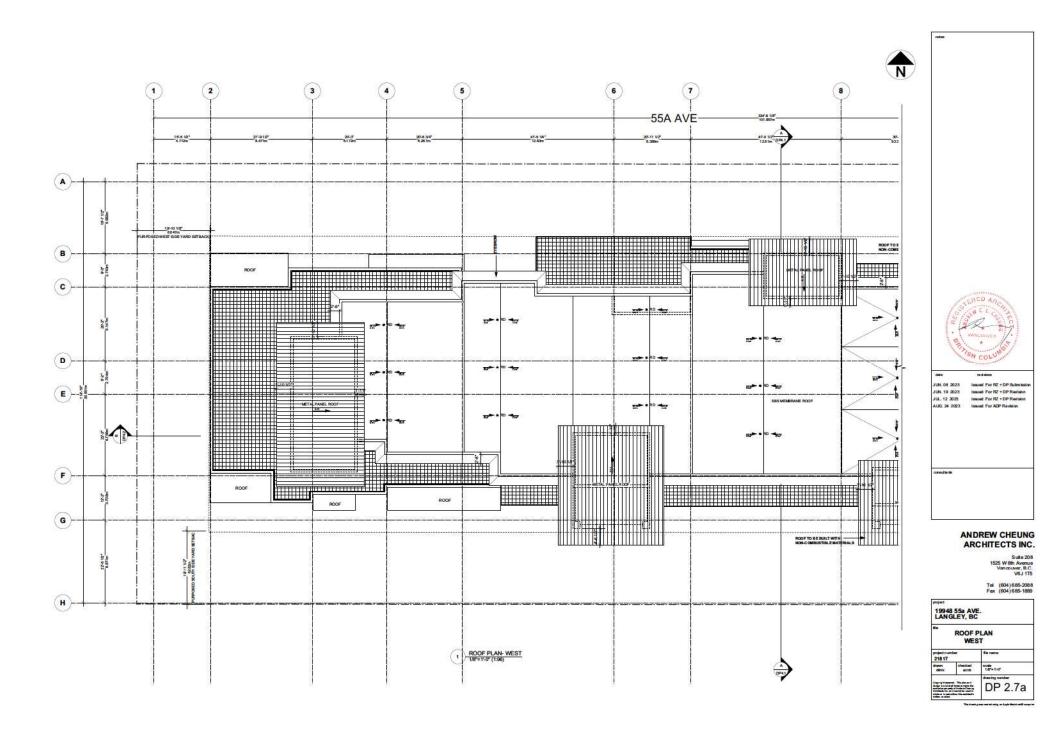


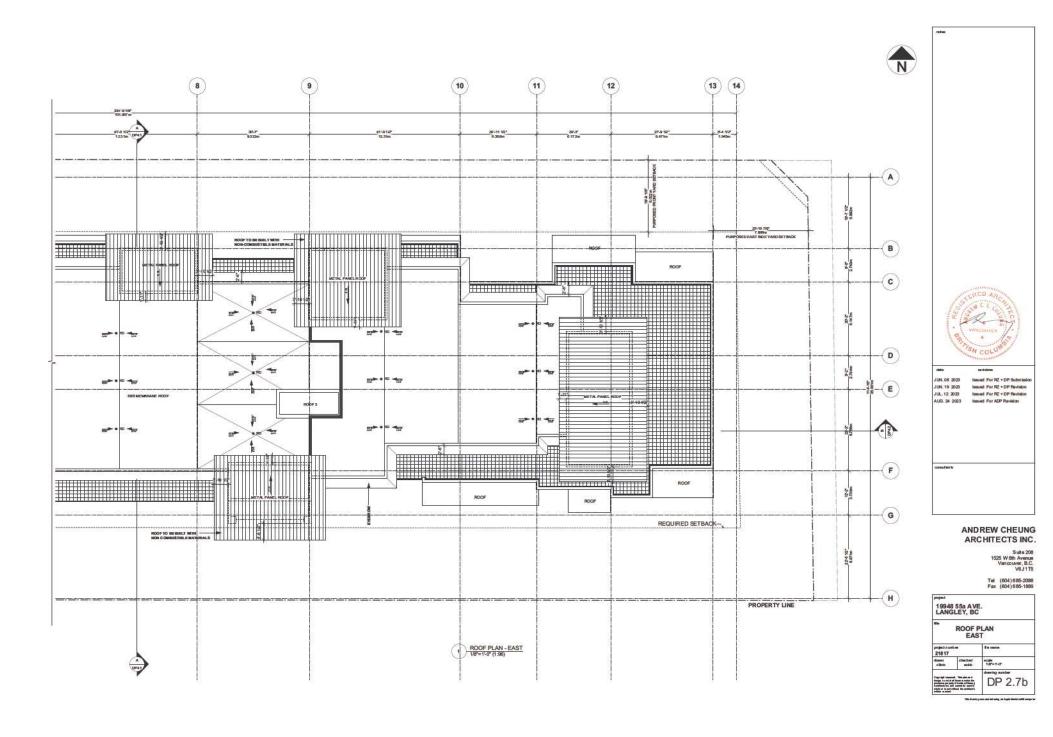
ANDREW CHEUNG ARCHITECTS INC.

Suite 2 1525 W 8th Aven Vancouver, B V6J1

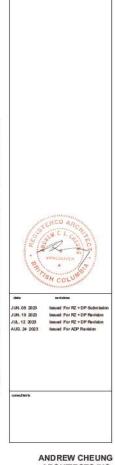
Tel (604) 685-2088 Fax (604) 685-1889

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ARCHITECTS INC.

Suite 20 1525 W 8th Avenu Van couver, B.C V6J1T

Tel (604) 685-2088 Fax (604) 685-1889

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1 NORTH KEY ELEVATION 3/3/2" = 11-0" (1:128)



1 NORTH ELEVATION - EAST (55A Ave.)

Suite 208 1525 W 8th Avenue Van our rer, B.C. V6J1T5

Tel (604) 685-2088

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ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

Tel (804) 685-2088 Fax (804) 685-1889

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1 NORTH ELEVATION - WEST (55A Ave.) 1/8"= 1'-0" (1:96)



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ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

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ANDREW CHEUNG ARCHITECTS INC.

34.28 GRADE (10.45n) GRADE (29.25' PARKING LEVEL 1

> Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

Tel (604) 685-2088 Fax (604) 685-1889

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1 SOUTH ELEVATION - WEST



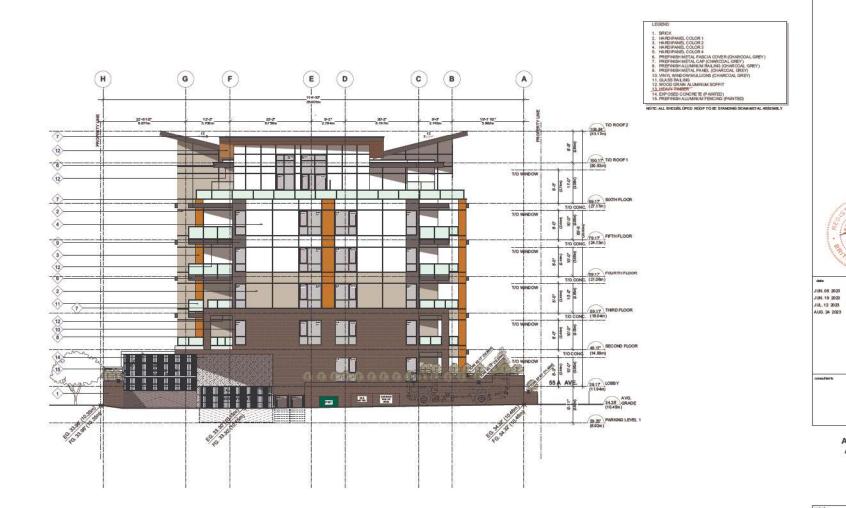
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ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

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ANDREW CHEUNG ARCHITECTS INC.

Suite 208
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Tel (604) 685-2088
Fax (604) 685-1898

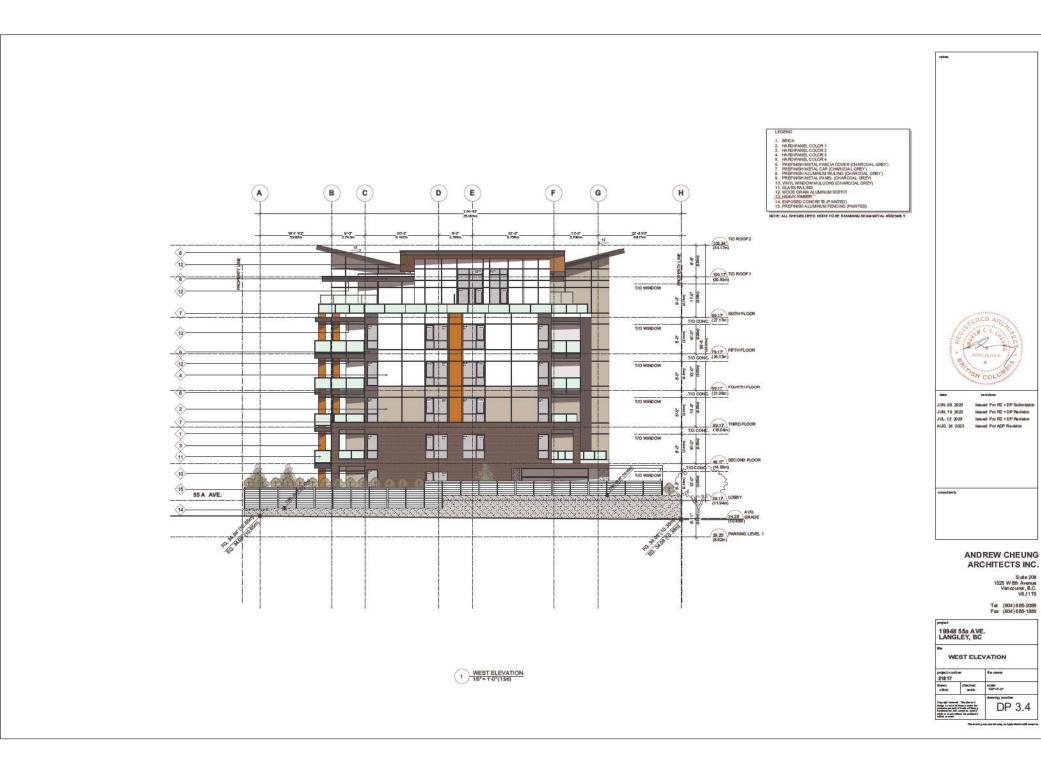
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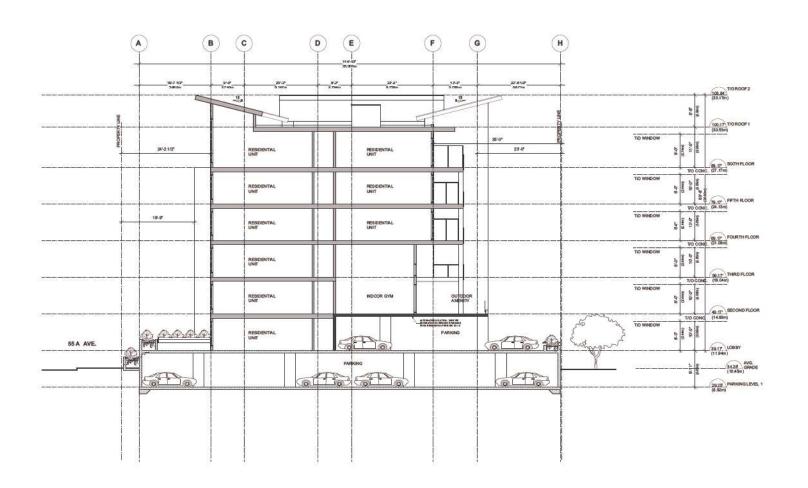
19948 55a AVE. LANGLEY, BC

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EAST ELEVATION

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1 SECTION A-A 1/8"= 1'-0"(1:96)

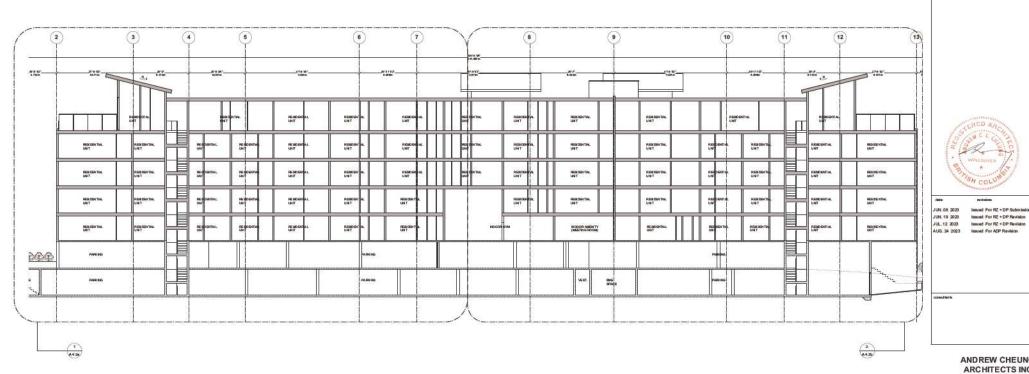


ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J 1T5

Tel (604) 685-2088

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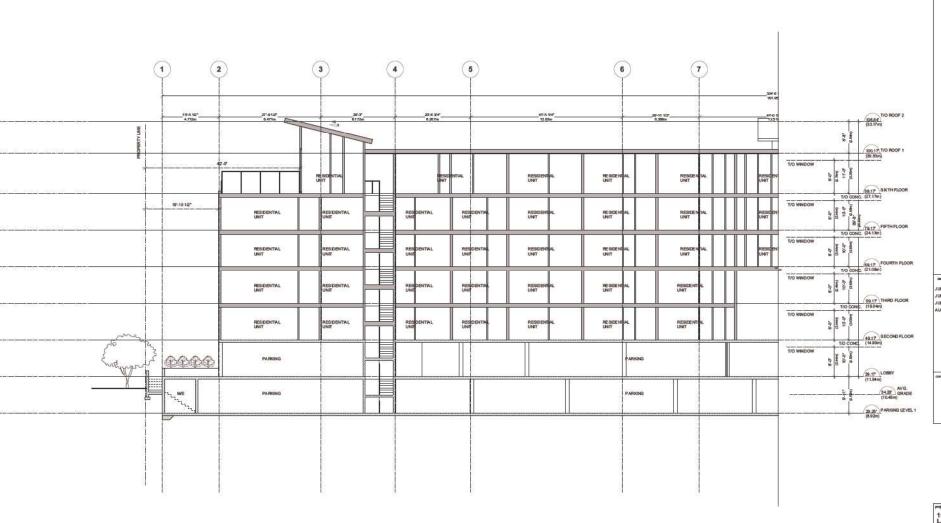
ANDREW CHEUNG ARCHITECTS INC.

issued For RZ + DP Submission

Tel (604)685-2088 Fax (604)685-1889

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1 SECTION B-B KEY 3/32" = 1'-0" (1:128)



JUN. 08 2023 JUN. 19 2023 JUL. 12 2023 AUG. 24 2023 issued For RZ + DP Submission issued For RZ + DP Revision issued For RZ + DP Revision issued For ADP Revision ANDREW CHEUNG

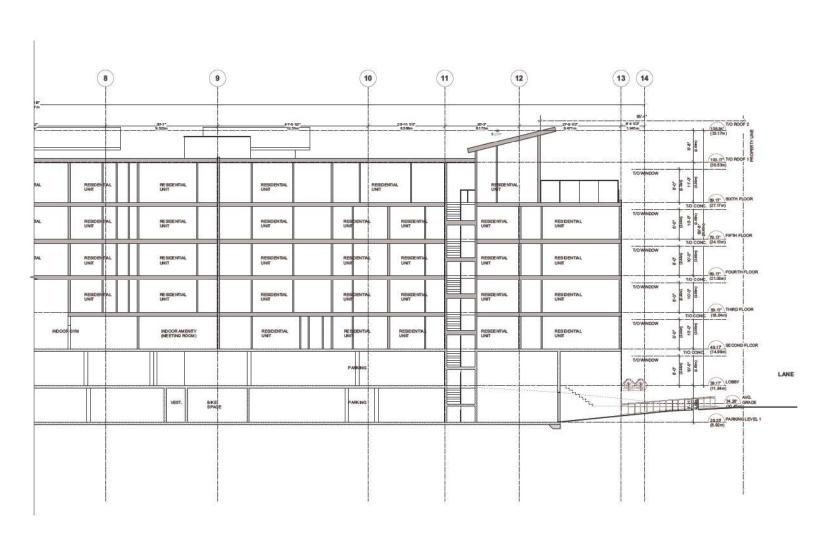
ANDREW CHEUNG ARCHITECTS INC.

Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

Tel (604)685-2088 Fax (604)685-1889

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1 SECTION B-B - WEST 1/8"= 1'-0"(1:96)



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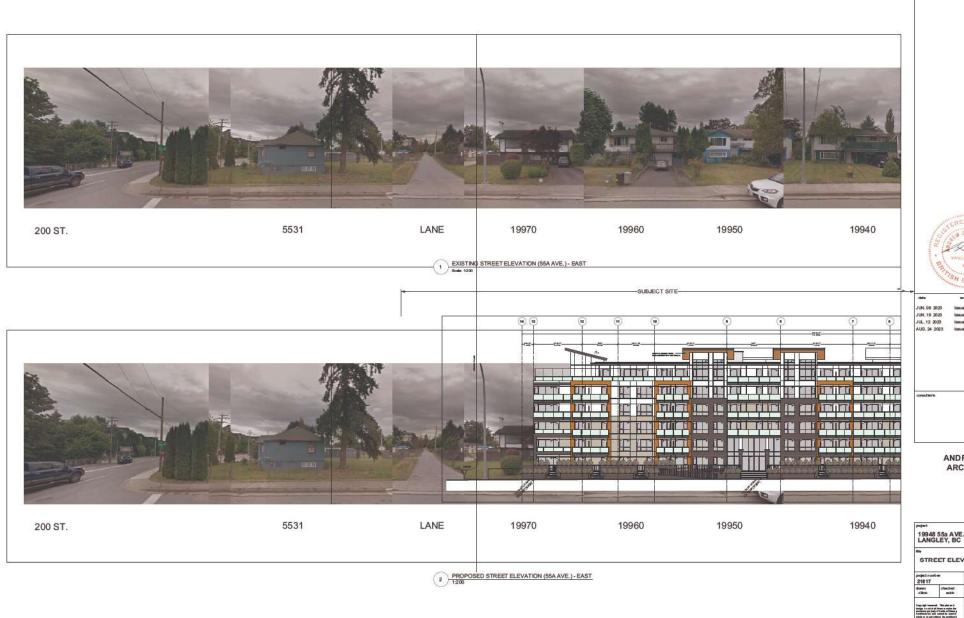
Suite 208 1525 W 8th Avenue Vancouver, B.C. V6J1T5

Tel (604) 685-2088 Fax (604) 685-1889

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1 SECTION B-B - EAST 1/8"= 1'-0" (1:96)

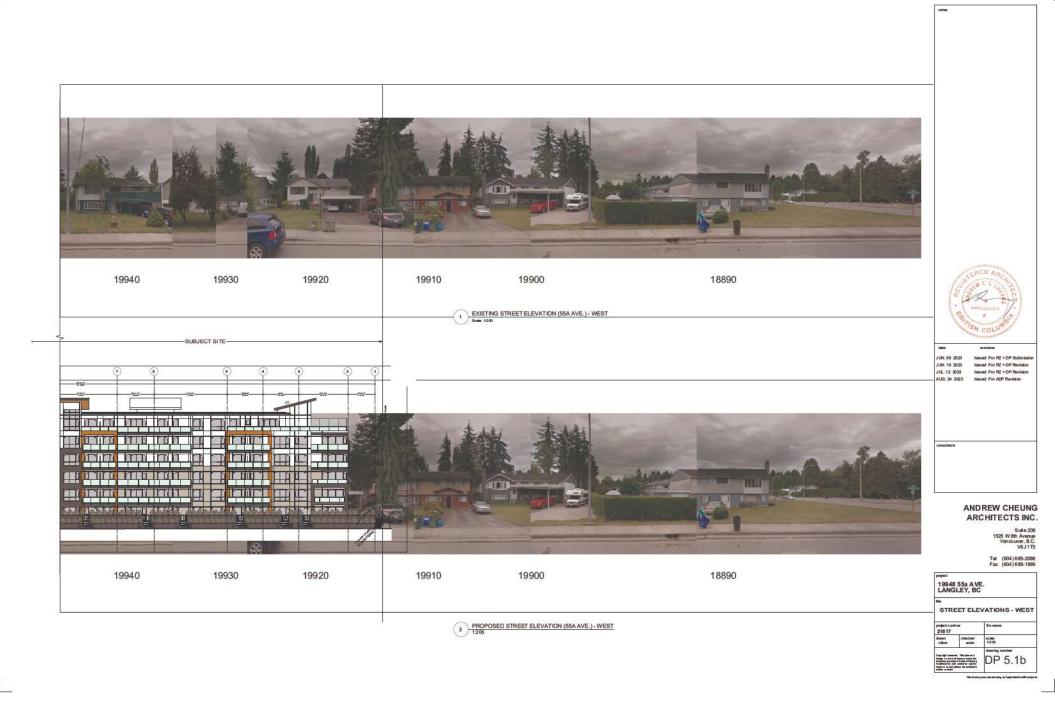


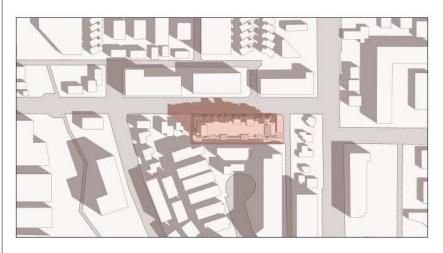


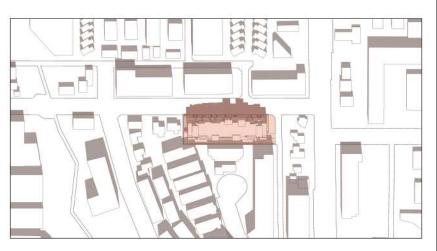
ANDREW CHEUNG ARCHITECTS INC.

Tel (604)685-2088 Fax (604)685-1889

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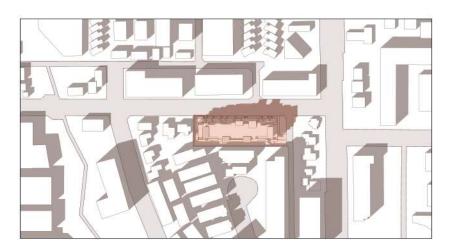






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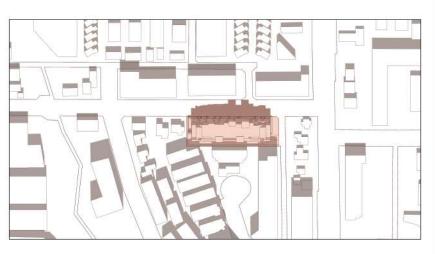
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ANDREW CHEUNG ARCHITECTS INC.

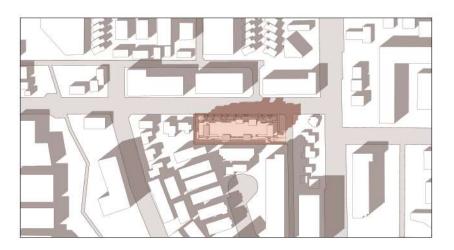
Tel (604)685-2088 Fax (604)685-1889

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ANDREW CHEUNG ARCHITECTS INC.

Tel (604)685-2088 Fax (604)685-1889

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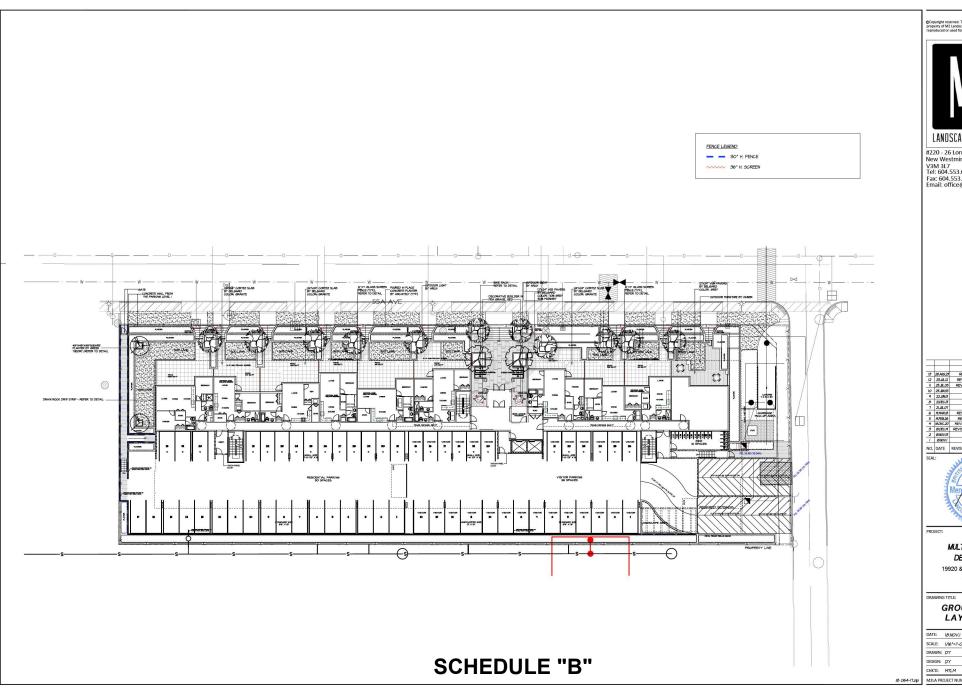
ANDREW CHEUNG ARCHITECTS INC.

Suite 20 1525 W 8th Avenu Van couver, B.C V6J1T

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MULTI-RESIDENTIAL DEVELOPMENT

19920 & 19970 55A Avenue Langley, BC

GROUND FLOOR LAYOUT PLAN

M2LA PR	OJECT NUMBER:	JOB NO. 18-064
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#220 - 26 Lorne Mews New Westminster, British Columbia V3M 3L7 Tel: 604.553.0044 Fax: 604.553.0045 Email: office@m2la.com



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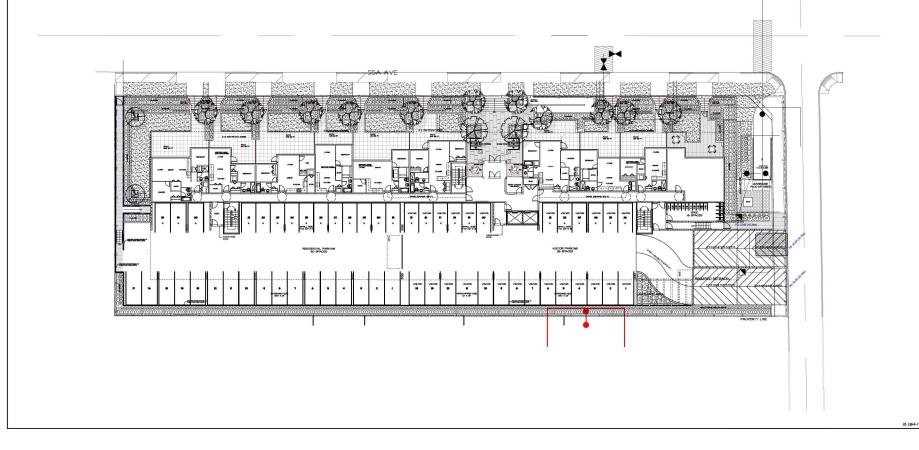
MULTI-RESIDENTIAL DEVELOPMENT

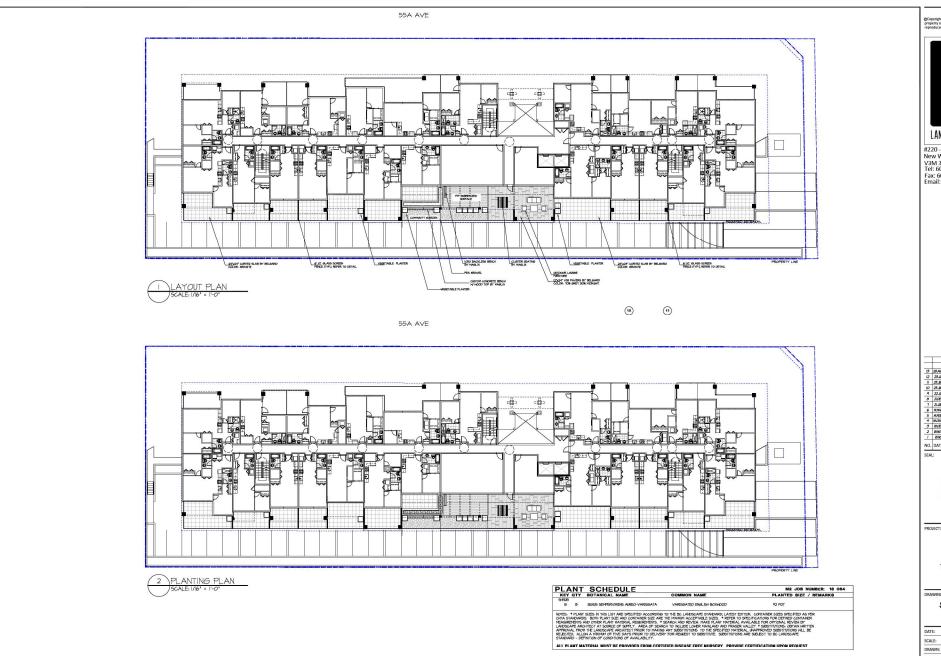
19920 & 19970 55A Avenue Langley, BC

GROUND FLOOR PLANTING PLAN

DATE:	IB.NOV.I	DRAWING NUMBER:
SCALE:	1/16"=1'-0"	1
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18 064-17zip M2LA PROJECT NUMBER: JOB NO. 18-064









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9	22.JNJ3	ISSUE FOR BP	6€
8	2IDEC IS	ISSUE OFF-SITE PLAN	68
7	21.11.01	ISSUE FOR DP	JC.
6	MMRB	REVAS PER CITY COMMENTS	DY
5	H/EB.28	REV.AS PER NEW SITE PLAN	DY
4	10 DEC 20	REV. AS PER ARCH COMMENTS	35
3	IBDEC.M	REVISION AS PER NEW SITE PLAN	36
2	BNOVIB	ISSUED FOR DP	DY
1	DNOVI	PRELIMINARY DESIGN	DY
NO.	DATE	REVISION DESCRIPTION	DR.

MULTI-RESIDENTIAL DEVELOPMENT

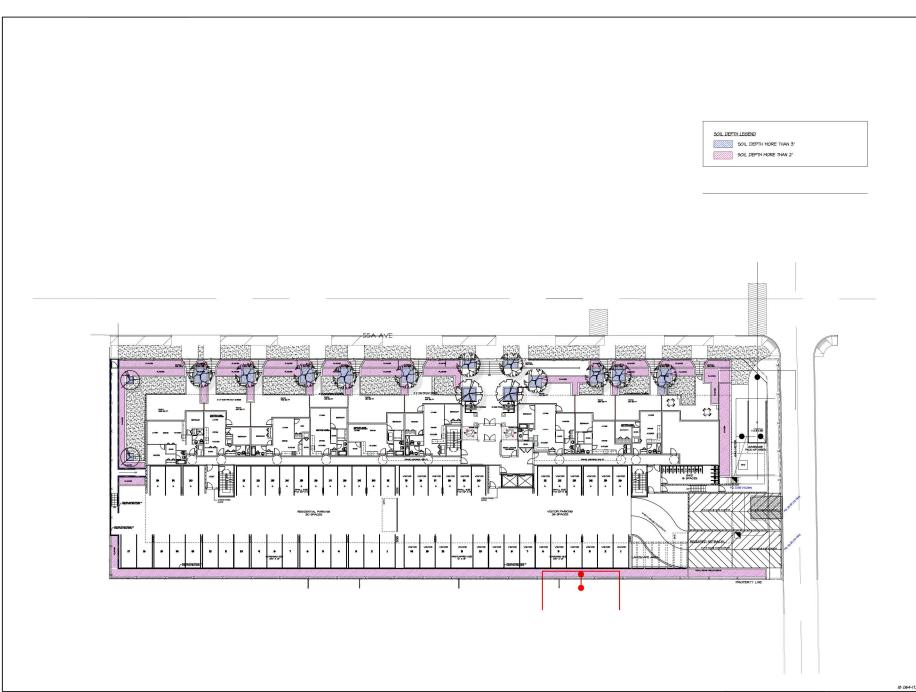
19920 & 19970 55A Avenue Langley, BC

JOB NO. 18-064

SECOND FLOOR LAYOUT PLAN

DATE:	IB.NOV.I	DRAWING NUMBER
SCALE:	1/16*=1'-0*	1
DRAWN:	DY	1.3
DESIGN:	DY	
CHK'D:	MTLM	

18 064-17.zip M2LA PROJECT NUMBER:







7			
18	26 AUG 28	REV PER ADP COMMINIS	GRV.
12	23.H./2	REV. AS PER NEW SITE PLAN	SA
11	25_11_05	REV. AS PER CITY COMMENTS	66
Ю	23.JN/05	ISSUE FOR DP	68
9	22.JNJ3	ISSUE FOR BP	68
8	2IDECI3	ISSUE OFF-SITE PLAN	68
7	21.11.01	ISSUE FOR DP	ж
6	HHARIB	REVAS PER CITY COMMENTS	DY
5	HJEB.28	REV.AS PER NEW SITE PLAN	DY
4	10 DEC 20	REV. AS PER ARCH COMMENTS	JB
3	IBDEC.M	REVISION AS PER NEW SITE PLAN	JØ
2	BNOVB	ISSUED FOR DP	DY
1	BNOVI	PRELIMINARY DESIGN	DY
NO.	DATE	REVISION DESCRIPTION	DR.

MULTI-RESIDENTIAL DEVELOPMENT

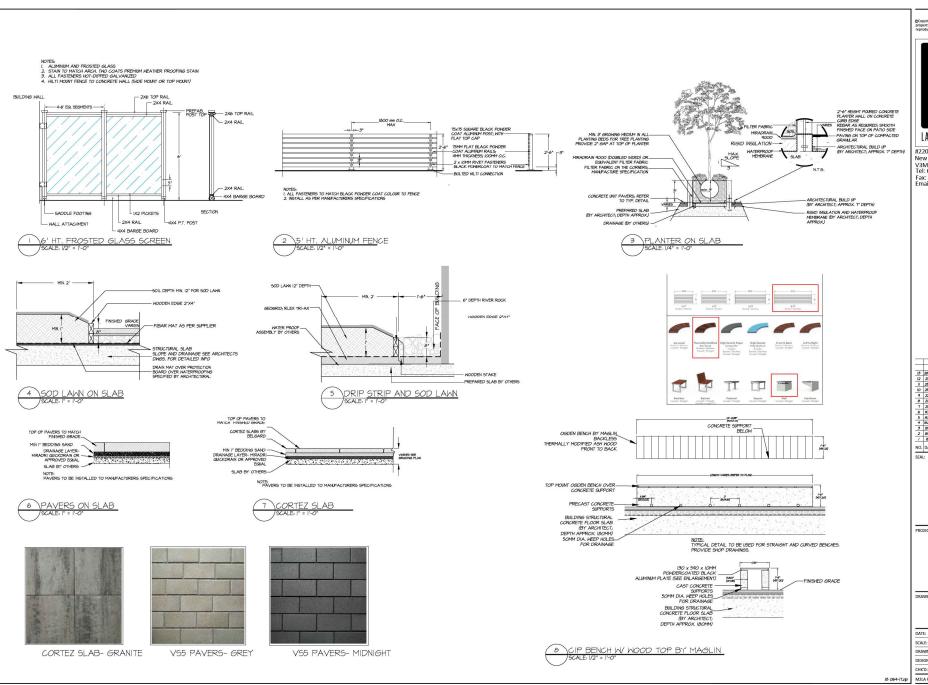
19920 & 19970 55A Avenue Langley, BC

SOIL DEPTHS PLAN

> DRAWING NUMBER: L4

DATE:	IB.NOV.I
SCALE:	1/16"=1'-0"
DRAWN:	DY
DESIGN:	DY
CHK'D:	MTLM

16 C64-172|P M2LA PROJECT NUMBER: JOB NO. 18-064







PROJECT:

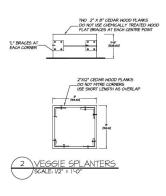
MULTI-RESIDENTIAL DEVELOPMENT

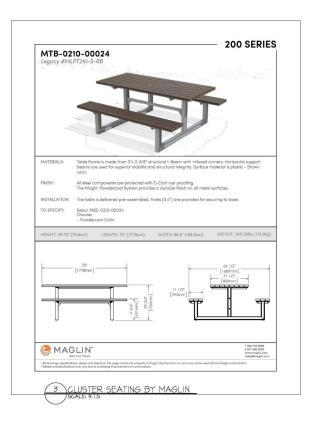
19920 & 19970 55A Avenue Langley, BC

LANDSCAPE DETAILS 1

	DIECT NUMBER:	JOB NO. 18-064
CHK'D:	MTLM	0F7
DESIGN:	DY	
DRAWN:	DY	1 1 5
SCALE:	AS SHOWN	
DATE:	IBNOV.I	DRAWING NUMBER:









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B	28 AUG 23	REV. PER ADP COMMENTS	6BV.X
12	23.JL.12	REV. AS PER NEW SITE PLAN	68
N	23_JL_05	REV. AS PER CITY COMMENTS	68
Ю	23.JN.05	ISSUE FOR DP	6 0
9	22.JNJ3	ISSUE FOR BP	68
8	2IDECI3	ISSUE OFF-SITE PLAN	68
7	21.11.01	ISSUE FOR DP	ж
6	HHARIB	REVAS PER CITY COMMENTS	DY
5	HJEB.28	REVAS PER NEW SITE PLAN	DY
4	10 DEC 20	REV. AS PER ARCH COMMENTS	J9
3	IBDEC.M	REVISION AS PER NEW SITE PLAN	36
2	IBNOV13	ISSUED FOR DP	DY
1	INON	PRELIMINARY DESIGN	DY
10.	DATE	REVISION DESCRIPTION	DR.



PROJECT:

MULTI-RESIDENTIAL DEVELOPMENT

19920 & 19970 55A Avenue Langley, BC

DRAWING TITLE:

LANDSCAPE DETAILS 2

> L6 OF 7

JOB NO. 18-064

DATE:	IB.NOV.I	DRAWING NUMBER:
SCALE:	AS SHOWN	
DRAWN:	DY	16
DESIGN:	DY	1 -0
CHK'D:	MTLM	1

18 064-17.zip M2LA PROJECT NUMBER:

RETRINOR OF DOSTING TREES. 1. Prior to may now to mile-product individual froms or plant groupings indicated on relative or landscape plans on expellation relation to reas. 2.1 Income indicates the Landscape Architect will hap from our around bromain. Obsess the conclusion are as a start-up marting with the Landscape Architect. S.C. Landscape Standard, LATEST ENTON, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nursery Association, jointly, All work and materials shall need standards as set with the B.C. Landscape Standard calces supersected by this specification or as directed by Landscape Architect with written instruction. 3 No markine travel through or within separation netestion areas or under groups of trees to be retained is allowed. 3 MASTER MANIDPAL SPECIFICATIONS & STANDARD DETAILS, LATEST EDITION, prepared by the Consulting Engineers of Birlish Columbia, Road Association, and the Minister Engineers Division A. Do not stockable sell, construction naterials, or encayated materials within vecetation retention areas. 5 On not park, fuel or service vehicles within regetation refertion areas. A STANDARD FOR LANDSCAPE BRIGATION SYSTEM, LATEST EXITION Prepared by the intigation industry Association of British Culumbia No debris fires, clearing fires or trash burning shall be permitted within vegetation S MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED. No excusations, drain or service frenches nor any other disruption shall be permitted within vegetation reliefs the Landscreen Architect. A careed but here than we wish test for all graving medias hab used on this cital is regard. Provide and pay for healing by an independent health provide median for transfers the function described for transfers and operand prior to placement. More in Section 3.5 Enranke Media Healing for graving. 3. Any dramage to existing weightide intended for preservation will be subject to evaluation by an LSA. Geriffied Arborist using the "Golde for Plant Appraisa". LATEST CENTERS. 2 Owner reserves the right to less or re-test materials. Contractor responsible to pay for healing if materials do not meet specification. CLUI UNIX. 3.1 Replacement planning of equivalent value to the disturbance will be required. The cost of the evaluation and at the replacement planning will be the responsibility of the General Centractor and on the person(s) responsible for the disturbance. .1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect .10 In municipalities with specific free relatifier/replacement belows ensure consiliance to belows. .II In situations where required construction may disturb existing vegetation inheaded for preservation, contact Landscape Architect for review prior to commencing construction. SITIONS I all the lates of Including Architect in the lates and when the Landauge Architect is the designable reviews. Not Landauge Architect all skews are proposed in the Landauge Architect and Situation and Landauge Architect and Situation and Landauge Conference and Landauge Conference Architecture and ummou. J. Ensure subgrade is prepared to conform to depths specified in Section 35, Growing Medium Supply, below: Where planting is indicated close to existing trees, prepare sulfable planting protein for material indicated on time planting plan. Appearably planting protein for material indicated on time planting plant. Startly the entire subgrade immediately prior to placing growing medium. Re-cultivate where vehicular traffic result Ensure that all planting areas are smoothly continued after light corporation to thinked grades. In all of the regarded each start is regarded as a second of the regarded each start is regarded each start in the regarded each 4. Eliminate standing water from all finished grades. Provide a sneeth, firm and even surface and conform to grades shown on the Landscape Browlegs. On not excermination and minimum gradenits defined by the BC. Landscape Standard. 5 Construct scales true to line and grade, smooth and free of sags or high points. Minimum slope ZX, maximum side slopes WX. Assu 5 Slope not to exceed the following maximums Bough Brass 51, Laws 61, Landscape plantings 31. 7 Finished suit/mulch elevation at building to comple with municipal requirements. A Inform Landscape Architect of completion of thish grade prior to placement of seed, sed, plants or molch. LANDSCAPE DRAINAGE J. Related Wirth: Growlog medium and Filish Grading, Grass areas, Trees Stroks and Groundsveens, Planters, Crib Walls. Unless otherwise instructed in the Contract Decements, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing median constitutes acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor. 2. Were hander. Sin finitely pulling and under colorise, including of any orienty replace facilities of any other pulling and any other pulling any other pulling and any other pulling any other pulling and any other pulling and any other p All work and appenhendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicities and/or pesitidies shall hold a corner? Economic lases by the appropriate contraction. 3 A site visit is required to become familiar with site conditions before bidding and before start of work. 6. Confirm for office of all construct before convenience with two work.) Execution 21 De Processing and busicifising in accordance with angineering defalls and specificalized. 22 Lay drafas empreparad busicities of like and grade with invents asserts and time of sage or high points. Essure beared of each pipe is in contact with bed thr 5 Nettly Landscape Architect of any discrepandes. Obtain approval from Landscape Architect prior to deviating from the plans. Legs. Community goed and and promoting the transformer. Community goed and and promoting the transformer. The community goed and and promoting the transformer. The community goed and and promoting the community goed and the c A. Take appropriate measures to avoid environmental damage. On not damp any waste materials into water bodies. Centern with all federal, provincial and Collect and dispose of all debris and/or excess naterial from landscape operations. Keep paved surfaces dean and repair durage resulting from landscape work. Repairs are to be completed prior to final accordance. A Where new work connects with existing, and where existing work is allered, make good to match existing undisturbed condition. .1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Consistion. Slowfor 4254 153166 Substructure contribute majet of priving audies project for one in this project is an independent interesting. Privide text result is burdicupe Analyted prior to a Unique should result to the contribute of the privilege Analyted prior in a Projectal projection. Contribute of the privilege Analyted privilege Analyted State (Indian Analyted A PART TWO SCOPE OF WORK SCOPE OF WORK J. Other conditions of Contract may apply. Confirm Scope of Work at time of tender. .15. Carbon/Minapa lovel. Wideling May GAPT STATE AND PLACEMENT - Sough All any entry seed or registed for the partie seace of the Centruct. Do not load, Insaspert or ground proving medium value it is so wit that its shrudure is Gody In be - Sough All any entry seeded or registed for the partie seace of the Centruct. Do not load, Insaspert or ground proving medium value it is so wit that its shrudure is Gody In be Work includes supply of all related thems and performing all operations necessary to complete the work in accordists of the following: The Reterlina of Establing Trees where shawn on drawings. 2 Friesh Gundey and Lundropp Drawings. 3 Sopph and placement of graving medium. 5 Teathing of togethed growing medium. 6 Teathing of togethed growing medium and see a link in paper. 6 Teathing of togethed growing medium and see a link in paper. 6 Teathing of the gravity o 2 Supply all growing medium admintures as required by the soil test. Amended growing medium most meet the specification for growing medium as defined in Table Doe for the various news. 21. Theroughly nix required amendments into the full depth of the growing medium. 22. Special mass may be required for various wituelines. Rafer to drawing naives for instructions. of real fact and Table One Place the amended growing medium in all grass and planning areas. Spread growing medium in uniform tagens and exceeding 6° (195mm), over unstruces subgrade free of standing value. Minimum depths of growing medium placed and compacted to 8000: 1.3 De-grade: 2.8 Preparation of soil aribbs, supply is internets was accessed. 2.5 Supply and placement of his misch. 2.16 Whitesacce of placed and seeded/useded areas until accepted by Dwier. 2.17 SEPARATI PREE Enhabitment Nutrimuses, Section 3.11. 2.12 Other worle Work other than this list, not specified by Landscape Architect. A3 Cu-gree A5 Sected and studded lands. Ligand lands. Ligand lands. Ligand lands. Ligand lands Ligand lands. Liga 42 On-Slab ALS - Size | September | Y Titles| Als | September | Y Tit TABLE ONE: PROPERTIES OF EXCHANGE MEDIUM FOR LEVEL 2 GROUND AND LEVEL 3 PROCESSAL. Classification Teather's Dass: Teamy Seed" to "Sandy Learn". Low Traffic Areas. Trees and Large Shrubs Growing Medium Types Tenture Coarse Gravel: Larger Hosa 25em All Gravel: Larger Hosa 2mm Percent Of Dry Weight of Total Gr 5 Manually spread growing nedun/planting soil around existing trees, shrubs and vibstracies 5 In parimeter seeded grass areas, feather growing medium out to nothing at edges and blend into existing grader 0 - 5X 0-5X 0.52 Finished grades shall confirm to the elevations shown on landscape and site plans. cent Of Dry Weight of Growing Medi ROUGH/GRASS AREA - SEEDING J. General Rough grass areas we noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all becomised to stop of rousing and consciousn's benefit or rough areas. Sand Larger Hua 0:05em smaller than 2:0em CR 68V 76 969 40 900 Preparation of Surfaces: To B.C. Landscape Standard Class 5 Areas Blough grassI Section 7.113 Dean edisting sell by mechanical means of debris over Stam in any disession. Results made surfaces to allow for maintenance specified and for maintenance. tt: Larger Ithan 0,002mm smaller than 0,05mm 10 - 25% 0 - 5× 10 - 75×

0 - 25% 0 - 15% 0 - 25%

- 2 Fertilizer: As organic and/or inorganic coapound containing Nitrogen (Mi, Phosphate IZS), and Potash (soluble 2) in proportions required by soil hest
- 4. Organic Additives Commercial compost product to the requirements of the B.C. Landscape Shandard, LATEST EQITION and pre-approved by the Lands Recommended suppliers in Tordworks, The Assert Gurden Products, Fraser Richmod Swiss & Filme, Stream Organics Kanagement. 5 Sand Goan, washed pump sand to need requirements of the B.C. Landscape Standard.
- 6. Cosposted Bash Mulch. When (SNP) sines Firstenlock bank clips and fines, free of dranks and sticks, dark brown in colour and free of all sall, shares, roots or other estraseous matter. Fresh erappe in union best will be rejected.
- Merbiddes and Postiddes: If used, must conform to all federal, provincial and local statutes. Appliers must hold current flownse the area.
- 8. Filter Eatric: A non-bindeptable Market or other filtering membrane that will allow the possage of water but not fine sed particles. (Such as MRAFI NO N., 600,000 Hold. OR AMOCO SSG or illerante product pre-approved by the Laborage Architect.)
- 3 Drainage Plping If required: Schedule 48 PVC nominal sizes.

PART ONE GENERAL REQUIREMENTS

- Plank Material. To the requirements of the B.C. Lundscape Standard. Refer to 3.9, Plants and Planting. All plank material most be provided from matery. Provide proof of certification.
- 33 Supplier and installers of segmental Minch walls to provide regiment drawings for all walls before and realed drawings for all walls, indicatellity, in access of tite, or moderations of united moderations of united moderations in Conference of the Conference
- .% Hiscollaneous: Any other material necessary to complete the project as shown on the drawings and described hards.

PART THREE SOFT LANDSCAPE DEVELOPMENT

- 3. The of Seeding-Seed from early spring Igenerally April Intil Int Late Fall (September 2014) of each year. Further extensions may be obtained.
- A Seed Supil, & Testing, All seed must be obtained from a recognized seed supplier and shall be No. 1 grass sixture delivered in containers bearing the following A.3. Persity of the seed mixture. A.2. Persity of each must object
- Fertilizer: Mechanical seeding Apply a complete synthetic slow-release fertilizer with maximum 2001 water soluble nitrogen and a formulation ratio of 18-18-18 5000 sulphra unea coated, 102 high halfollocitizated using a exclusional spreader.
- A Acceptance Provide adequate protection of the seeded areas soft creditions of acceptance have been met. Comply with Section 3.7 Hydroseeding.
- 'DROSEEDING

 May be used as an alternate to mechanical seeding in rough grass areas.
- 3 Preparable and Growing Hedum
 31 In areas of Brooph Gross Centry with Section 3.6 Brooph Gross.
 32 Where approved for use in areas of laws, comply with Section 3.4 Laws Areas: Sedding.
- A. Protectine: Essen that furtilize in solution does not come in contact with the folloge of any trees, shroks, or other assorptible expiration. Do not spray seed or make on objects not expected in grow years. Protect entiring with exposured, analogoe, indexcepts points, associates, markets and structures from disease. Where contentation concer, entered seeding structures from diseage. Where
- 5. Midd shall consist of rings wood fibre or recycled paper fibre designed for hydraulic seeding and dyed for ease of monitoring application. If using for wood fibra uses 85% by weight, Contine to BC. Landscape of another for midd registraters.
- J. opposes: We noisity stations reprints secont recover equipment with mer take volume certined by an operational part or stocker attitude in pain view on me-equipment. This hybridic seator indicate shall be capable of sufficient application in sorther abstract because of sorty and to maintain the starty in a homegeness shall will it is applied. The descripts propore pain existes shall be capable after.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- tertizier 11 Sylfna 190 Botrorov Staath Weltherwik When specified, apply (51 Suhrerel (114 ib. 1 lb. et grans seel) Relati All the time of Tender provide a complete chart et all coeponaths et film mis proposel including mobil, tackifier, valer etc. Singed sites requi
- A5.2 Fertilizer

 33.2.1 Rough Grass: If a soil analysis is available, couply with results.

 A3.2.2 Local Where indirected his approach comply with and popletic recumeredations.
- 9. Accorately measure the countries of each of the naterials to be charged into the task either by mass or by a commonly excepted system of mass-collect measurements. The naterials shallbe state to the task white it is taking titled with value, in the reliabority sequence, seef, certificer. Thereughly nile into a local flow charge in the task of collection start in the state of more in the care (it least on the
- 30 Distribute starry uniformly over the surface of the area to be hydrosecled. Need applicative into previous applications and existing grass areas to fee
- 1. Belt vacuum byte minimum kindeling into seeding of minimum for days and included and programs as will suspice by the own. In-seed in the vacuum belt programs as well as provided by the own. In-seed in the vacuum belt programs as the programs of the programs and the programs as the program as the programs as the programs as the program as the program as the program as the program as the programs as the program as the program as the program as the programs as the program as
- 3. Accustons of the Book Grass Assoc Project generation of all specified grass species in the responsibility of the Lankscope Confronter. The grass shall be reasonably the or the Section of the Confronter and Conf

LAWN AREAS - SODONO

- 1. Guardi. Treat all press defined as laws areas on the landscape sign behavior of interactivities of the newlect including all healescapes to edge of reads and laws 2 Growing Medium: Comply with Section 223, Growing Medium. Prior to sodding, request an inspection of the finished grade, and depth and condition of growing medium by the
- 3 Time of Sodding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.
- 4 Sed Supply: Conform to all conditions of B.C. Landscape Standard, Section 4, B.C. Standard for Turfgrass Sed.

TABLE 2 SPECIFIED TURFGRASS BY AREA			
Area	Description	Dod by Grade	Major Species
CLASS 1	Lawn, all areas noted in drawings as lawn in urban development sites including boolevard grass	No. 1 Premien	Rentucky Blue for sun, l'escaes for shad
CLASS 2	Grass - public parks, industrial and institutional sites	No. 2 Standard	same
CLASS 3	Rough Erans	see hydroseeding	1555556

- 6 Line. The line shall be as defined in Section 2.2.3 Materials. Apply at rafes recommended in required sail test. Refer to Section 3.5 for method.
- 7. Fertilizer: Reter to Section 222 Materials. Apply specified fertilizer at rates shown in the required self-test. Apply with a nechanical spreader. Cultivate into growing medium 41 hours prior to seeding. Apply separately from line.
- A. Sodding Prepare a smooth, fire, soon service for laying sed. Lay not staggered with sections closely balled, without eversipping or spor, smooth and even with adjoining areas and red lightly. Water to white moleture posteration of 5" is 4" IT Wash. Coughy with requirements of 6% Louisionage Standard Section X, E. Standard for Turteres.
- 10 Acceptance of Laws Areas. The test shall be reasonably well established, with an apparent deal quals or have spots and shall be reasonably free of weeks in B.L. Landscape Standard. Section 19 Mailcoance Level 21 Repeatment. New Established in Executary for week-proposal unless without undiffuse of contract forbid their use. After the laws has been cut in last bride, unless reasonable the confidence will be table mere by the disease.

PLANTS AND PLANTING

- .1 Centers to planting layout as shown on Landscape Plans.
- 2. Getting approval or Landacipe Architect for Lightz and preparation of pointing prior to consequence or planting operation
- 3 Make edge of bads with smooth clean defined lines.
- 4. This of Polating A.1. Past Trees, and the sold greatesters only defing periods that are normal for such work as detensied by local weather conditions when seasonal areas assembled, also believe the fact are location.
- Subdated and a finish or the network of the LC Leadings State (LLTSS 1000s, earlier consider) privale plant for the performance of the LC Leadings State (LLTSS 1000s, earlier consider) privale plant for the LC Leadings (Mandet Cellars 12 Perm and Permit yet (Section 12 Cellars 13 Cellars 13
- 6 Parlieur.
 6.1 Review at the source of sapply and/or collection point does not present subsequent rejection of any or all planting shock at the site.

- Schafffullin
 Schafffullin
 Schaffullin
 Schaffu
- 9 Plant Species & Location
 91 Revers shall be how his same and of the height, caliper and size of roof ball as slown on the landscaper/site plan plant schedule. Caliper of trees is to be takes 6" (Boal) 9.1 Plants shall be from to some and of the height, caliper and size of root ball as shown on the landscape/site plan plant schedule. Caliper of trees is to be taken 6" labors grants.
 9.2 Plant all specified species in the location as shown on the landscape drowings. Notify Landscape Architect if conflicting rook or underground/weethead services are:
- escriptored.

 93 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architecture. 30 Exervation.
 30.1 Tress and large shrides Exervate a seasor shaped free pit to the depth of the rootball and to all least hvice the width of the rootball. Assure that frieshed grade is all the rootball and the first less cover all.
- .III. Orahops of Planting finless.
 .III. Provide drawing of planting pits where regaland as, as sloped conditions, break out the side of the planting pit to allow drawings down slope, and in flat conditions, mount be raised for exhibit planting pit to allow drawings down slope, and in flat conditions, mount be raised for exhibit planting pit to allow drawings of planting pits allow drawings down slope, and in flat conditions, mount be raised for planting pits allow drawings of planting pits allow drawings of planting pits allow drawings.
- 32. Flatleg and Fertilizing Procedures.
 33. Their all Invest and standards the restrict process produces the restrict process and standards with reverse process in the restrict process and standards. Denote the restrict process and standards and standards. Denote process the restrict process and standards and standards and standards and standards and standards. The restrict process and standards and standards. The restrict process are standards and standards a
- 2.2. Illibe Jahribyskes it godi frietig its govelyneden zweid the not synta is it 'Edicilizers' Selfic lits sell with order. Add sell an ensired in meet frieth grade conserved by meet a reads. Never a read of the 2014 of the specified rate.

 2.3. When plating shalled signarsh in what the suspect can be selled reads and the state of the specified rate.

 2.3. When plating shalled signarsh in what the suspect can be selled reads on the state of the search plate at retaining selled at the selled shall be selled to the selled of the
- Disting From:

 State of the Control of the Control
- N. Proving

 3.1 Limptoming to the minimum secessary to recover dead or injured branches. Preserve the external character of the plants, do not not the leader. Use only dearn, sharp below. Make all crits clean and cell to the branch cellul relating no states. Stage affected areas so as not it overlain value. Recover changed malerial.
- Much all planting areas with an even layer of much to 2-1/2 1" 165 "Stend depth. Continu placement of much in areas baseled "Groundwarer Area" on drawings. Much a 3-th. 1000maj diameter circle areas of leven in flavor areas, Lawra a clean edge.
- .% Acceptance: .%.1 The establishment of all pixet material is the responsibility of the Landscape Contractor.

- 3. The effective of a point review is the requirement of the control, performed or the control, performed or the control, performed or the control of the co

- 3. Pet Novely.

 3. Peter Service.

 3. Peters A service part and one peter bear singular "speare" for point of on Ill part the Service part and one peter bear service. The peter bear service per service peter bear service per service peter bear service. The peter bear service per service peter bear service per service peter bear service peter service

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- In all of an inteller, it is already solded convert by right has ded in Control on your distillar for advantage or great and solded in control on the control of the present of the control of the control

- NI INSTALLING LANDSCAPT ON STRUCTURES

 3. Verify that drainage and protection material is completely installed and acceptable before beginning work. Contact Landscape Architect for Instructions if not in place.
- Coordinate wesk with construction of planters and planter drainage.
 Twelty that planter drains are in plane and positive drainage to reof drains is present prior to plading any drain rock or soil.
- 3 Provide clean out at all through-slob drain locations . Use 300m mix dia. PVT Pipe filled with drain rode unless specific drawing detail
- A lestall drain rock evenly to a minimum depth of 4" (Witnaher alternate sheet drain it specifies, testall sheet drain as per narufacturer's recommendation
- 5. Cover draft rock for alternate sheel draft if specified on drawing delated with filter taken lapping 6" (Stand at all edges. Obtain approval of drainage system prior to shallow drawing medium.
- A Place an even layer of 15 Sinns clean washed pump sand over filler fabric. 3. Place greeing redion to depths specified is Section 2.5 above for cortical parties to fundaments. Refor to Discussing delay for any light shiple filter respired to within grade. See Stretches below on Grade rood objects to provide seventh surface branchine at object. Built each place figibly fregisher and cover with offer faith it is created and room against polywards.
- ESTABLISHMENT MAINTENANCE Provide a separate price for this section)
- 3. Intent: The label of "Calabelean" makebases in a privile sufficient care to easily installed point makebal for a retailinely short peole of these to ensure a focusion through one access of the planting. The depiction of subjection of plantine is used point on a plantine of plantine in the subject of plantine in the plantine of plantine is used to be a plantine of plantine in the plantine of plantine is used to be a plantine of plantine in the plantine of plantine is used to be a plantine of plantine in the plantine of plantine is used to be a plantine in the plantine of plantine in the plantine of plantine is used to be a plantine in the plantine of plantine in the plantine is used to be a plantine in the plantine in the plantine is used to be a plantine in the plantine in the plantine is used to be a plantine in the plantine in the plantine in the plantine is used to be a plantine in the plantine in the plantine in the plantine is used to be a plantine in the plantine in the plantine in the plantine is used to be a plantine in the plantine in the plantine in the plantine is used to be a plantine in the plantine in the plantine in the plantine is used to be a plantine in the p
- 7 History Parket Provide asistenance of installed parkets into 17 months following substantial considers.
- 3 Related Standards and Legislation B.C. Landscape Standard, latest edition Fertilizer Code, B.C. Pesticide Control Act. A. Sile Review, in addition to the inspections all solaritaritial conjection, all final progress drive application, and all the ord of the yournates period, there should be three offered reviews driving the ID exembs offered by the Contractor and a designated representative of the Devert. Maintain a legibial and reporting procedures and solaritie to the designated representative.
- 6 Maintenance Level Comple with B. C. Landscape Standard, Section Cl. Table 1. Maintenance Level "Medium".
- Materials Compty with Part Two of this specification.
 For-Mizers: To the receivments of the B.C. Landsipe Standard, Formulations and rates as required by soil testing.

- In Part Meet Chalabores.

 We whose pump for the growing season, with owe factor it was factor from the TEME (applicable on by TeME at July 10th, and every heart) \$25 (applicable on by TeME at July 10th), and every heart \$25 (applicable on the price of the State of
- 3. Four local collections.
 3. Whileful to be local and priviley. Implies uption or the stable is again with 1 Gas 1 and 1 and 1 again with 1 Gas 1 and 1 and 1 again with 1 Gas 1 and 1 an

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#220 - 26 Lorne Mews New Westminster, British Columbia Fax: 604.553.0045 Email: office@m2la.com

13 28 ANS.28 REV. PER ADP COMMENTS 6BULC 2 IBNOVIS ISSUED FUR UP
1 IBNOVI PRELIMINARY DESIGN NO. DATE REVISION DESCRIPTION

MANAGAMAN

MULTI-RESIDENTIAL

PROJECT

DEVELOPMENT 19920 & 19970 55A Avenue Langley, BC

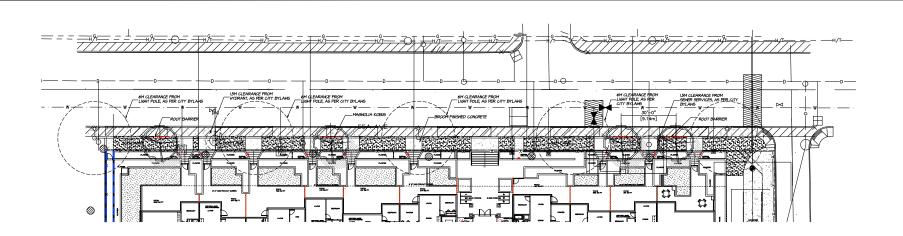
SPECIFICATIONS

DRAWING TITLE LANDSCAPE

DATE: IBNOVI DRAWING NUMBER: SCALE: -DRAWN: DY DESIGN: DY

CHK'D: MTLM M2LA PROJECT NUMBER:

JOB NO. 18-064



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PLANT	SCHEDUL	E -OFF-SITE	M2 JOB NUMBER: 18-064
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE 5	MAGNOLIA KOBUS	KOBUS MAGNOLIA	6CM CAL; 2M HT; B4B
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ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

MINIMUM TREE PLANTING CLEARANCES

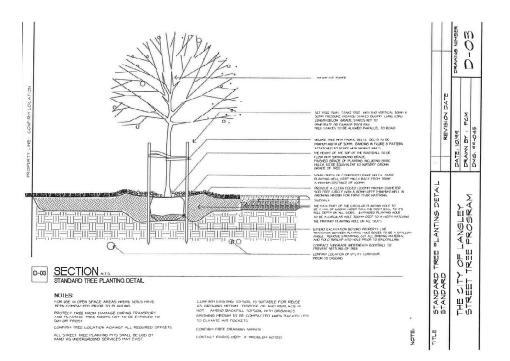
-	Lamp standards	6m	(2
-	Steel/wood hydro poles	3m	(1
-	Regulatory Street Signage (oncoming traffic)	6m	(2
-	Parking meters	0.9m	(:
	und Utilities		

-	Catch Basins	2.0m	(6.
-	Sewer Services	1.5m	(5
-	Utility Mains	0.9m	(3
	Hydrants	1.5m	(5

finimum o	ffset to:		
-	Curb face	0.75m	(2.5)
-	Sidewalk	0.6m	(2.0)
-	Driveway Crossings	1.8m	(6.0)
	Corner 8.0m	(26.01)	
-	Buildings - (may vary according		
	to species)	3.0m	(10.0)
-	Bus Stops - clearance is from		, ,
	curb face	2.0m	(6.5)

DO NOT PLANT TREES

- Under high voltage transmission lines Under existing canopies or overhead signs
- In loading zones, taxi pick up zones, police/emergency access zones.



LANDSCAPE DRAWINGS AND CIVIL DRAWINGS SHALL BE COORDINATED. REFER TO CITY OF LANGLEY'S STREET TREE PROGRAM FOR MATERIALS,

INSTALLATION, PLANTING PROCEDURE AND MAINTENACE

13	28.AV6.23	REV. PER ADP COMMENTS	66/30
12	23.JLJ2	REV. AS PER NEW SITE PLAN	68
Ш	23.JL.05	REV. AS PER CITY COMMENTS	68
ю	23.1005	ISSUE FOR DP	68
4	22.JNU3	ISSUE FOR BP	68
8	2IDECJ3	ISSUE OFF-SITE PLAN	68
7	21.111.01	ISSUE FOR DP	ж
6	MHARID	REVAS PER CITY COMMENTS	DY
5	NJEB28	REVAS PER NEW SITE PLAN	DY
4	IBJEC.20	REV. AS PER ARCH, COMMENTS	JG
3	ID DEC. PR	REVISION AS PER NEW SITE PLAN	36
2	IBNOV.B	ISSUED FOR DP	DY
1	INOKU	PRELIMINARY DESIGN	DY
NO.	DATE	REVISION DESCRIPTION	DR.



MULTI-RESIDENTIAL DEVELOPMENT

19920 & 19970 55A Avenue Langley, BC

DRAWING TITLE:

OFF-SITE PLAN

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DESIGN:	DY	
CHK'D:	мпл	

18 064-17.20 M2LA PROJECT NUMBER:

JOB NO. 18-064



Advisory Design Panel Report

To: Advisory Design Panel

Subject: Development Permit Application DP 07-24

Rezoning Application RZ 06-24

(20815 45A Avenue & 4560-4580 208 Street)

From: Anton Metalnikov, RPP, MCIP File #: 6620.00

Planner

Bylaw #: 3296

Date: October 25, 2024 Doc #:

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Leone Homes Inc. for a 26-unit townhome development at 20815 45A Avenue & 4560-4580 208 Street.

POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Ground Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

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COMMENTS/ANALYSIS:

Background Information:

Applicant: Leone Homes Inc.

Owners: Linda Stewart, Lea-Ann Stewart, Luke

Morrow, Raqiya Khan, Abdul-Rahim Khan, Brenden Boux, Deborah Kellner, Robert

Stare, & Heather Stare

Civic Addresses: 20815 45A Avenue & 4560-4580 208

Street

Legal Description: Lot 109, Section 36, Township 7, New

Westminster District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36, Township 7, New Westminster

District, Plan 85129

Site Area: 4,010 m² (0.99 acres)

Number of Units: 26 townhomes

Gross Floor Area: 4,527.2 m² (48,733 ft²)

Floor Area Ratio: 1.129 Lot Coverage: 43.6%

Total Parking Required: 57 spaces (including 1 h/c space)

Parking Provided:

Resident52 spacesVisitor6 spaces

Total 58 spaces (including 1 h/c space)
OCP Designation: Ground Oriented Residential
Existing Zoning: RS1 Single Family Residential

Proposed Zoning: CD104 Comprehensive Development Zone \$815,170.00 (City - \$303,442.00, GVS&DD - \$214,618.00 GVWD - \$212.006.00 MV

- \$214,618.00, GVWD - \$212,006.00, MV Parks - \$9,528.00, SD35 - \$19,400.00,

TransLink - \$56,176.00)

Community Amenity

Contributions (CACs): \$104,000.00



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

Page 3

Discussion:

1. Context

The applicant is proposing to develop a 26-unit townhome complex on the site of 4 single-detached lots. This site is located in an area of single-detached homes where the properties generally along 208 Street, including the subject site, are designated Ground Oriented Residential in the City's Official Community Plan (OCP). This designation allows for townhome and plex-home development of up to 3 storeys in height and a maximum Floor Area Ratio (FAR) density of 1.2. Policies in the City's Townhome & Plex-Home Best Practices Guide also apply. The Ground Oriented Residential designation was introduced through the OCP to provide a broader range of family-oriented housing options in the neighbourhood and near Uplands Elementary School, improve traffic and pedestrian safety along 208 Street by removing driveways and providing an upgraded streetscape, and align with future frequent transit service. In response to the planned growth in this area and to improve access, a traffic light has recently been installed at the intersection of 208 Street and 45A Avenue, which is being financed by developments in the area, including an existing project under construction across the street and the subject application, should it be approved.



Site context



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

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The site covers the full first row of properties along 208 Street between 45A Avenue to the south and 46 Avenue to the north. Properties across the streets to the west and south share the same Ground Oriented Residential OCP designation, with a 6-unit rowhome project currently under construction to the south. To the east, the site is neighboured by single-detached homes designated Suburban in the OCP, which corresponds to the City's RS1 Single Family Residential Zone. The properties across the street to the north fall within a small gap in the Ground Oriented Residential designation along 208 Street due to their challenging lot pattern and configuration and are also designated Suburban in the OCP. With zoning updates adopted earlier this year to align with 2023 Provincial housing legislation, these Suburban RS1 zoned properties, along with all other RS1 lots in the neighbourhood and City, now also have multi-unit potential at a density of up to 4 dwelling units per lot.

The site is located in a distinctly residential area but has convenient walking connections to key amenities including:

- Two bus lines (directly adjacent);
- Iris Mooney Park (5-minute walk); and
- Uplands Elementary School (5-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Ground Oriented Residential in the City's OCP, which allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Ground Oriented Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Ground Oriented Residential designation.

The application is generally consistent with the City's Townhome & Plex-Home Best Practices Guide, including by incorporating the following features:

- No balconies facing neighbouring Suburban properties;
- Using peaked roofs;
- Upgrading the street frontage;
- Providing one extra visitor parking stall than required;
- Providing new, durable metal fencing for shared property lines;
- Planting 20 new trees on-site and approximately 10 new street boulevard trees, and retaining 25 existing trees (secured by deposit);



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

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- Setting 3-storey townhomes back over 8 metres from adjacent Suburban properties and stepping down to a 2-storey height where closer;
- Achieving a mix of side-by-side (or 'double garage') and tandem parking units, with over 50% being side-by-side (58%); and
- Providing cash in lieu of outdoor amenity for nearby park improvements.

3. Design

The applicant is proposing a 4-block townhome complex that responds to its long, asymmetrical and generally narrow rectangular site with a private drive aisle set on the site's east edge which hosts a row of townhomes fronting the full length of the 208 Street block face in a single-loaded configuration, except for the middle of the site where deeper properties allow for an additional block to be located on the drive aisle's other side. As required by the Townhome & Plex-Home Best Practices Guide, this east block is set back 6 metres from the rear property line. with the 3-storey portion set back further at 8 metres to sensitively transition the massing down to the neighbouring single-detached homes. The development's configuration efficiently absorbs a large 5 metre road dedication and helps distribute vehicle trips by providing multiple routes in and out of the site (on to 46 and 45A Avenues which connect to 208 Street). The site layout also allows for additional visitor parking to be provided (for a total of 6 visitor spaces; 5 spaces are required by Zoning Bylaw) and for a high number of large trees to be retained with the development. The development consists of 11 three-bedroom units and 15 four-bedroom units, and all units have ground-level patios and balconies. The 1.13 FAR density is less than the max.1.2 FAR for the Ground Oriented land use.

The proposed design incorporates a black brick first floor base along the street frontage, with the rest of the elevations using neutral tones in roughly equal proportions and generally vertical modules to add variation, highlight individual units, and break up the blocks. Select building projections help to further articulate the massing, while prominent window frames and siding and board and batten textures provide additional visual interest.

The project's landscaping uses a variety of shrubs, grasses, and perennials to soften the site's edges and separate private patios. Trees of five different species are also provided in these landscaped areas to add a total of 20 new trees onsite. While this total does not reach the one-tree-per-unit guideline in the Best Practices Guide, this results from retaining many of the existing trees adjacent to the site which have large root zones that would conflict with the locations where additional new trees could be planted. Staff supports this landscape design as it meets the intent of the Guide's tree policies. Pavers are used to help highlight the site's entrances and visitor parking spaces. All proposed fencing is metal, including taller near-solid fencing on shared property lines for privacy and shorter



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

Page 6

picket fencing along 208 Street and internal walkways to better engage with the public realm and avoid over-enclosing private yards.

Given the challenging site configuration and proximity to multiple parks, and the aim to maximize visitor parking spaces on-site, a cash amenity contribution in lieu of an on-site outdoor amenity area is to be provided by the applicant to fund nearby park improvements. The retention of existing trees, along with numerous new trees and plantings will also provide a generous amount of on-site greenery.

4. Sustainability

The proposal incorporates the following sustainable development features:

- Using construction techniques that minimize site disturbance and protect air quality;
- Incorporating the use of recycled building materials;
- Achieving an energy performance of 25% above the current Model National Energy Code;
- Incorporating climate-resilient and drought-tolerant plantings served by a central irrigation system with rain sensors;
- Using water conserving toilets; and
- Providing a Level II electric vehicle (EV) charger in every unit.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Summary

The proposed development is consistent with the City's OCP, Development Permit Area guidelines, and Townhome & Plex-Home Best Practices Guide and provides family-oriented homes near transit, parks, and an elementary school.

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

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Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **26-unit Townhouse Development located at 4560-80 208; 20815 45A**.

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

- A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:
 - I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
 - II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to predevelopment levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. *Predevelopment release rates shall not include climate change effect.*
 - III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
 - IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
 - V. At the Developer's expense, the capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's standing hydraulic modeling consultant per DCM 3.8 and 6.5.



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

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- I. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
- II. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per CoL DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
- VII. A property dedication of approximately 5m (+/-) will be required along the 208 St. frontages of the proposed development at 4570, 4560 208 St., and 20815 45A Ave. to provide a new ROW width of 25m on 208 St. dedication amount to be determined by a legal surveyor.
- VIII. A 5m corner truncation at 20815 45A Ave., and a 4m truncation at 4580 208 St. will be required.
- IX. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per the CoL DCM Section 8.21. The proposed development plan and statistics along with the proposed traffic study terms of reference should be forwarded to the City Engineer when ready. Upon acceptance of the terms of reference for the TIA the study must be completed and approved by the City Engineer prior to taking the application to Council. The TIA completion timing must be:
 - a. For OCP Amendment / Rezoning Applications: Prior to Council's first and second readings; and
 - b. For Development Permits (DP): Prior to Council consideration of the application.
- X. The scope and extent of the off-site works be determined in part from the TIA. New sidewalk, barrier curb, gutter will be required along the entire 208 St., 45A Ave., and 46 Ave. frontages, complete with boulevard trees and a planting strip as per the City DCM cross-section SS-SS-R01, SS-R07, and DCM Section 11.0 Specifications and Standards for Landscaping.
- XI. 45A and 46 Aves. will require curb bulges at 208 St. and either side of lane entrances per DCM 8.5.4.
- XII. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

Page 9

overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated by the Developer, at the Developer's expense.

- XIII. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8. The design shall be adequate for MSU trucks as the design vehicle.
- XIV. Existing street lighting along the entire project frontage shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in DCM 9.0. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense. Any existing BC Hydro lease-lights to be removed and disposed of offsite.
- XV. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's 208 St. project frontage by replacing with underground infrastructure. If BC Hydro/Shaw/Telus are unwilling to underground at this time (in writing), pre-ducting for future undergrounding will be required, and the future undergrounding satisfied by a CoL approved C-I-L contribution.

B) The Developer is required to deposit the following bonding and fees:

- I. The Developer will be responsible for a C-I-L contribution toward the recent traffic signal upgrades at the intersection of 208 St. and 45A Ave. Amount to be determined by CoL staff.
- II. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- III. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- IV. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- V. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- VI. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

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and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. The Developer's Consulting Engineer shall perform their periodic Field Reviews, As required by EGBC, and send a copy of the Review to the City Engineer within a week of completion of each Review
- II. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- III. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- IV. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- V. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- VI. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VII. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VIII. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
- IX. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

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X. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.

- XI. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XII. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place for both apparatus and firefighters. A construction fire safety plan shall be completed. A lockbox will need to be provided, location to be determined at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the November 6, 2024 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$303,442.00 to City Development Cost Charge accounts and \$104,000.00 in Community Amenity Contributions.

Cash to be provided in lieu of outdoor amenity space would be based on the properties' latest averaged assessed values at the time the application receives third reading. At current values, the amount would be \$34,286.28.



Subject: Development Permit Application DP 07-24 & Rezoning Application RZ 06-24

Page 12

Prepared by:

Anton Metalnikov, RPP, MCIP

Planner

Concurrence:

Roy M. Beddow, RPP, MCIP

Deputy Director of Development Services

Concurrence:

Carl Johannsen, RPP, MCIP

Director of Development Services

Concurrence:

and Pollon

David Pollock, P.Eng.

Director of Engineering, Parks,

& Environment

Attachments

Concurrence:

Scott Kennedy Fire Chief



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DEVELOPMENT PERMIT APPLICATION DP 07-24 REZONING APPLICATION RZ 06-24

Civic Addresses: 20815 45A Avenue & 4560-4580 208 Street

Lot 109, Section 36, Township 7, New Westminster Legal Description:

District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36,

Township 7, New Westminster District, Plan 85129

Applicant: Leone Homes Inc.

Owners: Linda Stewart, Lea-Ann Stewart, Luke Morrow, Raqiya Khan, Abdul-Rahim Khan, Brenden Boux,

Deborah Kellner, Robert Stare, & Heather Stare

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26 UNIT TOWNHOUSE DEVELOPMENT

4560,4570,4580, 208 STREET & 20815, 45A AVENUE, LANGLEY



CONTACT LIST:

DEVELOPER:

LEONE HOMES INC. 238-13986 CAMBIE ROAD TEL: 604 418 8678 EMAIL ; dennis@leonehomes.ca

CPTED CONSULTANT:

AMR SYSTEMS LTD. 201-45269

KEITH WILSON ROAD CHILLIWACK B.C. V2R 5S1 TEL: 604 402 0031 EMAIL : kim@amrsystems.ca

ARCHITECT :

F. ADAB ARCHITECTS INC. 130 - 1000 ROOSEVELT CRESCENT NORTH VANCOUVER, B.C. V7P 3R4

EMAIL: azar@multigonfadab.com

ACOUSTIC CONSULTANT:

RPOWN STRACHAN 1290 HOMER STREET

VANCOUVER, B.C. V6B 2Y5 TEL - 604 669 5711 EMAIL : baa@brownstrachen.com

SURVEYOR:

SOUTH FRASER LAND SURVEYING LTD. 202-19292 60TH AVE

TEL - 604 599 1886 EMAIL: Dennis@southfrasersurvey.ca

ARBORIST:

KLIMO & ASSOCIATES LTD. 114 - 4300 N. FRASER WAY BURNABY, B.C. V5J 5J8

4 - 15243, 91 AVENUE. TEL: 804 358 5582 EMAIL: klimofrancis@gmail.com

CIVIL ENGINEER:

CENTRAS ENGINEERING LTD 216-2630 CROYDON DR. SURREY, B.C. V3S 6T3

TEL: 604 782 6927 EMAIL: anthony@centras.ca

MECHANICAL:

MEC ENGINEERING CONSULTING LTD.

SURREY, B.C. V3R 8P8 TEL: 004 581 0338 EMAIL : nav.brar@mecengineering.ca

LANDSCAPE ARCHITECT:

PMG LANDSCAPE ARCHITECS C100-4185 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G9

TEL: 604 294 0011 FAX: 604 294 0022 EMAIL: Yiwen@pmglandscape.com

ELECTRICAL:

LEADING ENGINEERING 211 - 13030 LINCOLN AVENUE COQUITLAM, B.C. V3B 6B4 TEL: 804 409 2380 EMAIL: mike@leadingong.ca

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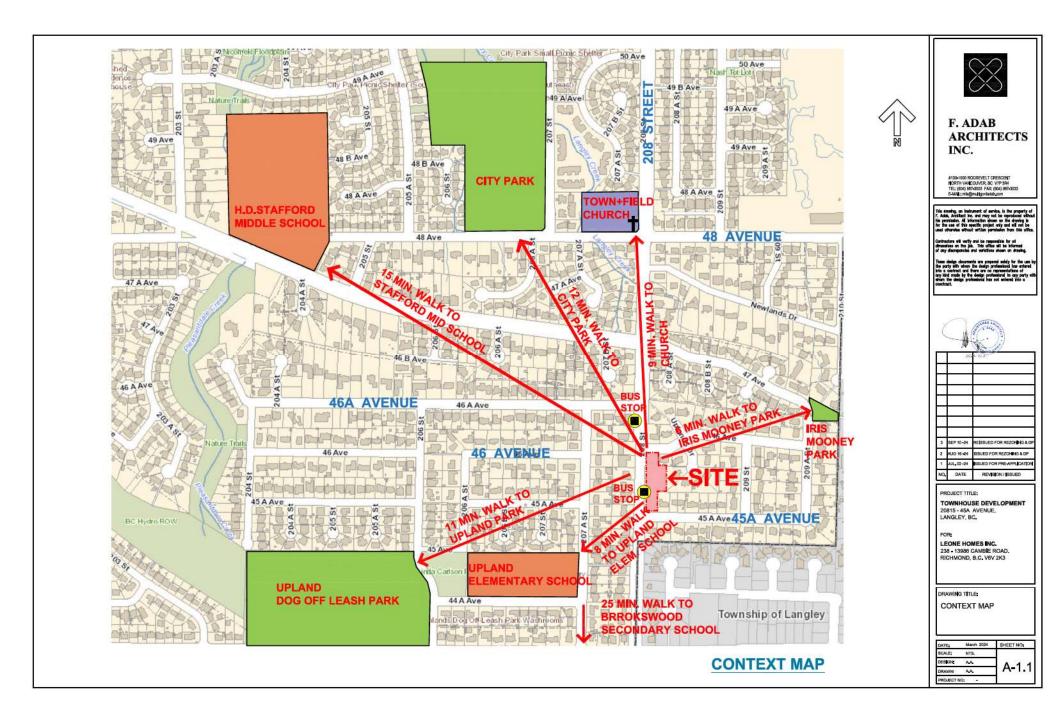
PROJECT TITLE: TOWNHOUSE DEVELOPMENT 20615 - 45A AVENUE, LANGLEY, BG.

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD, RICHMOND, B.C. V6V 2K3

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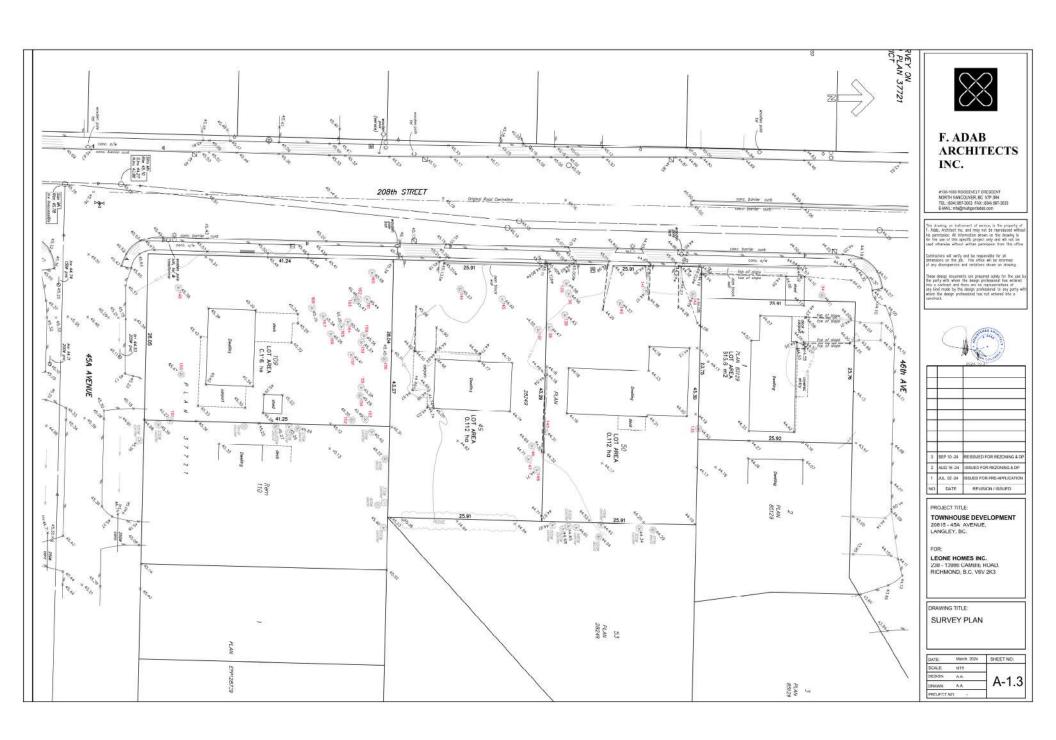
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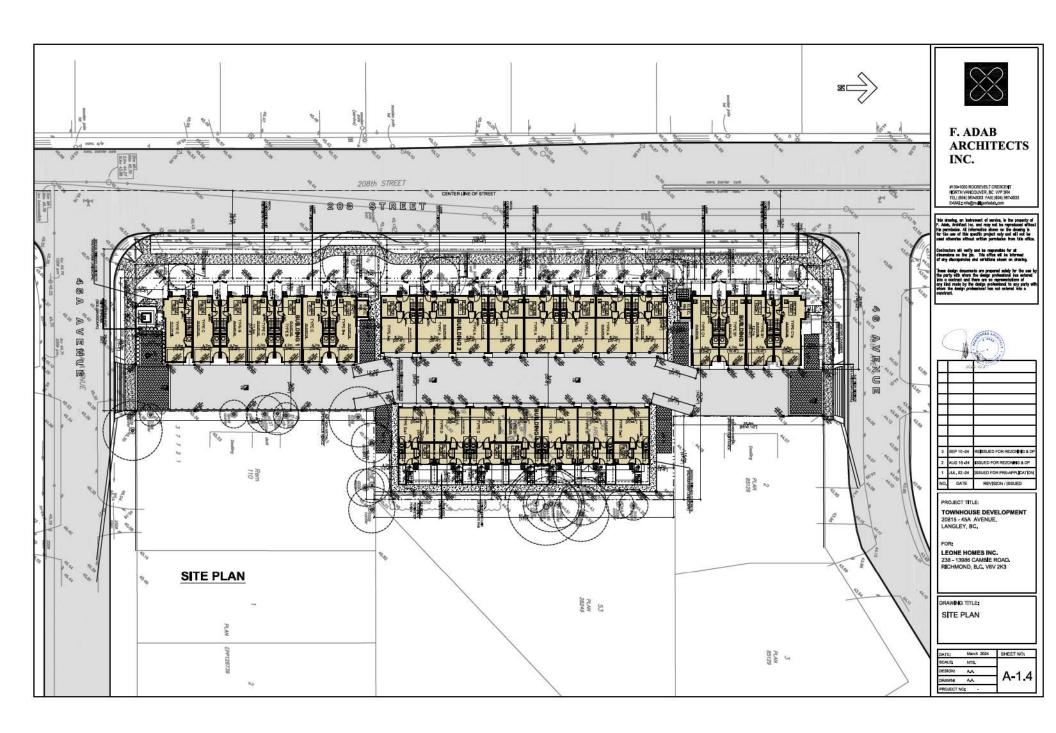
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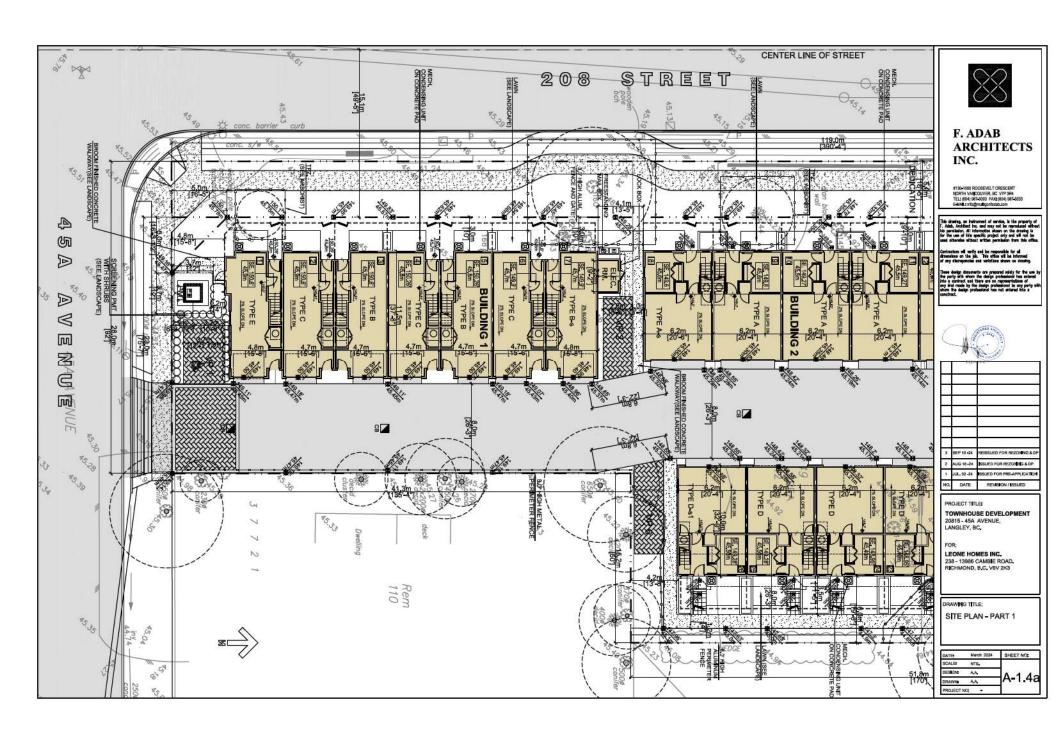
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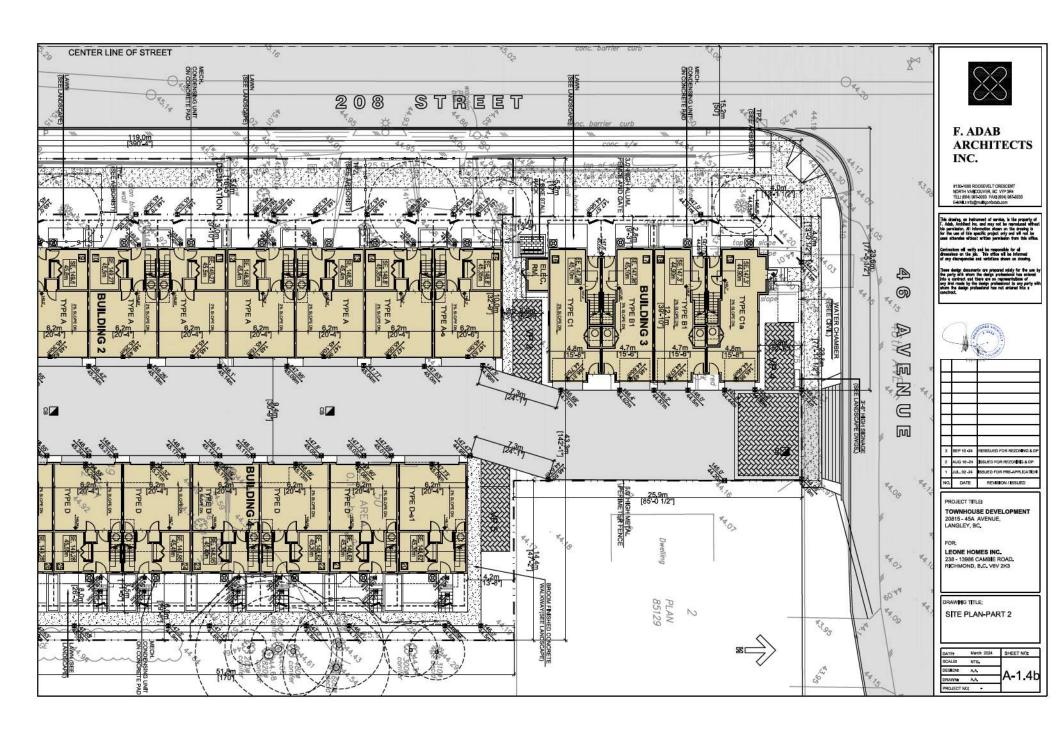
AERIAL MAP AND CONTEXT PHOTOS

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STATISTICS:

CIVIC ADDRESS:

4560, 4570, 4580, 208 STREET & 20815, 45A AVENUE, LANGLEY, BC.

LEGAL DESCRIPTION:

LOT 1, PLAN 85129, LOTS 49 & 50, PLAN 28249, LOT 109, PLAN 37721, SECTION 36, TOWNSHIP 7, NEW WESTMINSTER DISTRICT

ZONING:

EXISTING: RS1 PROPOSED: CD

SITE AREA:

BEFORE DEDICATION: 0.40 HA. = 0.99 ACRE

43,164 SQ.FT = 4,010 m²

AFTER DEDICATION: 37,773 SQ.FT. = 3509 m²

0.35 HA. = 0.86 ACRE

DEDICATIONS:

(5M = 16'-5" DEDICATION ALONG 208 STREET, 4M,X4M, TRIANGLE CORNER CUT AT NORTH-WEST & 5M,X5M, TRIANGLE CORNER CUT AT SOUTH-WEST)

GROSS FLOOR AREA :

BUILDING 1 : 12285 SQ.FT. 1141.2 M²
BUILDING 2 : 15956 SQ.FT. 1482.3 M²
BUILDING 3 : 7582 SQ.FT. 704.4 M²
BUILDING 4 : 12910 SQ.FT. 1199.3 M²

TOTAL AREA : 48733 SQ.FT. = 4527.2 m²

FSR:

(PRIOR TO ROAD DEDICATION)

ALLOWED: MAX. 1.200 PROVIDED: 48733 / 43164 = 1.13

FSR:

(AFTER ROAD DEDICATION) ALLOWED: MAX. 1,200

PROVIDED: 36601/37773 = 0.968

DENSITY:

PROVIDED: 26 UNIT / 0.99 ACRE: 30.2 UNIT / ACRE

74.2 UNIT / HA.

UNIT MIX:

SIDE BY SIDE CAR UNITS: 15 (INCLUDING 7 UNITS WITH 2-1/2 STOREY)

TANDEM UNITS : 11 TOTAL NO. OF UNITS : 26

SITE COVERAGE:

ALLOWED: MAX 45% PROPOSED: 43.6% (1582 SQM.) PARKING:

2 / UNIT: 52 VISITORS

REQUIRED: 0.2 TOTAL UNITS 0.2 X 26 = 5.2

PROVIDED: 6 (INCLUDING 1 ACCESSIBLE)

VISITOR BIKE RACK: 6

SITE SETBACKS:

REQUIRED & PROVIDED:

NORTH: 3.0 M. (10.0') WEST: 3.0 M. (10.0') SOUTH: 3.0 M. (10.0')

EAST : 6.0M.(FOR 1ST & 2ND FLOORS) 8.0M. (FOR 3RD FLOOR)

			UNIT	MIX		
UNET TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (INC. GARAGE) (SQ.FT.)	AREA (EXC. GARAGE) (BQ.FT.)	TOTAL AREA (INC. GARAGE) (BOLFT.)	TOTAL AREA (EXC, GARAGE) (SQ.FT.)
A	4	6	1967	1555	11802	9330
A-s	4	2	2076	1884	4152	3328
В	3	2	1752	1294	3504	2588
B1	3	2	1841	1352	3582	2704
B-s	3	1	1823	1359	1823	1359
С	3	3	1709	1251	5127	3753
C1	3	1	1935	1439	1935	1439
C1a	3	1	1964	1439	1964	1439
D	4	5	1835	1423	9175	7115
D-s1	4	2	1882	1450	3724	2900
E	3	1	1845	1368	1845	1368
TOTAL	8	26			48733	37323

CODE ANALYSIS

1.0 PROJECT DESCRIPTION

The proposed development is planned for a site bounded by 208 Street on the west, 45A Avenue on the south and 46 Avenue on the north. The project will consist of 4 buildings containing:

- Building 1: 7 units with two tandem parking garage

- Building 2; 8 units with two side by side parking garage

- Building 3: 4 units with two tandem parking garage

- Building 4: 7 units with two side by side parking garage

2.0 BUILDING CLASSIFICATION

This project may be considered under part 9 of the 2024 BCBC. Since all four buildings are within 600 m² maximum building area and 3 storey height limit allowed under part 9.

The buildings have the characteristics shown in the following table:

CODE CLASSIFICATION SUMMARY

Building	Building area (m²)	No. of Soreys	Occupancy	Classification
1	388	3	С	Table 9.10.8.1
2	516	3	C	Table 9.10.8.1
3	247	3	C	Table 9.10.8.1
4	438	3	C	Table 9.10.8.1

2.1 Building Classification Details

2.1.1. There are no storeys below ground

2.1.2. Storeys above ground (see 4.0 "Fire Separation")

- Combustible construction is allowed (Table 9.10.8.1)
- Floor assemblies to have min. 45 minute F.R.R. (Table 9.10.8.1)
- Roof assemblies to have min. 60 minute F.R.R. (Table 9.10.8.1)
- Floor rating not required (Table 9.10.8.1)

3.0 FIRE FIGHTING ACCESS

3.1 Unobstructed path of travel requirements

Part 9 Is not specific about the fire department access requirements.

Part 3 is more specific about fire fighters' path of travel and is used as a guide

4.0 FIRE SEPARATIONS

Party walls: 1 hour: 9.10.9.14(3)

Floor within suites are not required to be fire separations or to have a fire resistance rating. Roofs are required to have 1 hr. fire resistance rating

5.0 SPATIAL SEPARATIONS AND UNPROTECTED OPENING

Spatlal separation and amount of unprotected openings have been reviewed by, for each building on sheets A-3.1 and A-3.2 building elevations.

6.0 FIRE ALARM SYSTEM

A fire alarm system is not required for this type of Part 9 residential occupancy where each sulte has direct access to an exterior exit door at grade, as per 9.10.18.2,(5)

Article 9.10.1.3.(8) requires sprinklers to be installed according to certain Part 3 requirements.

Sprinkler system shall be designed in conformance with Articles 3.2.5.8 to 3.2.5.11 and 3.2.5.17 (which refer only to the sprinkler system and not to fire alarms). Therefore no fire alarm system will be provided.

7.0 SPRINKLER SYSTEM

The project will be sprinklered

8.0 EGRESS

Egress from suites conforms to Sentence 9.9.9.1.(2)

9.0 REQUIREMENTS FOR PERSONS WITH DISABILITIES

The buildings are not required to be accessible.



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PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

FORE

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V8V 2K3

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FOR: LEONE HOMES INC. 238 – 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

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BUILDING 2 PERSPECTIVE VIEW FROM 208 STREET

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BUILDING 3 NORTH ELEVATION



BUILDING 1 WEST ELEVATION



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TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

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DRAWING TITLE:

BUILDINGS 1 AND 3 COLORED ELEVATIONS

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BUILDING 3 WEST ELEVATION



BUILDING 4 WEST ELEVATION



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TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

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BUILDINGS 3 AND 4 COLORED ELEVATIONS

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Design Rationale

20815, 45A Avenue, Langley, BC.

Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 26-unit townhome development at 20815, 45A Avenue & 4560, 4570, 4580 - 208 Street, Langley,

The project consists of 19 four-bedroom and 7 three-bedroom units. The four bedroom units have side-by-side garages and three bedroom units have tandem parking.

The areas of each unit are specified in the unit mix schedule and are all family oriented accommodations.

Site Characteristics, History, and Context

This development proposal would occupy four single family lots facing 208 Street to the west, 45A Avenue to the south, and 46 Avenue to the north.

There is a 5.0-meter dedication along 208 Street. There is also a 4.0m x 4.0m corner cut on the north-west and a 5.0m x 5.0m corner cut on the south-west.

The proposed development seeks rezonling from RS1 to CD (Townhouse) and consists of four bullding blocks.

The buildings follow the existing grade elevations and responds to natural topography of the site.

Zoning, Orientation

The building orientation responds to the size and shape of the site. 19 units are facing 208 Street and have pedestrian access off this street. One unit has a presence on 208 Street and 45A Avenue, Similarly, the end unit to the north has a presence on 46 Avenue as well as on 208 Street,

Low aluminum fences and gates are introduced along the street providing a safe and pleasant pedestrian route to the entries of the units.

Vehlcular access is provided through an eight-meter internal road running from 45A Avenue to 46 Avenue.

Massing, Form, and Character

The building design is influenced by Georgian style architecture and along with the finishing materials stands out differently from the other townhouse developments in the City of Langley.

Architectural articulations and decorative character introduce a harmonized linear form with a simple combination of Georgian style and West Coast character.

Entries are identifiable with Individual gables and brackets.

The height and massing are reduced on Building 4 facing east neighbouring properties. By cutting the building back a introducing a mid roof the building gives an impression of a 2-1/2 storey on the east side.

Articulations and variations in window sizes enrich the style and character of the design and help defining the Georgian style.



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PROJECT TITLES TOWNHOUSE DEVELOPMENT

20815 - 45A AVENUE LANGLEY, BC.

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DRAWING TITLES

DESIGN RATIONALE SITE, ZONING, ORIENTATION. MASSING.FORM AND CHARACTER

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Livability, Energy Saving and Green Measures

The site is located in proximity to public amenities and transportation network.

Below are the public amenities that are within walking distance of the site:

- 1- 9 minutes walk to Town + Field Church
- 2- 12 minutes walk to City Park
- 3- 15 minutes walk to the Stafford Middle School
- 4- 8 minutes walk to Iris Mooney Park
- 5- 8 minutes walk to Upland Elementary School
- 6- 11 minutes walk to Upland Park
- 7- 25 minutes walk to Brookswood Secondary School

Many green building strategies have been incorporated into the project design including the following items:

- The building envelope, glazing, and mechanical system are designed to meet the step 3 code requirements, Comply with the 2024 code and in compliance with ASHRAE 90, 2010
- · Low emission adhesives paint and flooring will be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used minimizing the use of potable water
- All units have private patios at grade and decks on the 2nd floor contributing to the livability of the units and creating a family oriented environment
- The water consumption strategy will be used through the use of an alternate solution for the sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- The mechanical system is equipped with a heat pump system providing both cool and hot air. Also a heat recovery system 'HRV" will be provided for
 recycling the heat energy.
- · All garages are equipped with electric chargers.



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LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DESIGN RATIONALE LIVABILITY, ENERGY SAVING AND GREEN MEASURES

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Crime Prevention Through Environmental Design. "CPTED"

The rationale behind the CPTED strategy takes into account standard measures as well as items specifically related to this proposal. These provisions are aimed to enhance safety and strengthen the perception of security.

The firm of AMR SYSTEMS LTD. is hired to study the CPTED strategy for the site and their study and report has been reviewed by the architect and the landscape designer and their recommendation are incorporated in the design.

The proposed CPTED measure falls into the following categories:

Provision of identifiable territoriality
Provision of natural surveillance
Defining the hierarchy of space
Provision of access and perimeter control

- The windows and balconies along 208 Street, 45A Avenue and 46 Avenue, ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the townhouse entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by a photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The Access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure resident's control. The Strata Corporation should implement a maintenance manual.



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PROJECT TITLE:

TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR: LEONE HOMES INC. 238 – 13986 CAMBIE ROAD. RICHMOND, B.C., V6V 2K3

DESIGN RATIONALE

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Exterior Finishes and Colour

The selection of the exterior finishes has been based on the enhanced durability/longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on richer urban elements. Brick is the main finish on base of the buildings. Board & batten is introduced on the projected bays with two contrast colors. Black panels combined with black vinyl windows in order to emphasize on vertical elements on bays. 4" lap siding is also provided with warm beige color between the bays. Natural maple wood is used under the entry gables and brackets.

No vinyl material is introduced on any facades of the buildings.

The colours are selected with emphasis on black brick, black and white board & batten, black panels and windows and the natural maple wood colour in selected areas.



BUILDING 1 WEST ELEVATION

EXTERIOR FINISH COLOUR SCHEME



ASPHALT SHINGLE ROOF:
MOUNTAIN SLATE BY IKO ROYAL ESTATE



2 BRICK ONYX IRONSPOT - BY I.X.L.



3 HARDIE SIDING WEATHERED CLIFF-BY JAMES HARDIE MAGNOLIA COLLECTION



4 HARDIE PANELS, FASCIAS & TRIMS SW 6258 TRICORN BLACK -BY SHERWIN WILLIAMS (251)



5 6" TRIMS, BAND BOARDS & BRACKETS -NATURAL MAPLE WOOD



6 HARDIE BOARD & BATTEN : SW 7005 PURE WHITE-BY SHERWIN WILLIAMS



HARDIE BOARD & BATTEN:
SW 7069 IRON OREBY SHERWIN WILLIAMS



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PRE-APPLICATION	BSUED FOR F	JUL 02 424	1
N/ISSUED	REVISION	DATE	NO.

PROJECT TITLE: TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

FOR

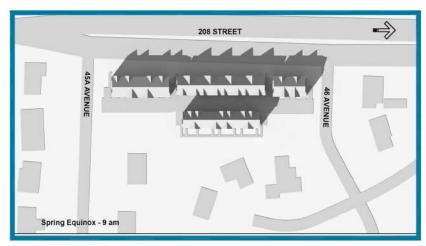
LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

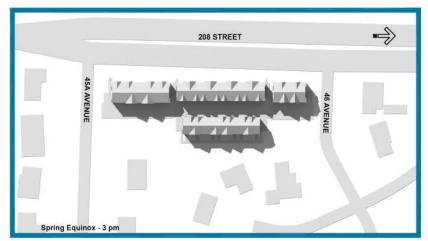
EXTERIOR FINISHES

DATES	Merch 2024	SHEET NO:
SCALE:	N/A	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
DESIGN	AA	1 1 1 1 1
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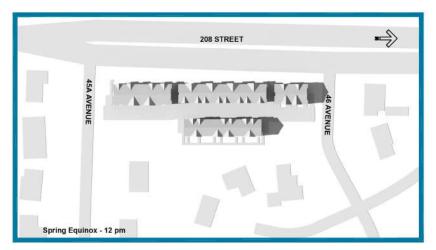
SHADOW ANALYSIS



MARCH 21 - 9 AM



MARCH 21 - 3 PM



MARCH 21 - 12 PM



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT ORESCENT NORTH VANCOUVER, BC V7P SM TEL=(604) 987-3003 FAX: (604) 987-3033 E-MAIL mfs@mulliporfacksb.com

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Contractors will verify and be responsible for all dimensions on the job. This office will be informed

These design documents are proported solely for the use if the party with whom the design professional has schered into a contract and there are no representations of any likel mode by the design professional to any party with when the design professional loss not arriand into a



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3	SEP 10-24	RESSUED FOR REZURNIG & DE
2	AUG 16-24	ISSUED FOR REZORING & DP
1	JUL 02 -24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 20816 - 45A AVENUE, LANGLEY, BC.

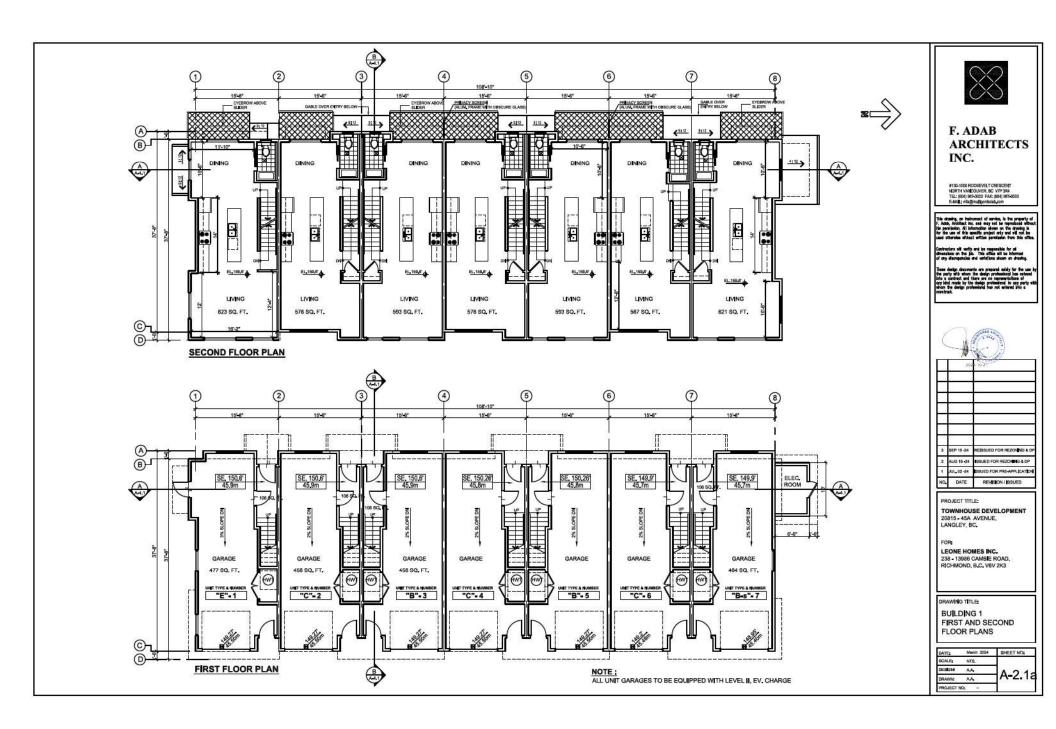
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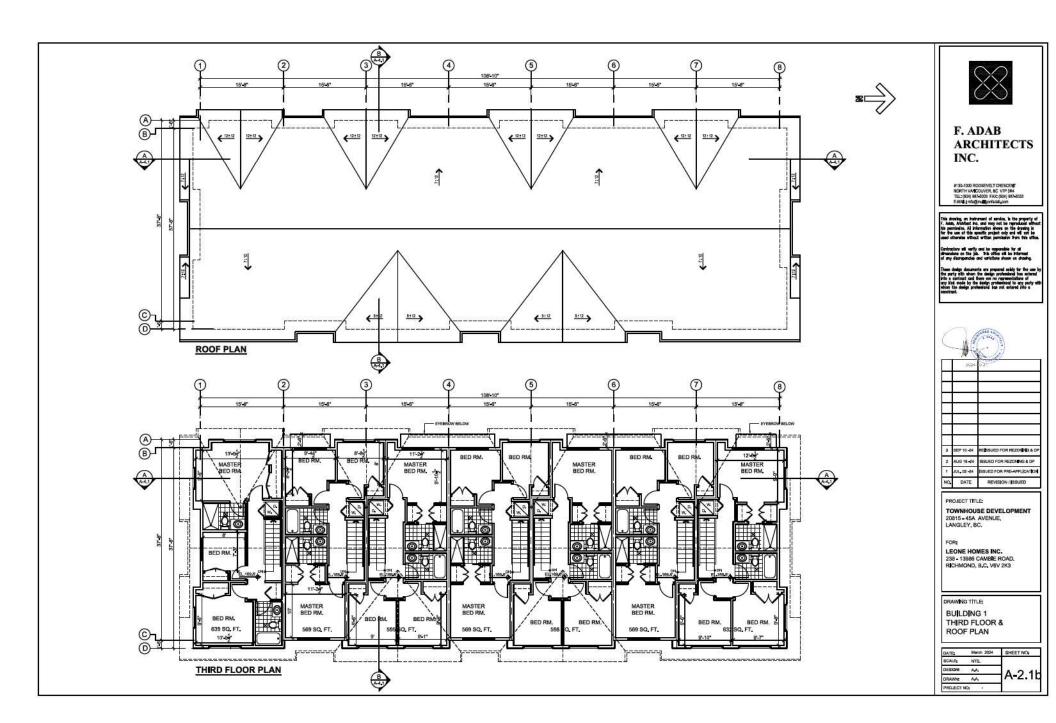
LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

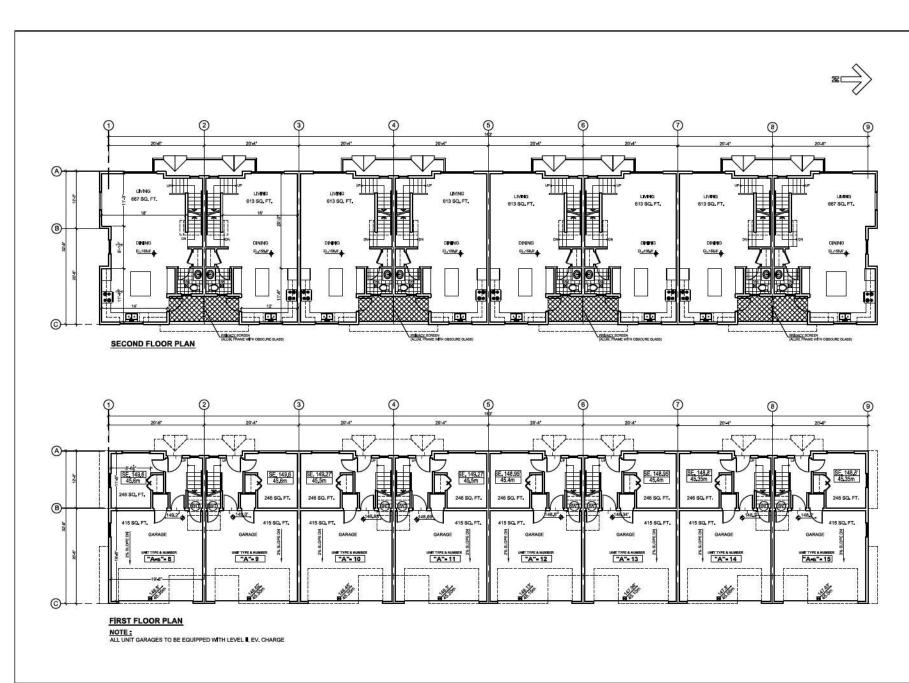
DRAWING TITLE:

SHADOW ANALYSIS

DATE	Merch 2024	SHEET NO:
SCALE:	N/A	
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F. ADAB ARCHITECTS INC.

ISO-1000 ROOSEVELT CRESCENT ORTH VANCOUVER, BC V7P 3R4 EL: (604) 367-3003 FAX: (604) 367-3033 MAIL: mis@mstanniedsb.com

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intractors will verify and be responsible for all manalons on the job. This office will be informed

These design documents are prepared existy for the use to the party with when the design professional has entered the a contract and there are no representations of early liked mode by the design professional to say party wit when the design professional has not external into a construct.



PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

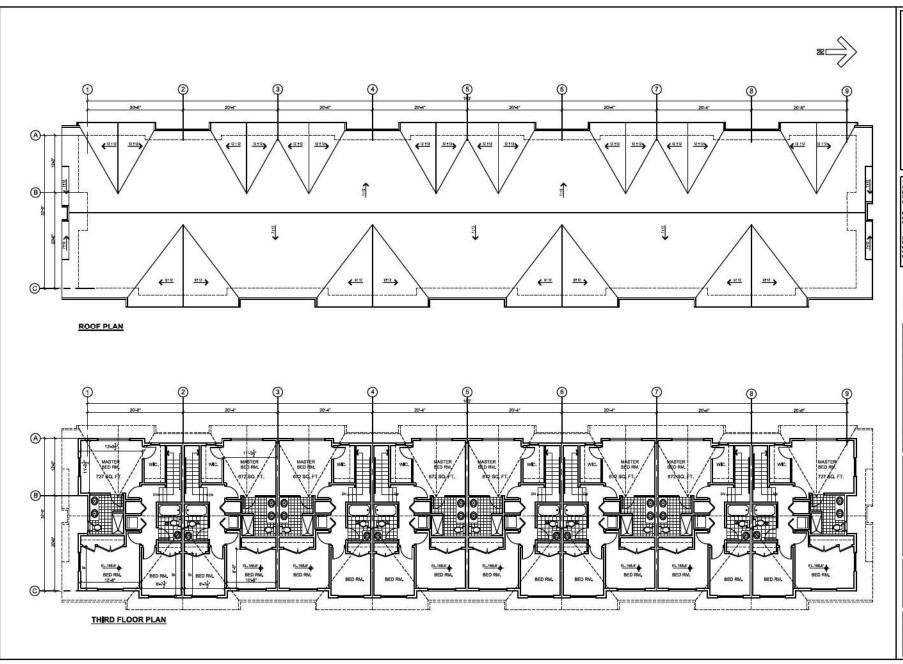
FOR:

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DRAWING TITLE:

BUILDING 2 FIRST & SECOND FLOOR PLANS

DATE	Sep 2021	SHEET NO:
SCALE:	NTS.	U
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F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT HORTH WANCOUVER, BC V7P 3RM TEL: (604) 387-3033 FAX: (604) 567-3033 E-MAL: mls@mstigonfedsb.com

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Contractors will writy and be responsible for all dimensions on the job. This office will be informed

Trace design documents are prepared solely for the use the party with when the design professional loss ordered that a contract and three are no representations of any land made by the design professional to any party or whom the design professional has not extend into a construct.



PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

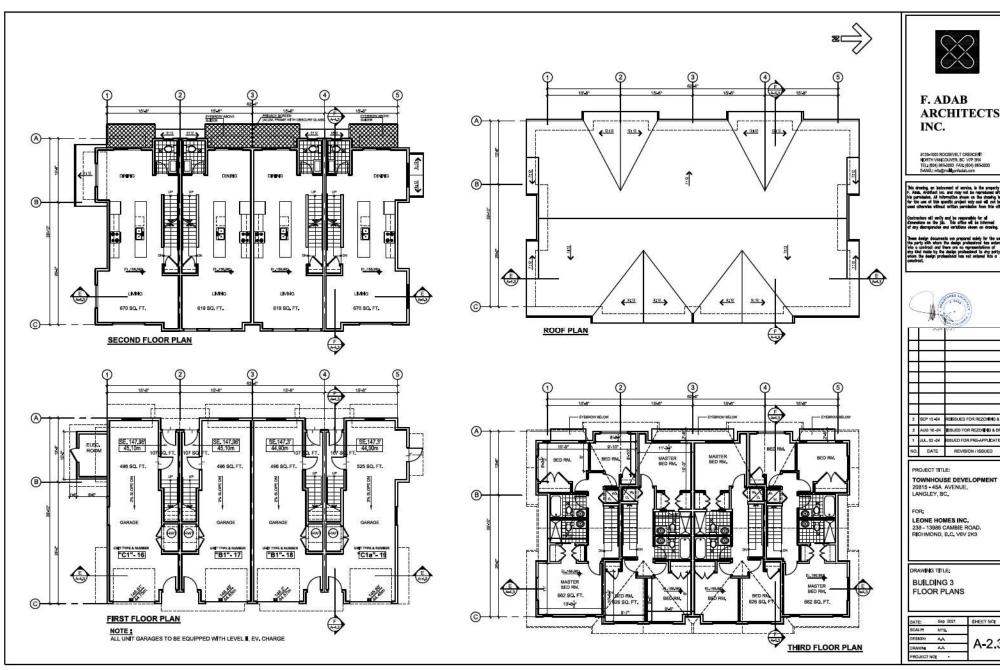
FOR:

LEONE HOMES INC, 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

BUILDING 2 THIRD FLOOR &

ROOF PLAN			
ATE	Merch 2024	SHEET	
CALE	NTS.		

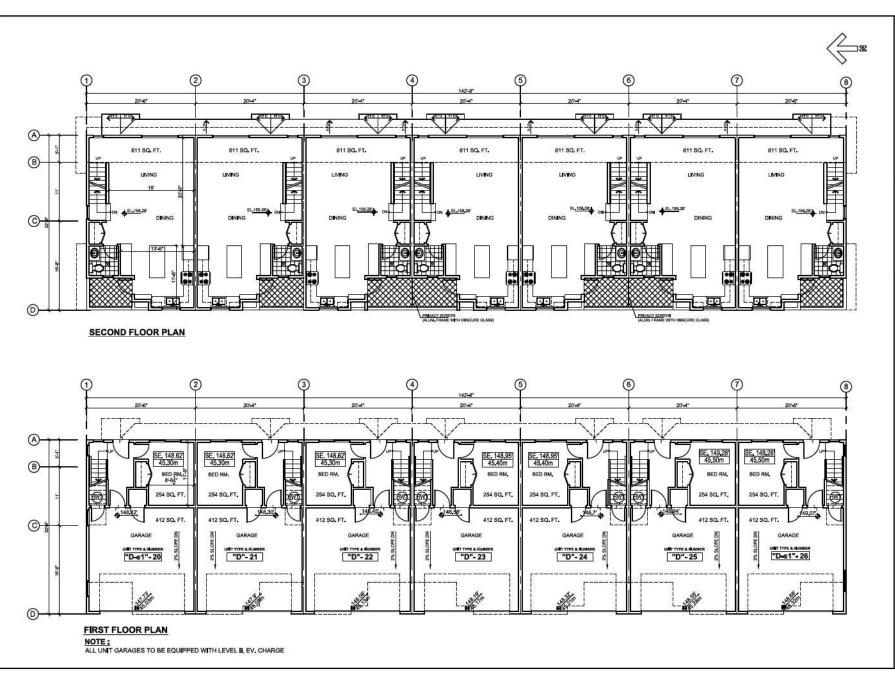
DATE	March 2024	SHEET NO:
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ARCHITECTS

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3	SEP 10-24	RESSUED FOR REZONING & DF
2	AUG 18-24	ESUED FOR REZONNO & DP
1	JUL. 02 -24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

DATE:	Sep 2021	SHEET NO.
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#130-1000 ROOSEVELT CRESCENT HORTH VANCOUVER, BC V7P 3NI TEL: (804) 387-3003 FAX: (804) 567-3033 E-MAIL: mls@ms8lgonfadsb.com

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Contractors will writy and be responsible for all dimensions on the job. This office will be informed

These design documents are prepared existy for the use to the party with when the design professional has entered the a contract and there are no representations of early liked mode by the design professional to say party wit when the design professional has not external into a construct.



PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 20315 - 45A AVENUE, LANGLEY, BC.

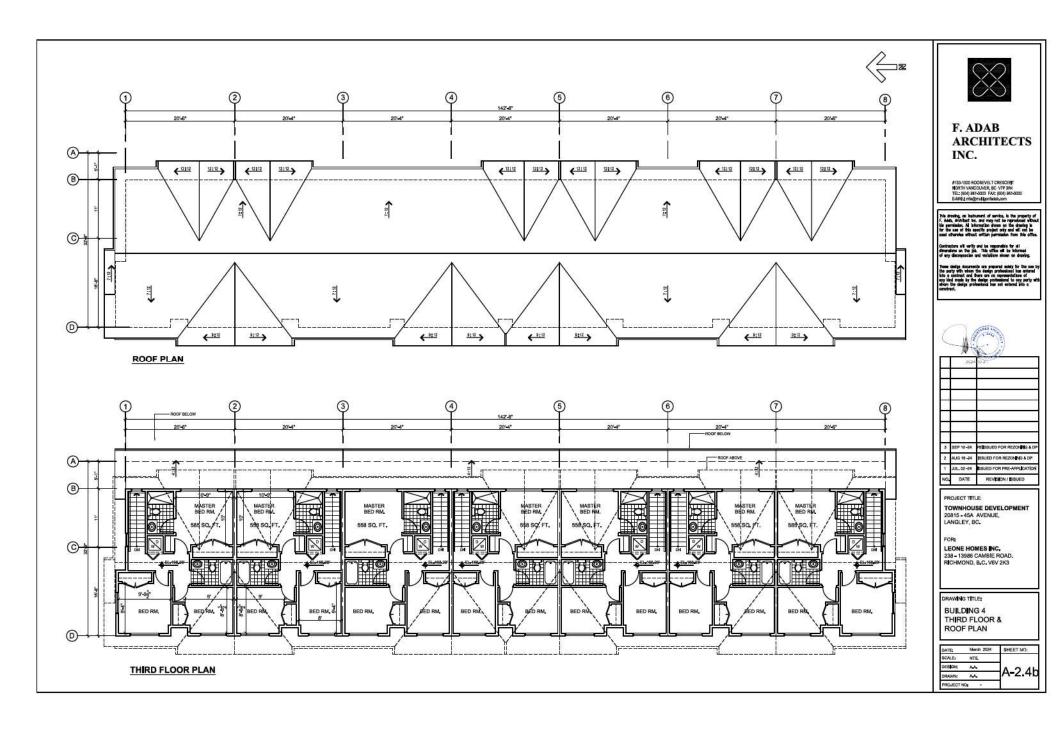
OR:

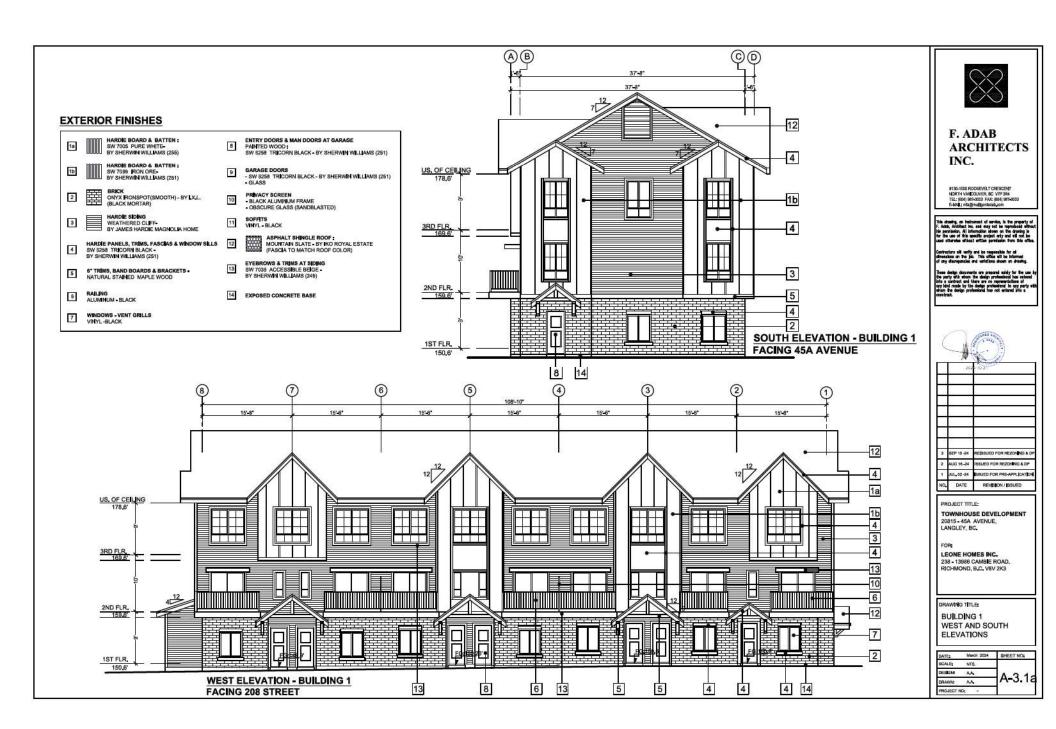
LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

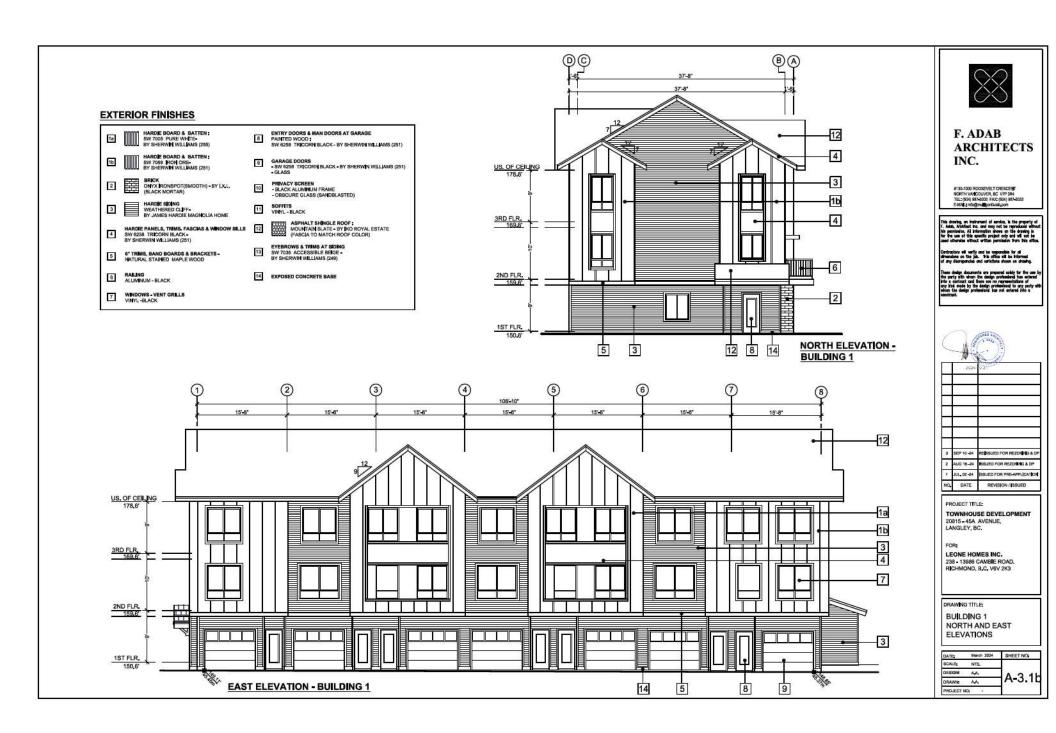
DRAWING TITLE:
BUILDING 4

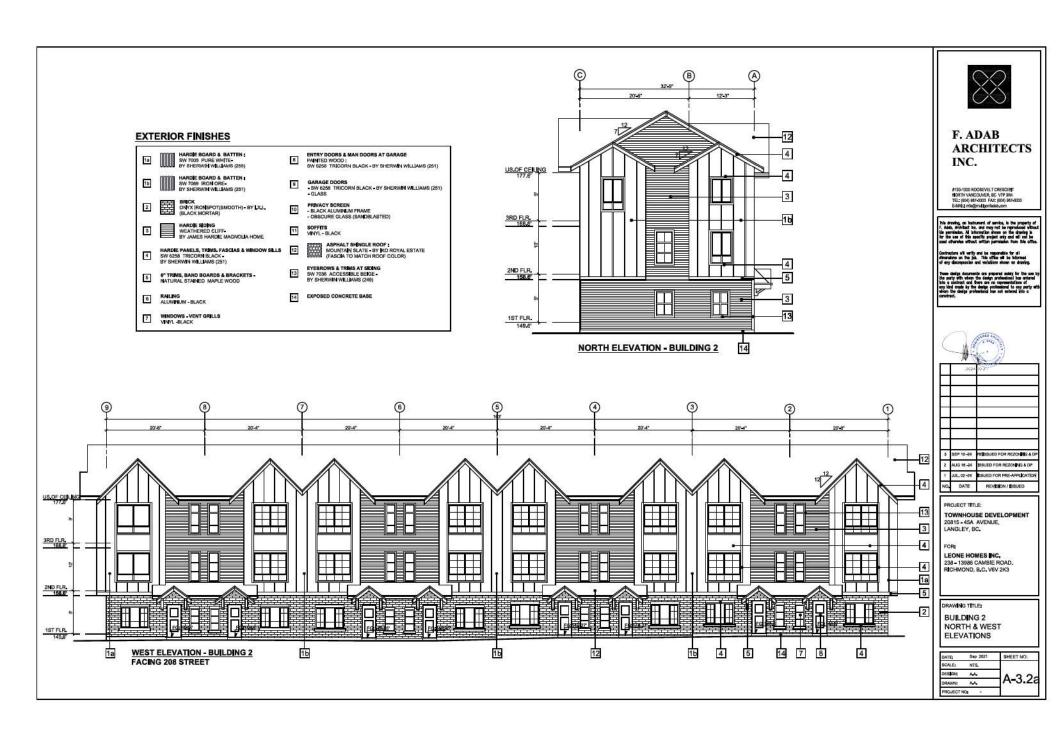
FIRST & SECOND FLOOR PLANS

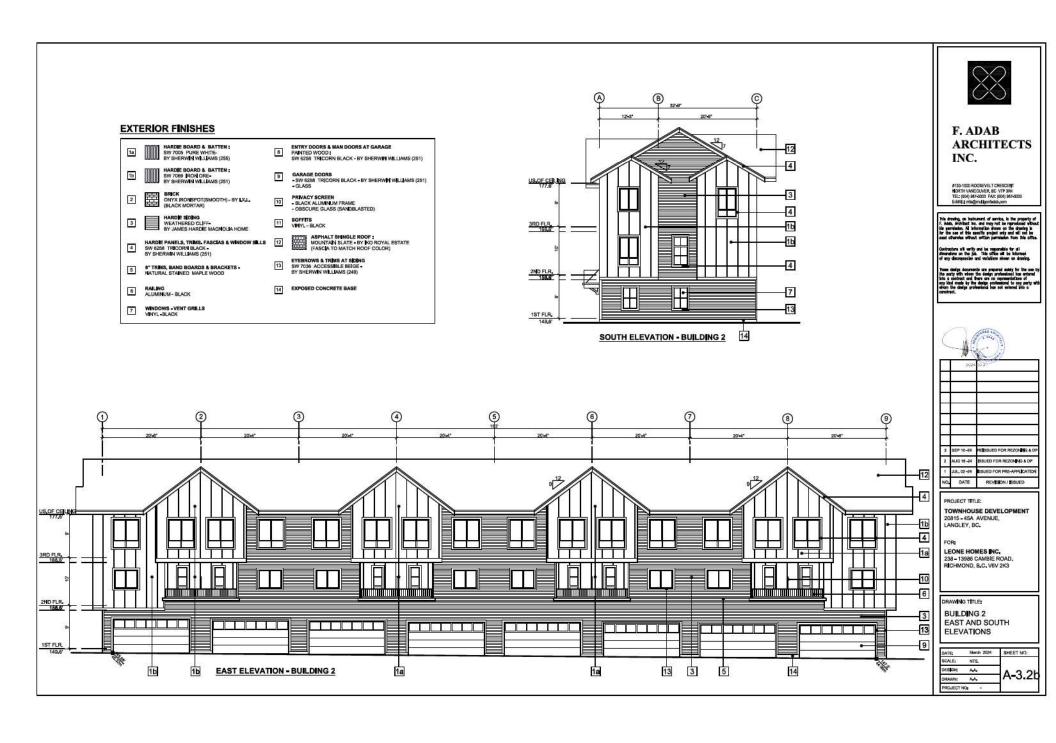
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PROJECTIN	itte -		















11 SOFFITS VINYL - BLACK

ASPHALT SHINGLE ROOF:
MOUNTAIN SLATE - BY IKO ROYAL ESTATE
(FASCIA TO MATCH ROOF COLOR)

EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE -BY SHERWIN WILLIAMS (249)

14 EXPOSED CONCRETE BASE

3 HARDIE SIDING
WEATHERED CLIFFBY JAMES HARDIE MAGNOLIA HOME

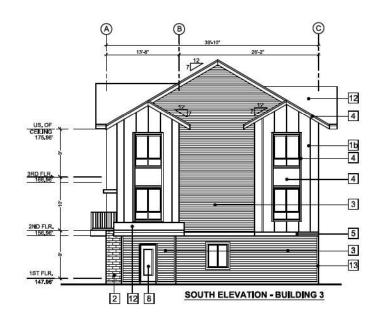
HARDIE PANELS, TRIMS, FASCIAS & WINDOW SELS SW 6258 TRICORN BLACK -BY SHERWIN WILLIAMS (251)

6" TRIMS, BAND BOARDS & BRACKETS -NATURAL STAINED MAPLE WOOD

6 ALUMINUM - BLACK

7 WINDOWS - VENT GRILLS VINYL -BLACK









F. ADAB ARCHITECTS INC.

#190-1000 RODGEVELT CRESCENT NORTH VANCOUVER, SC V7P-3R4 TEL: (804) 587-3003 FAX: (804) 587-3033 E-MAR; mla@muttgenlassb.com

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These design documents are prepared solely for the use the party with whom the design professional has estimate into a contract and there are nepresentations of cary laint mode by the design professional to cary party a sharm the design professional has not entered into a construct.



PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

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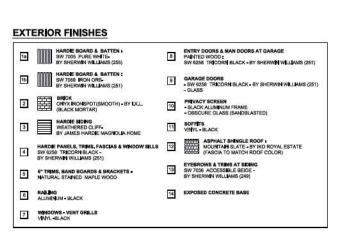
LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

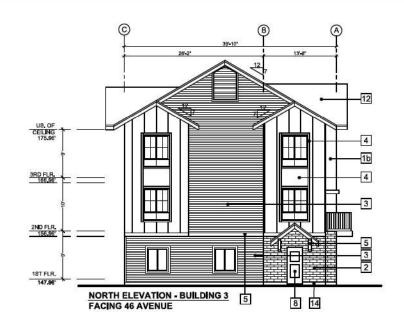
DRAWING TITLE: BUILDING 3

SOUTH & WEST ELEVATIONS

DATE: March 2024 SHEE

DATES	March 2024	SHEET NO:
SCALE:	NTS.	
DESIGN	A.A.	1 1 2 2 -
DRAWN	AA	A-3.38
PROJECT 6	in: -	









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#130-1000 RODSEVELT CRESCENT : NORTH VANCOUVER, BC V7P 3R4 TEL: (804) 987-3003 FAX: (804) 987-3033 E-MAE; mta@muttgonladeb.com

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Contractors will wortly and be responsible for all dimensions on the job. This office will be informed of your disconnection and worldfloor whom on disconne

These design documents are prepared solidy for the use the party with whom the design professional has estimated into a contract and there are nepresentations of cary laint mode by the design professional to cary party a sharm the design professional has not entered into a construct.



PROJECT TITLE:

TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

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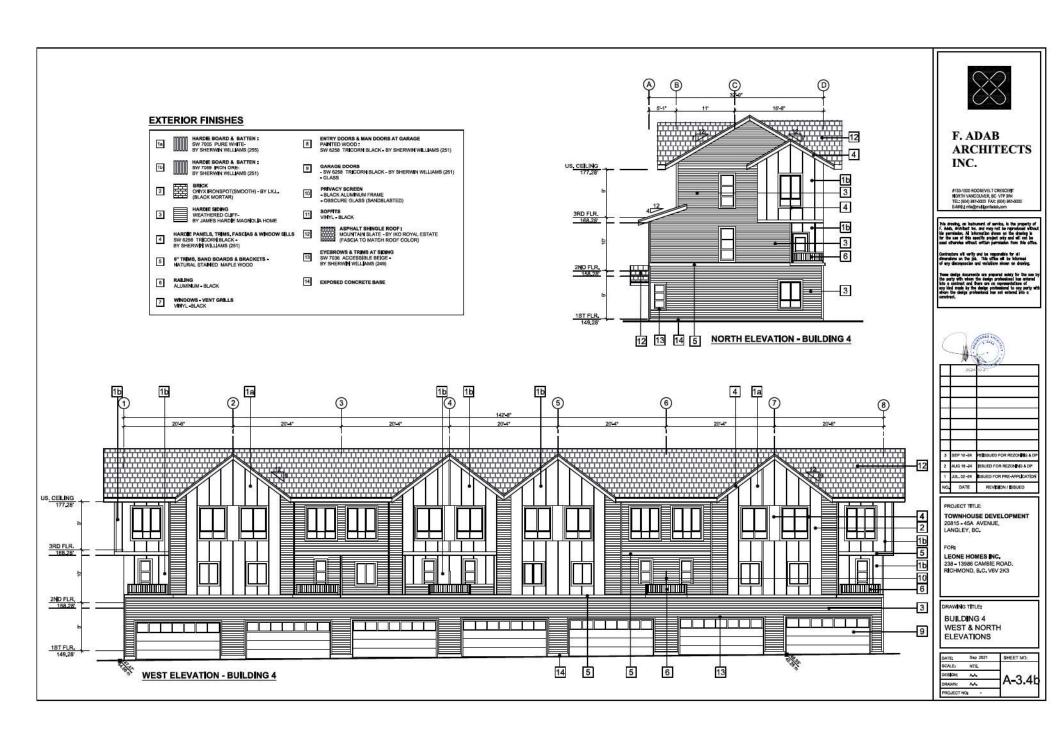
LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

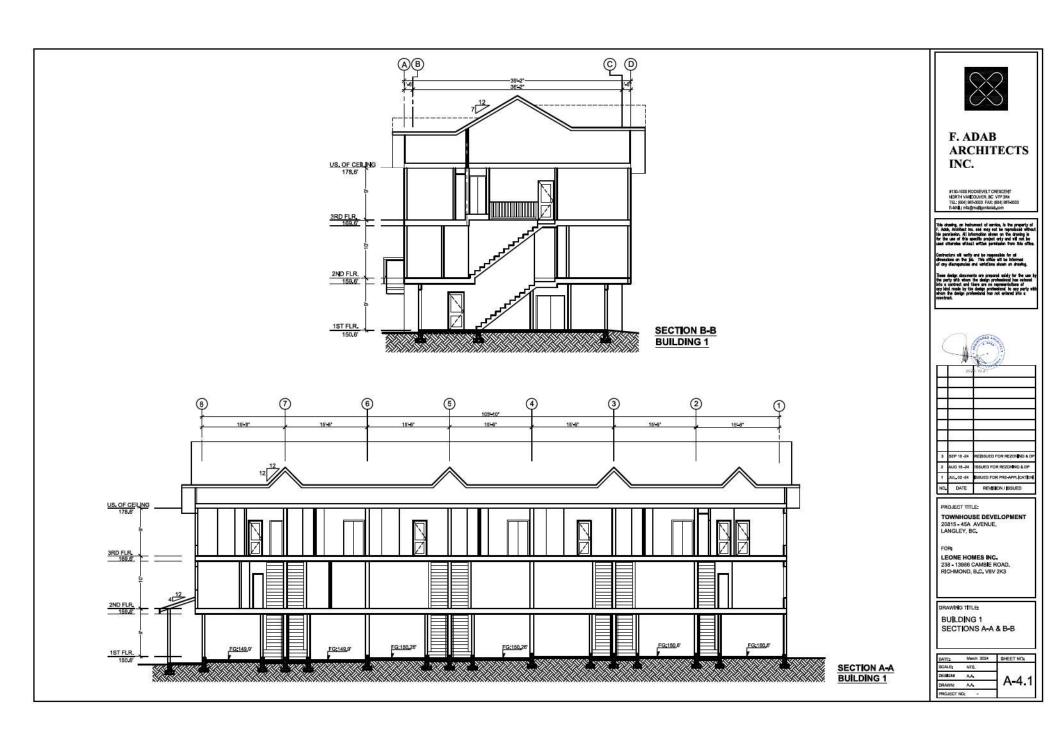
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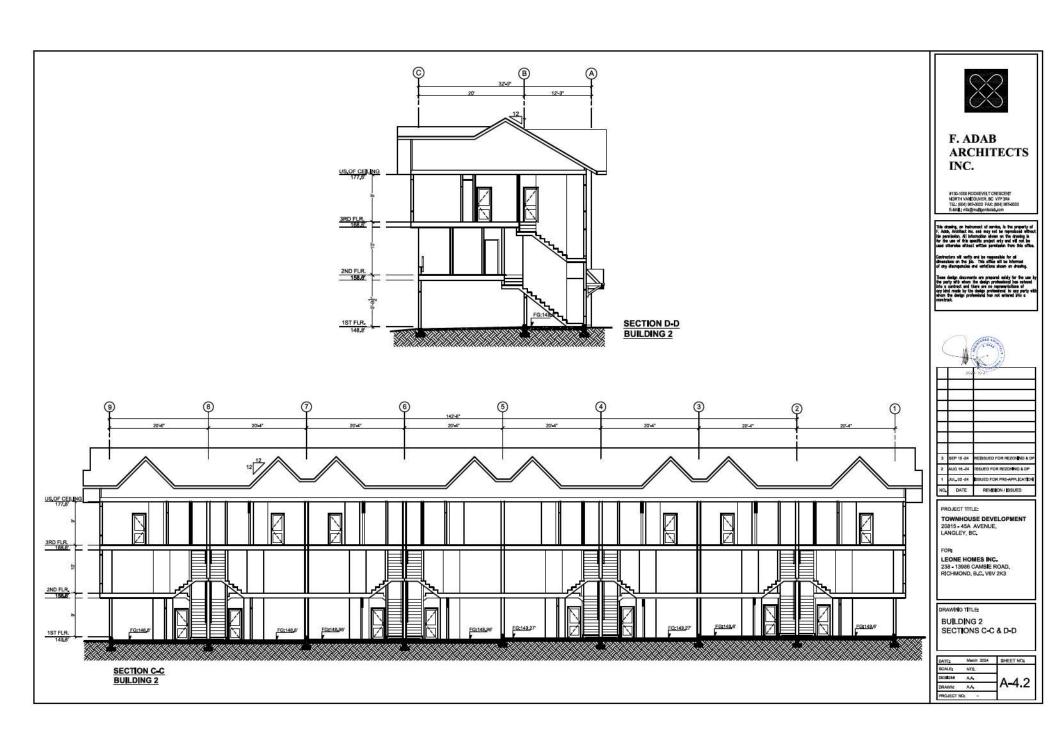
BUILDING 3 NORTH & EAST ELEVATIONS

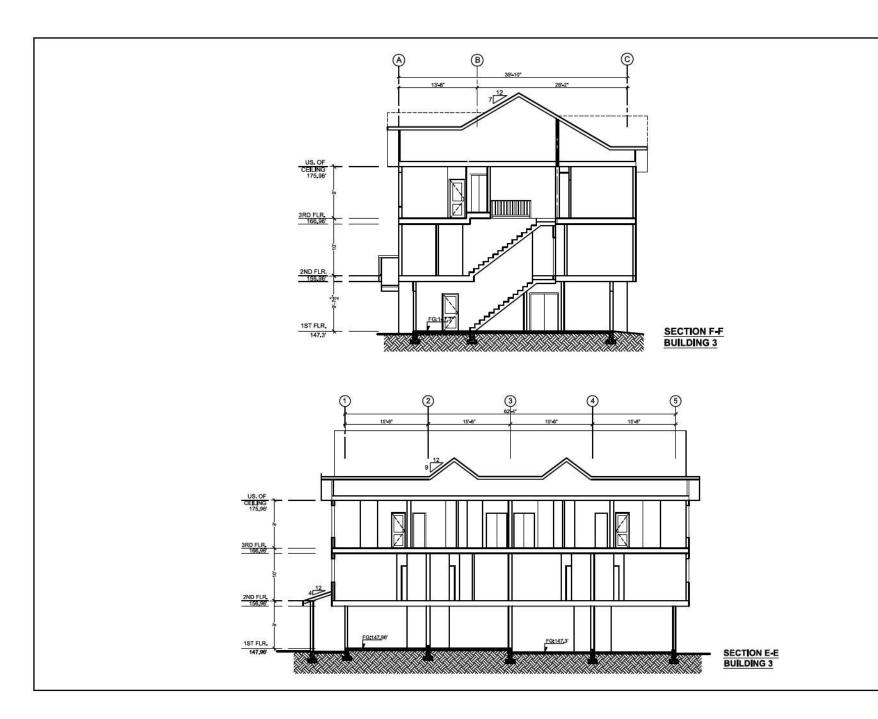
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PROJECT TITLE:

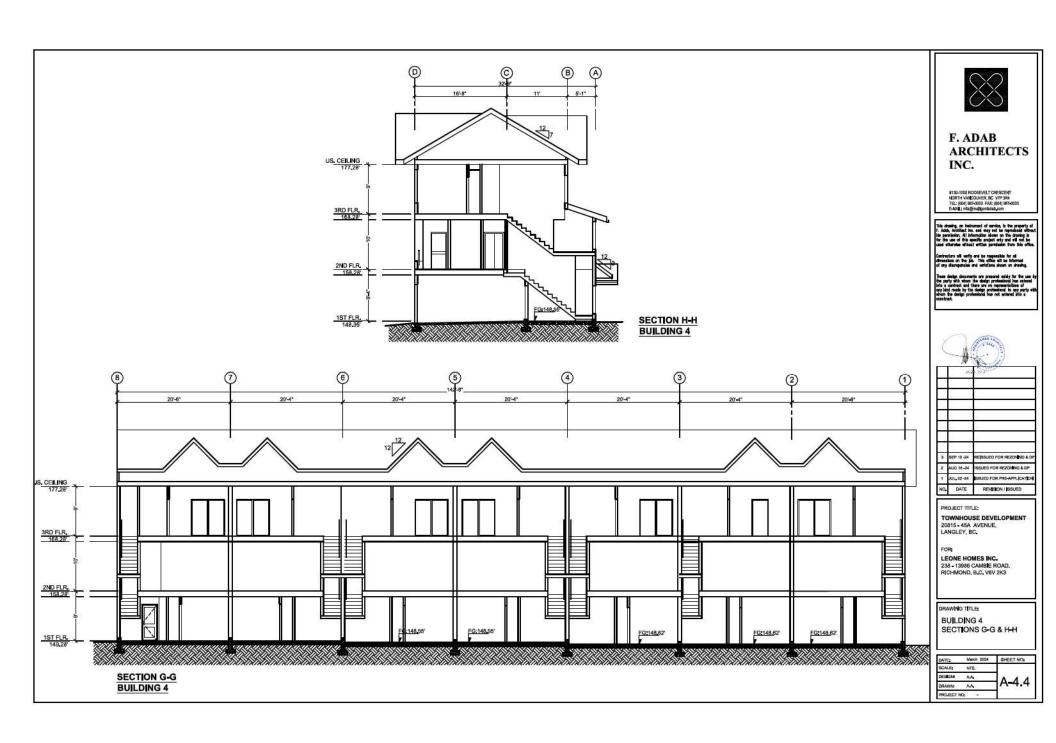
TOWNHOUSE DEVELOPMENT 20815 - 45A AVENUE, LANGLEY, BC.

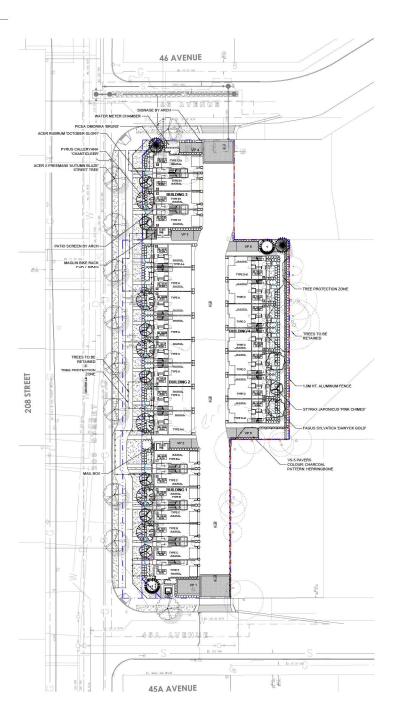
FOR:

LEONE HOMES INC. 238 - 13986 CAMBIE ROAD. RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 3
SECTIONS E-E & F-F

DATES	March 2024	SHEET NO:
SCALE:	NTS.	
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DRAWNS	AA	A-4.3
PROJECT I	10; -	





PLANT SCHEDULE PMG PROJECT NUMBER: 24-069 PLANTED SIZE / REMARKS

SLENDER HINOKI FALSE CYPRESS DAWYCK GOLD BEECH BRUNS SERBIAN SPRUCE CHANTICLEER PEAR PINK FLOWERED JAPANESE SNOWBELL

3M HT; B&B; CLIMATE RESILIENT 6CM CAL; B&B 3M HT; B&B 6CM CAL; 2M STD; B&B 6CM CAL; B&B

NOTES: - PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CAMADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CINAL STANDARD, BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTANCE, SIZES. - REPER TO SPECIFICATIONS FOR DEPRED CONTAINER SIZES AND SIZES. - REPER TO SPECIFICATIONS FOR DEPRED CONTAINER SIZES AND SIZES. - REPER TO SPECIFICATIONS FOR DEPRED CONTAINER SIZES AND SIZES. - REPER TO SPECIFICATION FOR DEPRED CONTAINER SIZES AND SIZ FUN REQUEST TO SUBSTITUTE, SUBSTITUTIONS ARE SUBJECT TO BE LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF WARMARDIAN'S LANDSCAPE STANDARD ARE STANDARD LATEST EDMON, "ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NUISSERY," BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE.

ARCHITECT.

NOTES: 38 REPLACEMENTS TREES REQUIRED; 20 REPLACEMENT TREES PROVIDED



MAGLIN BIKE RACK

MATERIAL LEGEND

	LAWN
	BELGARD CORTEZ 305X610X50MM; NATURAL COLOUR
	BRUSH PIP CONCRETE FINISH
	BELGARD VS-5; CHARCOAL COLOUR; HERRINGBONE PATTERN
ABAA	GRAVEL

LINCE LEGEND		
	1.08M HT. ALUMINUM FENCE	
	1.8M HT. ALUMINUM FENCE	
_	1.2M HT. PATIO SCREEN BY ARCH	



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SEAL:



24.0CT.15	NEW SITE PLAN	RJ
24.5EP.19	UPDATE PL	RJ
24.AUG.15	ISSUED FOR DP	
24.AUG.12	CITY COMMENTS	RU
24.JUN.25	NEW SITE PLAN	RU/YE
	PER GUERT GOMMENTS	we
24,1011.50		DR
	24.JUN.25 24.JUN.58	

CLIENT

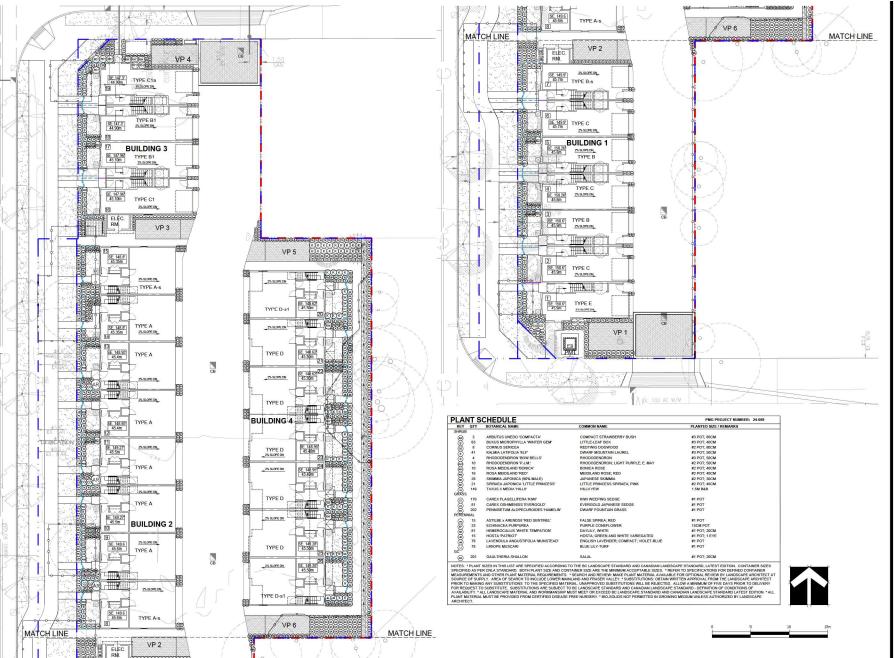
26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET & 20815 45A AVENUE CITY OF LANGLEY, BC

LANDSCAPE PLAN

DATE:	24.MAY.29	DRAWING NUMBER:
SCALE:	1:300	
DRAWN:	RJ	11
DESIGN:	RJ	
CHKD:	YR	OF 5

24069-3.ZIP PMG PROJECT NUMBER:



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LANDSCAPE ARCHITECTS Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia, VSC 603 p: 604 294-0022

SEAL:



6 24007.33 NEW SITE PAIN 6 2 24007.33 UWSTET FA 1 2 4400.63 DUST FOR 6 2 2 4400.63 UWSTET FA 1 4

PROJECT:

CLIENT

26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET & 20815 45A AVENUE CITY OF LANGLEY, BC

DRAWING TITLE:

SHRUB PLAN

DATE:	24.MAY.29	DRAWING NUMBER
SCALE:	1:150	
DRAWN:	RJ	12
DESIGN:	RI	
CHKT):	YR	OF



FAGUS SYLVATICA



CHAMAECYPARIS OBTUSA



PICEA OMORIKA 'BRUNS'



PYRUS CALLERYANA



STYRAX JAPONICUS 'PINK CHIMES'

SHRUB





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_			
_			
6	24.0CT.15	NEW SITE PLAN	8
5	24.5EP.19	UPDATE PL	8
4	24.AUG.15	ISSUED FOR DP	
3	24.AUG.12	CITY COMMENTS	
2	24JUN.25	NEW SITE PLAN	RJ/
	24,1011.50	PER GUENT GOMMENTS	w
NO.	DATE	REVISION DESCRIPTION	D

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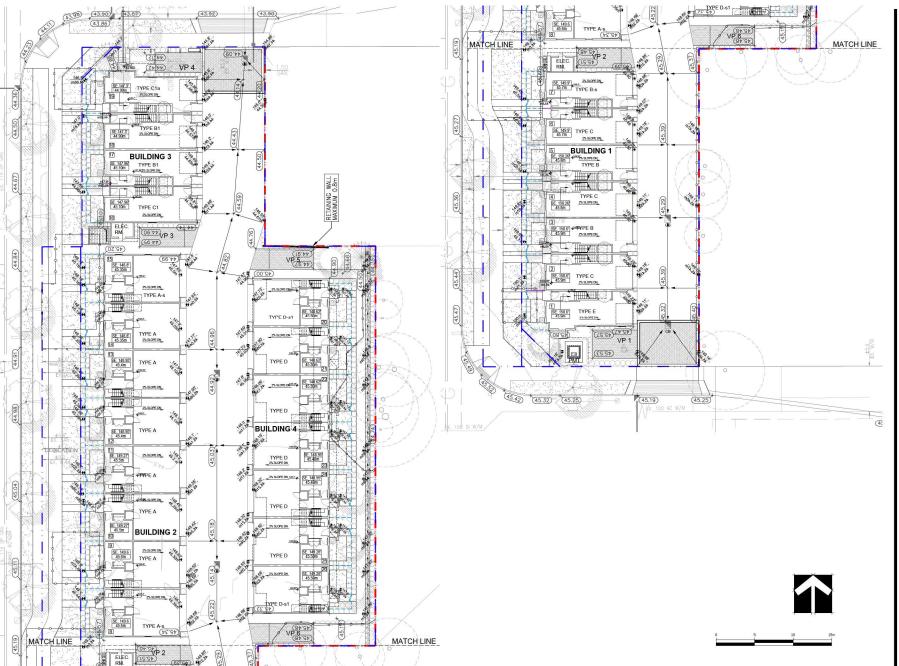
26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET & 20815 45A AVENUE CITY OF LANGLEY, BC

DRAWING TITLE:

PLANT IMAGES

DATE:	24.MAY.29	DRAWING NUMBER:
SCALE:		
DRAWN:	RJ	13
DESIGN:	RI	
CHKD:	YR	OF 5



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LANDSCAPE ARCHITECTS
Sulte C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 669
p. 604 294-0011; f. 604 294-0022

SEAL:



6	24.0CT.15	NEW SITE PLAN	RJ
5	24.5EP.19	UPDATE PL	RJ
4	24.AUG.15	ISSUED FOR DP	
3	24.AUG.12	CITY COMMENTS	RJ
2	24JUN.25	NEW SITE PLAN	RU/Y
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NO.	DATE	REVISION DESCRIPTION	DF

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PROJECT:

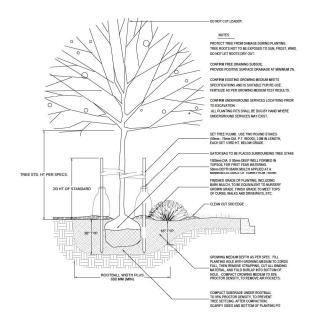
26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET & 20815 45A AVENUE CITY OF LANGLEY, BC

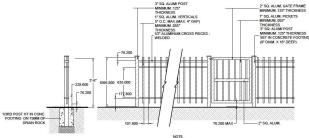
DRAWING TITLE:

GRADING PLAN

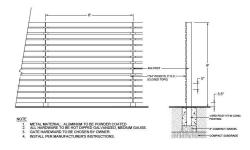
DATE:	24.MAY.29	DRAWING NUMBER:
SCALE:	1:150	
DRAWN:	RJ	14
DESIGN:	RJ	_
CHKD:	YR	OF 5

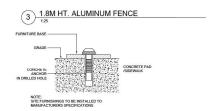


1) TREE AND SHRUB PLANTING AT GRADE

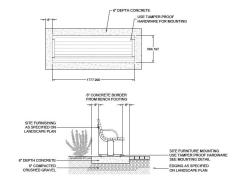


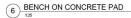
2 1.06M HT. ALUMINUM PICKET FENCE

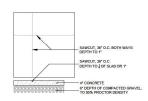




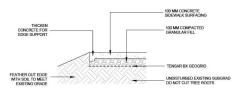
4 SITE FURNITURE MOUNTING







7 CONCRETE SAW CUTS



8 PAVING OVER TREE ROOTS

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SEAL:



CLIENT

26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET & 20815 45A AVENUE CITY OF LANGLEY, BC

LANDSCAPE **DETAILS**

DATE:	24.MAY.29	DRAWING NUMBER:
SCALE:	AS SHOWN	
DRAWN:	RI	15
DESIGN:	RJ	
CHKD:	YR	OF 5

24069-3.ZIP PMG PROJECT NUMBER:

24-069