



ADVISORY DESIGN PANEL

WEDNESDAY, NOVEMBER 6, 2024 AT 7:00 PM

CKF Room
Langley City Hall
(In-Person Meeting)

A G E N D A

1) **AGENDA**

Adoption of the November 6, 2024 agenda.

2) **MINUTES**

Adoption of minutes from the October 16, 2024 meeting.

3) **DP 06-23 BALCONY UPDATE**

Balcony update for a previously approved 6-storey apartment building at 19948 55A Avenue.

4) **DEVELOPMENT PERMIT APPLICATION DP 07-24**
ZONING BYLAW AMENDMENT APPLICATION RZ 06-24

26-unit townhome development at 20815 45A Avenue & 4560-4580 208 Street.

5) **NEXT MEETING**

December 4, 2024 (TBC).

6) **ADJOURNMENT**



**MINUTES OF THE
ADVISORY DESIGN PANEL**

**HELD IN CKF ROOM,
LANGLEY CITY HALL**

**WEDNESDAY, OCTOBER 16, 2024
AT 7:01 PM**

Present: Councillor Paul Albrecht (Chair)
Councillor Mike Solyom (Co-Chair)
Mayor Nathan Pachal
Blair Arbuthnot
Jaswinder Gabri
Matt Hassett
Leslie Koole
Ritti Suvilai

Absent: Dammy Ogunseitan
Tony Osborn
Ella van Enter

Staff: C. Johannsen, Director of Development Services
K. Kenney, Corporate Officer
A. Metalnikov, Planner

Chair Albrecht began by acknowledging that the land on which we gather is on the traditional unceded territory of the Katzie, Kwantlen, Matsqui and Semiahmoo First Nations.

1) AGENDA

Adoption of the October 16, 2024 agenda.

It was MOVED and SECONDED

THAT the agenda for the October 16, 2024 Advisory Design Panel be approved.

CARRIED

2) **MINUTES**

Adoption of minutes from the September 11, 2024 meeting.

It was MOVED and SECONDED

THAT the minutes of the September 11, 2024 Advisory Design Panel meeting be approved as circulated.

CARRIED

3) **DEVELOPMENT PERMIT APPLICATION DP 06-24** **ZONING BYLAW AMENDMENT APPLICATION RZ 05-24**

6-storey, 283-unit apartment building at 5360 204 Street.

Mr. Metalnikov spoke to the staff report dated October 4, 2024 providing information on the proposed development.

Staff responded to questions from panel member regarding what the differences in unit sizes were with this development proposal as compared to the proponent's original development proposal that they did not proceed with.

The Applicant team entered the meeting:

Noel Lim, Project Manager, Keystone Architecture & Planning Ltd.

Steve Bartok, Principal, Keystone Architecture & Planning Ltd.

Gerald Minchuk, Development Manager, Whitetail Homes

Clark Kavolinas, Landscape Architect, C. Kavolinas & Associates Inc.

Mr. Bartok responded to questions regarding how the form and massing of the building design has changed from the previous iteration as well as the number of trees being retained.

Mr. Lim and Mr. Bartok provided a PowerPoint presentation on the proposed development, providing information on the following:

- Site context
- Site Analysis
- Project Data
- Design Rationale
- Energy efficiency features
- CPTED features
- Renderings of rental building
- Site Plan
- Amenity spaces and plans
- Garbage and recycling area
- Market visitor parking
- Rental resident parking

- P1 and P2 level plans
- Area Plans for each level
- Area Plans for each level
- Roof level plan
- Site sections
- Massing elevations
- Materials
- Streetscape
- Shadow studies

Mr. Kavolinas provided an overview of the landscaping design including details on amenity areas and planting buffer.

Panel members provided feedback on the form and character of the development and discussion took place with respect to the following:

- Potential for more greenery, including evergreen plantings on upper levels;
- Desired indoor amenity features and programming;
- Ensuring fencing between outdoor amenity area and surface parking provides privacy and eliminates potential for headlight glare;
- Potential for cedar hedge row to create sound buffer;
- Possible issue turning around to get out of underground visitor parking if all stalls are full;
- Potential to locate bike parking in parkade closer to entrance to building;
- Parallel parking along concrete wall may be difficult;
- Potential for dual doors for elevators;
- Ensuring each unit has an entry closet;
- Have heavy duty material and automatic opening used for doors to bike room and garbage room;
- Better accessibility needed from loading zones to elevators;
- Desire for more design elements in courtyard and parking layout;
- Better integration of outdoor building design with building character;
- Use of architectural lighting;
- Have some type of architectural theme in play space;
- More design features for BBQ area including retractable canopy;
- Potential to add plantings between drive aisle and pedestrian walkway;
- Having a contrasting colour for patios;
- Ensure height of wall at entrance to vehicle parking in building C is high enough to screen headlights from neighbouring units;
- Provide more design interest instead of blank brick wall at building C entry;
- Improve wayfinding features for deliveries;
- Ensure walkway around building is secure;
- Better delineate driveway entrance with design features.

In response to a question from a Panel member, a member of the applicant team and City staff provided the rationale for the previous tenant relocation policy applying to this application instead of the current tenant relocation policy (the current policy was adopted by Council in July 2024, following submission of the new building proposal).

The project team responded to questions from Panel members regarding the following:

- Rationale for the number of security gates required to separate parking areas in the resident parking;
- Rationale for having only deciduous trees in the landscape design;
- Purpose of service rooms on rental side of building;
- Security of mailroom area;
- Where P2 market parking stairwell leads;
- Amount of parking provided;
- What type of cooling systems to be installed in units;
- Location of bike and storage space for units;
- Number of elevators required by regulation;
- Whether there are charging plug-ins for e-bikes in bike storage.

Staff responded to questions from Panel members regarding the following:

- Type of trees being retained;
- Property line correction to reflect what is City property.

The project team left the meeting.

The meeting recessed at 8:05 p.m. and reconvened at 8:15 p.m.

It was MOVED and SECONDED
THAT:

1. The ADP receive the staff report dated October 4, 2024 for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Provide more detail on indoor and outdoor amenity programming (e.g. adequate washrooms, plumbing/kitchen facilities, furniture, colour; considering community gardens, expanding the courtyard, courtyard weather protection, etc.);
 - b. Update the courtyard design to more closely align with the building character, including more of the architectural theme in the play space and more design attention to the barbecue area;
 - c. Review fencing and landscaping between the outdoor amenity space and parking for separation and headlight glare;
 - d. Consider opportunities for more evergreen plantings;
 - e. Review turnaround opportunities in the strata visitor parking area;
 - f. Look to make the rental bicycle parking room easier to access;
 - g. Consider moving/replacing parallel parking spaces;

- h. Review elevator accessibility between the parking and residential levels (e.g. two-sided elevators);
- i. Consider adding entry closets to all units;
- j. Review accessibility between loading zones and elevators;
- k. Provide more information on exterior lighting, including to highlight landscaping;
- l. Enhance the pathway to the rental entrance (e.g. landscaping, paving, etc.);
- m. Review the colour cohesion and hierarchy of balcony fascias;
- n. Make use of heavier duty doors and auto-open buttons into waste and bicycle storage rooms;
- o. Ensure the north perimeter treatment (e.g. wall, fencing) protects the adjacent buildings from headlight glare;
- p. Provide more visual interest on the service room exteriors;
- q. Ensure the perimeter exit path is secure;
- r. Look into further enhancing the design of the building and site entrances;
- s. Consider additional noise mitigation measures for neighbouring units with living room-to-bedroom interfaces;
- t. Confirm the design of the dedication area on 204 Street.

CARRIED

Staff note: Provide more information on intended HVAC system

4) DEVELOPMENT PERMIT APPLICATION DP 05-24
ZONING BYLAW AMENDMENT APPLICATION RZ 04-24

6-storey, 80-unit apartment building at 20130-20150 53 Avenue & 20139-20152 52 Avenue.

The Applicant team entered the meeting:

Manbir Banwait, Developer, TM Crest Homes

Gunveer Samra, Developer, TM Crest Homes

Darren Braun, Development Consultant, Blue Sky Solutions

Majd Makdissy, Architect, Barnett Dembek Architects

Clark Kavolinas, Landscape Architect, C. Kavolinas & Associates Inc.

Mr. Braun provided a PowerPoint presentation on the proposed development, providing information on the following:

- Context plan
- Parkade levels
- Perspectives from 53 Ave. Principal entrance
- Perspectives from 52 Ave. South entrance
- Aerial view renderings

A video rendering of the building was shown to Panel members.

Panel members provided feedback on the form and character of the development and discussion took place regarding the following:

- Use some variation in landscaping to contrast the lighter background of the building;
- Add charcoal gradation or wood texture to all white side of building to break up massing;
- Have awning in outdoor amenity area to facilitate its use all year round;
- Have taller plantings in outdoor amenity area to create more design interest;
- Consider ways to add some design/landscaping interest beside the pad mounted transformer (PMT);
- Consider having two-side elevator for better access to loading zone;
- Have greater architectural interest on podium walls before parkade entrance;
- Add higher end finishes, for outside amenity area (i.e. pop of colour, wood/carpentry elements);
- Provide more washrooms in common areas;
- Consider ways to reduce glare through windows of units looking out onto roof;
- Better identify grassed areas on landscape plan and ensure they are maintainable;
- Make use of heavier duty doors and auto-open buttons into waste and bicycle storage rooms;

- Consider including e-bike charging plugs and a maintenance area in bicycle storage room;
- Consider installing side-by-side washer/dryer units in adaptable units;
- Ensure there is adequate soundproofing between units with living room-to-bedroom interfaces.

Staff responded to questions from Panel members regarding the following:

- retention of trees on the east side of the property;
- which street the addressing for the building would be on.

The applicant team responded to questions from Panel members regarding the following:

- Rationale for not having inground trees in outdoor amenity area;
- Intention for building to be rental;
- Ease of access to parking;
- What type of cooling systems to be installed in units;
- Guest unit amenity feature.

The applicant team left the meeting.

It was MOVED and SECONDED

THAT:

1. The ADP receive the staff report dated October 3, 2024 for information; and
2. The ADP recommends the applicant give further consideration to the following prior to the application proceeding to Council:
 - a. Incorporate more visual variety into the landscaping (e.g. colour, evergreen & deciduous variety, etc.) to contrast the building's neutral colour palette;
 - b. Consider greater use of darker tones on the north elevation;
 - c. Provide more design interest, vertical elements, and weather protection (i.e. updating the trellis with a covering canopy) in the outdoor amenity;
 - d. Look for opportunities to enhance the landscape pad beside the PMT;
 - e. Consider providing two-sided elevators to improve access;
 - f. Provide more design attention to the west and southwest podium walls
 - g. Improve washroom access for both indoor amenity rooms and the outdoor amenity space;
 - h. Review the design of the 5th floor roof for glare and visual appeal against adjacent 6th floor unit windows;
 - i. Ensure the southeast landscape area is consistently labeled as natural grass and ensure it is easily maintainable;
 - j. Make use of heavier duty doors and auto-open buttons into waste and bicycle rooms;
 - k. Consider e-bike charging and repair facilities in bicycle rooms.

- l. Consider updating washer/dryers in adaptable units to be side-by-side for improved accessibility;
- m. Consider additional noise mitigation measures for neighbouring units with living room-to-bedroom interfaces.

CARRIED

Staff note: Provide more information on intended HVAC system

5) **2025 ADVISORY DESIGN PANEL MEMBERSHIP**

Staff advised that members will be contacted to determine their interest in 2025 ADP membership. Members are requested to advise Mr. Metalnikov if interested in continuing to serve on the Panel.

6) **NEXT MEETING**

November 6, 2024 (TBC).

7) **ADJOURNMENT**

It was MOVED and SECONDED

THAT the meeting adjourn at 9:00 pm.

CARRIED



ADVISORY DESIGN PANEL CHAIR



CORPORATE OFFICER



EXPLANATORY MEMO

**November 6, 2024 Advisory Design Panel
Design Update
DP 06-23
19948 55A Avenue**

Proposed Balcony Update to Development Permit DP 06-23 (19948 55A Avenue)

The owner of a 6-storey, 126-unit apartment development at 19948 55A Avenue has requested to update the building's design to add movable glass panels to balconies and patios that allow these spaces to be opened or enclosed by the apartment residents. The panels have been added within existing walls and columns, with three small exceptions on the ground floor where they extend slightly into the patios to create enclosable areas beside living rooms and to create space for outdoor air conditioning condensers. These movable panels are provided at half height along balcony frontages (above standard immovable glass railings) and at full height on the interior of the air conditioning condensers, which are left in small open-air areas for ventilation.

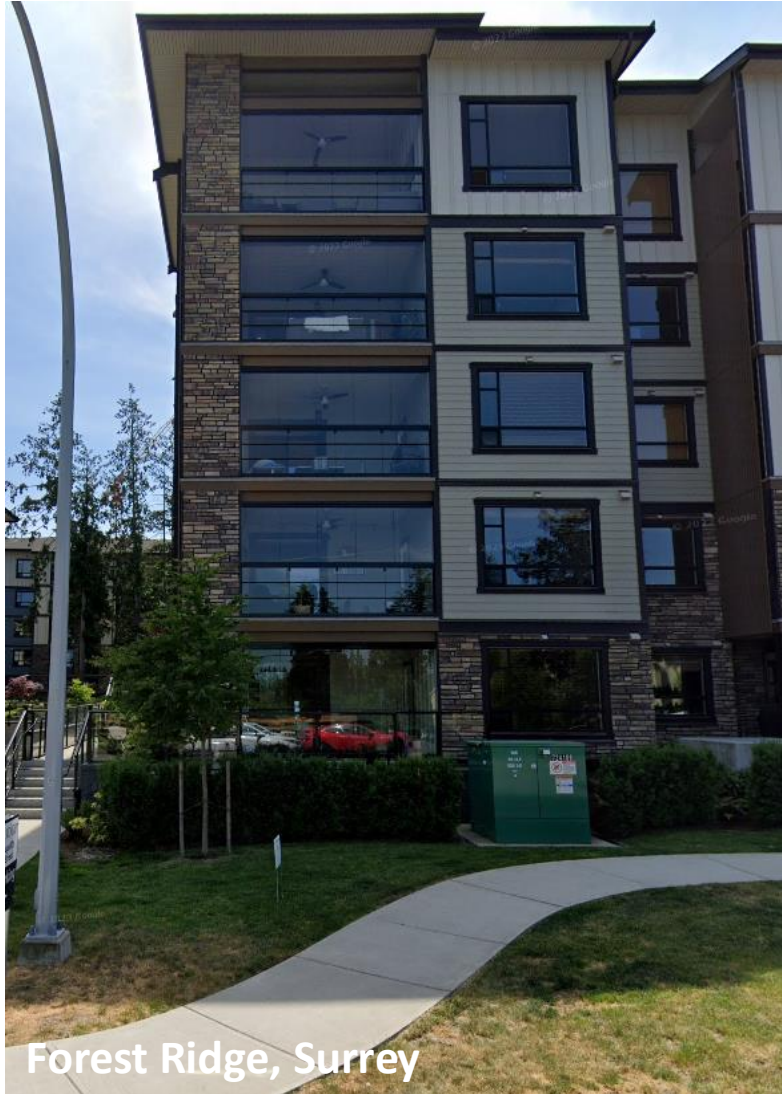
The Development Permit (DP 06-23) for this building was reviewed by the Advisory Design Panel (ADP) in July 2023 and approved by Council in April 2024. A Building Permit has not yet been issued. In accordance with the General Exemptions from the Development Permit Areas in the City's Official Community Plan (OCP), this balcony update request is considered a minor change that does not require a formal Development Permit amendment. However, staff is referring this update to the ADP for its information and to provide the opportunity for questions and clarification. Any comments provided at the ADP meeting will be noted informally by staff and considered with the owner prior to the finalization of their Building Permit.

An information package on the proposed change prepared by the owner's architect is attached to this memo, along with the architectural and landscape plans approved with the Development Permit for reference.

19948 55a Ave Langley

ADP Presentation Showcasing Enclosed Balcony

By ACAI



Forest Ridge, Surrey



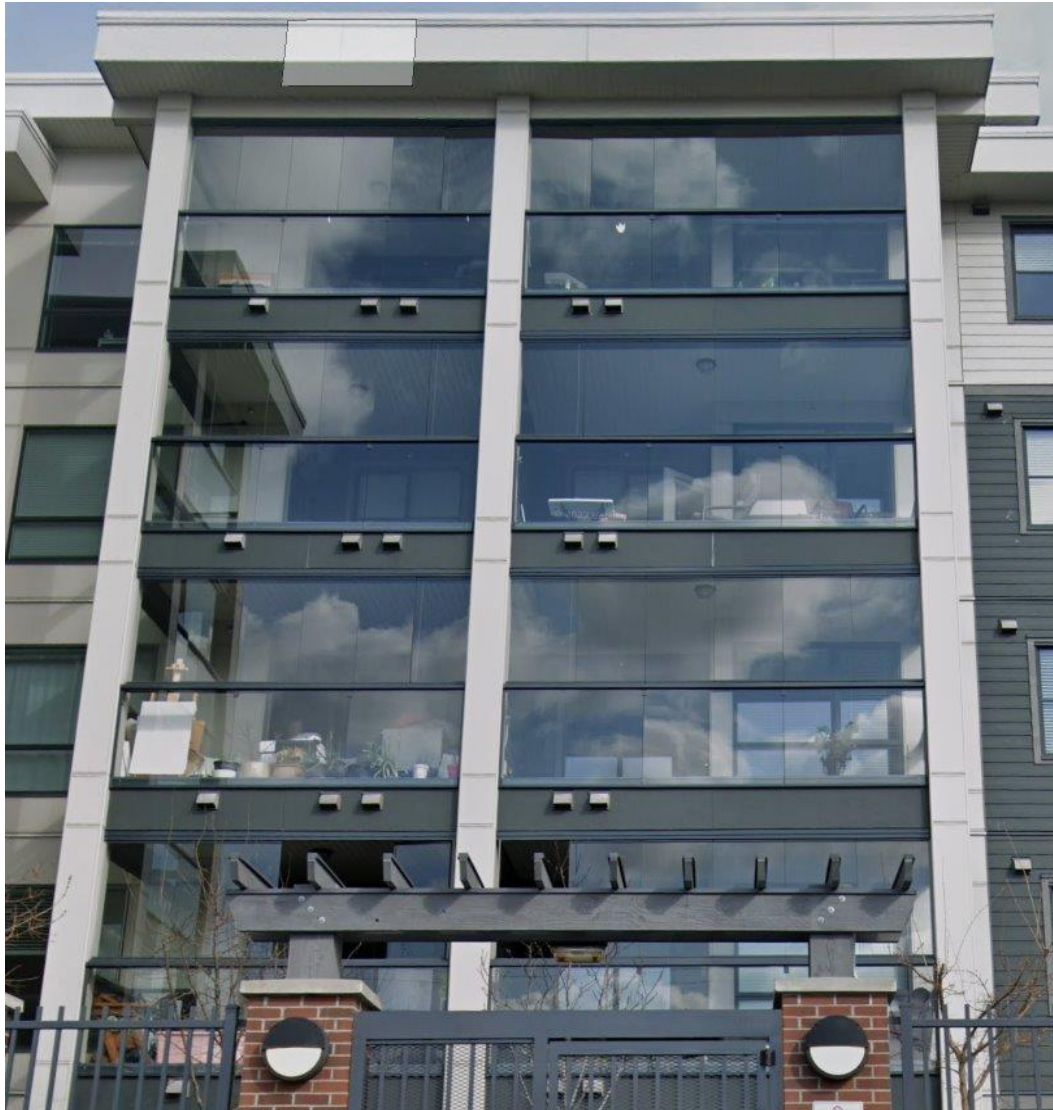
Elements Condos, Barrie



Osler, Vancouver

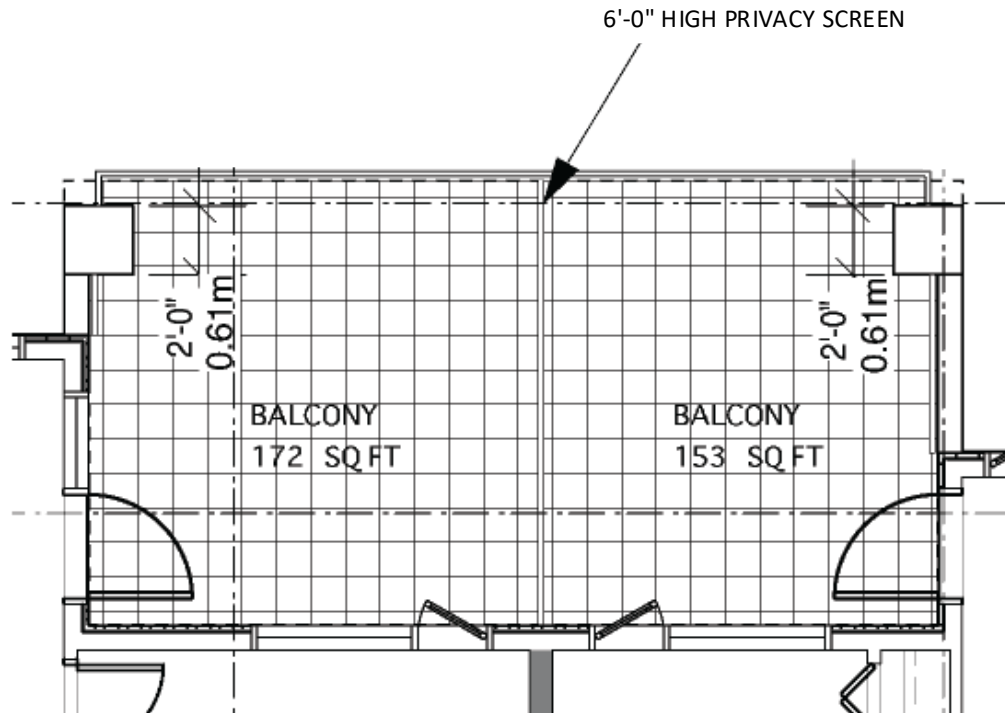
Exterior
Appearance of
Lumon
Enclosed
Balcony

The Civic, 5638 201A Street, Langley, BC

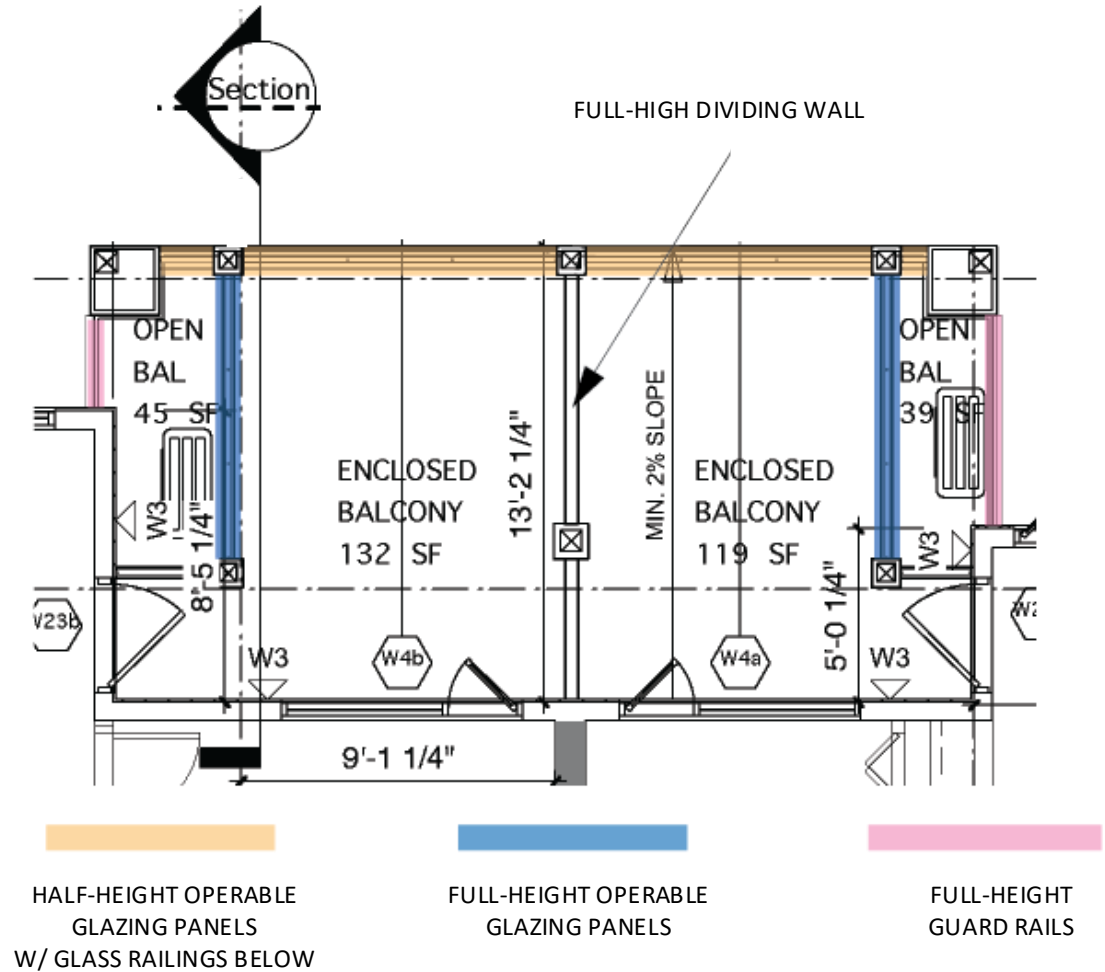


Enlarged Plan Comparison

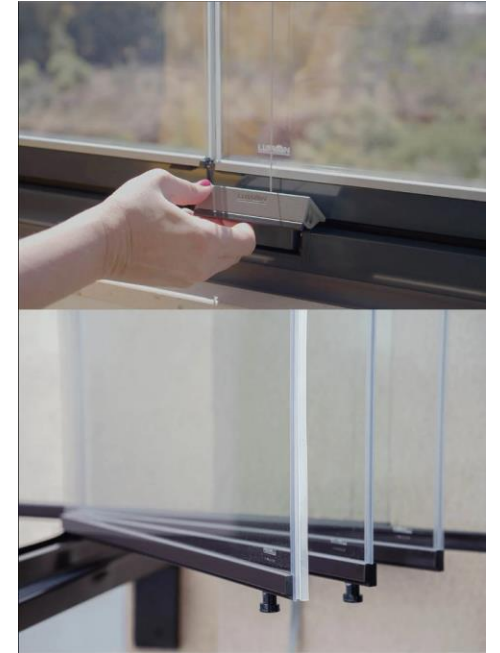
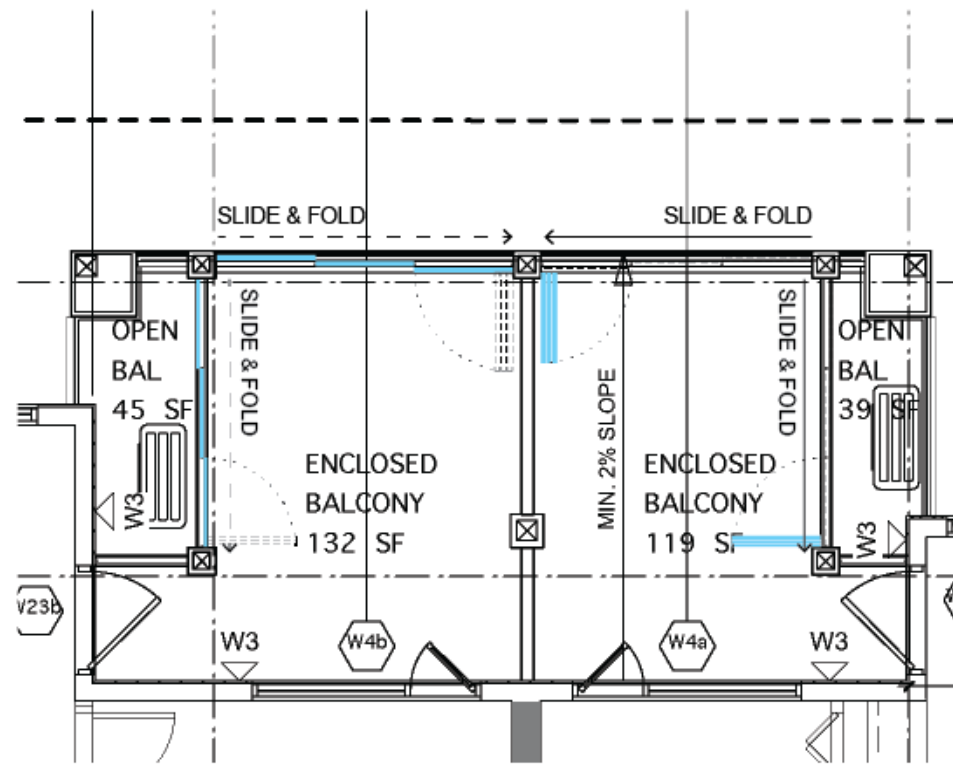
D.P. – OPEN BALCONY



PROPOSE – ENCLOSED BALCONY



Enclosed
Panels Can
Be Fully
Opened



North Elevation Comparison

D.P.



PROPOSE



South Elevation Comparison

D.P.



PROPOSE



East Elevation Comparison

D.P.



PROPOSE



D.P.

Architectural elevation drawing of a building facade. The drawing shows a multi-story building with a central vertical orange stripe and various window types. The facade is divided into sections by vertical and horizontal lines. The drawing includes the following labels and dimensions:

- PROPERTY LINE** (vertical line on the left)
- 100.17' T/O ROOF 1 (30.53m)**
- 89.17' SIXTH FLOOR (27.17m)**
- 79.17' FIFTH FLOOR (24.13m)**
- 69.17' FOURTH FLOOR (21.08m)**
- 59.17' THIRD FLOOR (18.04m)**
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- 69.**



Render Views (D.P.)



Render Views (PROPOSE)



Render Views (D.P.)



Render Views (PROPOSE)





PROJECT DATA

BUILDING ANALYSIS OF:		1994B 55A AVE. LANGLEY	
ZONE :	REZONING FROM RS-1 TO CD BASED ON RM3		
PID :	031-267-348		
LEGAL DESCRIPTION:	LOT A SECTION 3 TOWNSHIP 8 NEW WESTMINSTER DISTRICT, PLAN EPP120331		
SITE SIZE :	4,080 SQ.M. (49,917 SQ.FT.)		
NUMBER OF STOREYS:	6		
GROSS FLR AREA :	MAX. ALLOWABLE PROPOSED	92,225 SQ. FT. GROUND FL. 887 SQ.M. (9,579 SQ. FT.) SECOND FL. 1,554 SQ.M. (16,728 SQ. FT.) THIRD FL. 1,608 SQ.M. (17,294 SQ. FT.) FOURTH FL. 1,654 SQ.M. (17,806 SQ. FT.) FIFTH FL. 1,654 SQ.M. (17,806 SQ. FT.) SIXTH FL. 1,236 SQ.M. (13,326 SQ. FT.) TOTAL 8,598 SQ.M. (92,225 SQ. FT.)	
FSR :	MAX. ALLOWABLE PROPOSED	21 21	
NUMBER OF DWELLING UNITS :	MAX. ALLOWABLE PROPOSED	N/A 126 (309 UNITS/HECTARE)	
EXISTING AVERAGE GRADE :	10.45 M. (34.28')		
HEIGHT :	MAX. ALLOWABLE HEIGHT PROPOSED	N/A 22.73M (74.86')	
FRONT YARD:	MIN. REQUIRED PROPOSED	6.0M (19.80') 6.0M (19.76')	
REAR YARD :	MIN. REQUIRED PROPOSED	6.0M (19.80') 6.1M (20.00')	
SIDE YARD :	MIN. REQUIRED PROPOSED	WEST 6.0M (19.69') EAST 6.0M (19.69') WEST 6.0M (19.64') EAST 7.9M (25.91')	
SITE COVERAGE :	MAX. ALLOWABLE PROPOSED	4,080 X 40% = 1,632 SQ. M. (17,587 SQ.FT.) 1,854 SQ.M. (17,806 SQ. FT.) (40.5%)	
PARKING :	REQUIRED VISITORS: PROVIDED	RESIDENTS: 1.0 (STUDIO) X 20 + 1.1 (BED) X 86 + 1.3 (BED) X 40 = 145.6 (146) 0.2 X 126 = 25.2 (26) RESIDENTS: 146 VISITORS: 26	
HANDICAPPED PARKING REQUIRED:	REQUIRED PROVIDED	RESIDENTS: 0.05 X 146 = 7.3 (7) VISITORS: 0.05 X 26 = 1.3 (1) RESIDENTS: 7 VISITORS: 1	
SMALL CAR MAX. ALLOWABLE:	RESIDENTS: PROVIDED	0.5 X 146 = 73 VISITORS: 0.5 X 26 = 13 RESIDENTS: 69 VISITORS: 12	
BICYCLE:	REQUIRED PROVIDED	0.5 X 126 = 63 63	
STORAGE:	REQUIRED PROVIDED	1 X 126 = 126 127 (113 INSUITE + 14 PARKING LEVEL)	
ADAPTABLE UNITS :	REQUIRED PROVIDED	0.20 X 126 = 25.2 (25) 25	
AMENITY SPACE:	REQUIRED PROPOSED PROPOSED	3 SQ. M. X 126 = 378 SQ. M. (COMBINED) 179 SQ. M. (1,420 SQ. M./UNIT) OUTDOOR AMENITY: 304 SQ. M. (1,620 SQ. M./UNIT)	

UNITS SYNOPSIS

UNIT TYPE	NO. BED	AREA	NUMBER OF UNITS						TOTAL UNITS	TOTAL (SQM)	TOTAL (SQFT)
		SQ. FT.	SQ. M.	1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.			
UNIT A INSUIT	2B	754	73.8	1					1	73.8	794
UNIT AD INSUIT	2B	789	73.3		2	2	2	2	8	586.4	6,312
UNIT B INSUIT	1B	521	48.4	1	1	1	1	1	5	242.0	2,605
UNIT C INSUIT	1B+D	658	59.3	1	1	1	1	1	5	266.5	2,870
UNIT D INSUIT	1B	554	51.5	1	1	1	1	1	5	267.5	2,870
UNIT D2 INSUIT	1B	545	50.6		1	1	1	1	4	202.4	2,181
UNIT D3 INSUIT	1B	547	50.8					1	1	50.8	547
UNIT E INSUIT	1B	624	58.0	1	1	1	1	1	5	260.0	2,810
UNIT F PARKING	2B	708	65.8	1	1	1	1	1	6	384.8	4,148
UNIT G INSUIT	1B	510	47.4						1	47.4	510
UNIT G2 INSUIT	1B	526	49.8		1	1	1	1	4	199.2	2,144
UNIT H INSUIT	1B	461	42.6	1					1	42.6	461
UNIT H2 INSUIT	1B	503	46.7		1	1	1	1	4	186.8	2,015
UNIT J INSUIT	2B	751	69.8	1					1	69.8	751
UNIT J2 INSUIT	2B	758	70.4		1	1	1	1	5	352.0	3,786
UNIT K INSUIT	2B	808	75.1	2	2	2	2	2	8	600.8	6,484
UNIT L INSUIT	1B	508	47.2	2	2	2	2	2	8	377.6	4,064
UNIT M INSUIT	STUDIO	451	42.8	2	2	2	2	2	8	342.4	3,688
UNIT M2 INSUIT	STUDIO	451	42.8	2	1	1	1	1	5	214.0	2,295
UNIT M3 INSUIT	STUDIO	450	42.2		1	1	1	1	3	129.6	1,396
UNIT N PARKING	2B	800	74.3	1					1	74.3	800
UNIT N2 PARKING	2B	707	65.7		1	1	1	1	4	262.8	2,836
UNIT O INSUIT	1B+D	657	59.4	1	1	1	1	1	5	252.0	2,695
UNIT O2 INSUIT	1B+D	573	53.2		1	2	2	2	7	322.4	3,451
UNIT O3 PARKING	1B	472	43.9	1					1	43.9	472
UNIT P INSUIT	2B	751	70.7		1	1	1	1	4	262.8	2,836
UNIT Q INSUIT	1B	588	54.4		1	1	1	1	4	211.6	2,284
UNIT R INSUIT	STUDIO	432	40.1	1	1	1	1	1	4	160.4	1,728
UNIT S INSUIT	2B+D	757	71.3	1					1	71.3	757
UNIT T INSUIT	1B+D	585	54.3						1	54.3	585
UNIT U INSUIT	1B	510	47.4						1	47.4	510
UNIT V INSUIT	2B	740	68.7						1	68.7	740
UNIT W INSUIT	1B+D	650	59.5						2	117.0	1,250
UNIT X INSUIT	1B+D	617	57.3						1	57.3	617
UNIT Y2 INSUIT	1B+D	569	52.3						1	52.3	569
TOTAL				6	22	25	26	26	126	7137 SQM	76,820 SQFT

DRAWING LIST

DP 0.0	PROJECT DATA
DP 1.1	SITE PLAN
DP 2.1	PARKING PLAN P1 KEY
DP 2.1a	PARKING PLAN P1 WEST
DP 2.1b	PARKING PLAN P1 EAST
DP 2.2	GROUND FLOOR PLAN KEY
DP 2.2a	GROUND FLOOR PLAN WEST
DP 2.2b	GROUND FLOOR PLAN EAST
DP 2.3	SECOND FLOOR PLAN KEY
DP 2.3a	SECOND FLOOR PLAN WEST
DP 2.3b	SECOND FLOOR PLAN EAST
DP 2.4	THIRD FLOOR PLAN KEY
DP 2.4a	THIRD FLOOR PLAN WEST
DP 2.4b	THIRD FLOOR PLAN EAST
DP 2.5	FOURTH & FIFTH FLOOR PLAN KEY
DP 2.5a	FOURTH & FIFTH FLOOR PLAN WEST
DP 2.5b	FOURTH & FIFTH FLOOR PLAN EAST
DP 2.6	SIXTH FLOOR PLAN KEY
DP 2.6a	SIXTH FLOOR PLAN WEST
DP 2.6b	SIXTH FLOOR PLAN EAST
DP 2.7	ROOF PLAN KEY
DP 2.7a	ROOF PLAN WEST
DP 2.7b	ROOF PLAN EAST
DP 3.1	NORTH ELEVATION KEY
DP 3.1a	NORTH ELEVATION - EAST
DP 3.1b	NORTH ELEVATION - WEST
DP 3.2	SOUTH ELEVATION KEY
DP 3.2a	SOUTH ELEVATION - WEST
DP 3.2b	SOUTH ELEVATION - EAST
DP 3.3	EAST ELEVATION
DP 3.4	WEST ELEVATION
DP 4.1	SECTION A
DP 4.2	SECTION B - KEY
DP 4.2a	SECTION B - WEST
DP 4.2b	SECTION B - EAST
DP 5.1	STREET ELEVATION - KEY
DP 5.1a	STREET ELEVATION - EAST
DP 5.1b	STREET ELEVATION - WEST
DP 6.1	SHADOW STUDIES MARCH 20
DP 6.2	SHADOW STUDIES SEPTEMBER 23
DP 7.1	RENDERINGS



CONTEXT PLAN



Date	Revisions
JUN 08 2025	Issued For RZ + DP Submission
JUN 10 2025	Issued For RZ + DP Revision
JUL 12 2025	Issued For RZ + DP Revision
AUG 24 2025	Issued For ADP Revision
Drawn by	Checked by
Scale	Scale

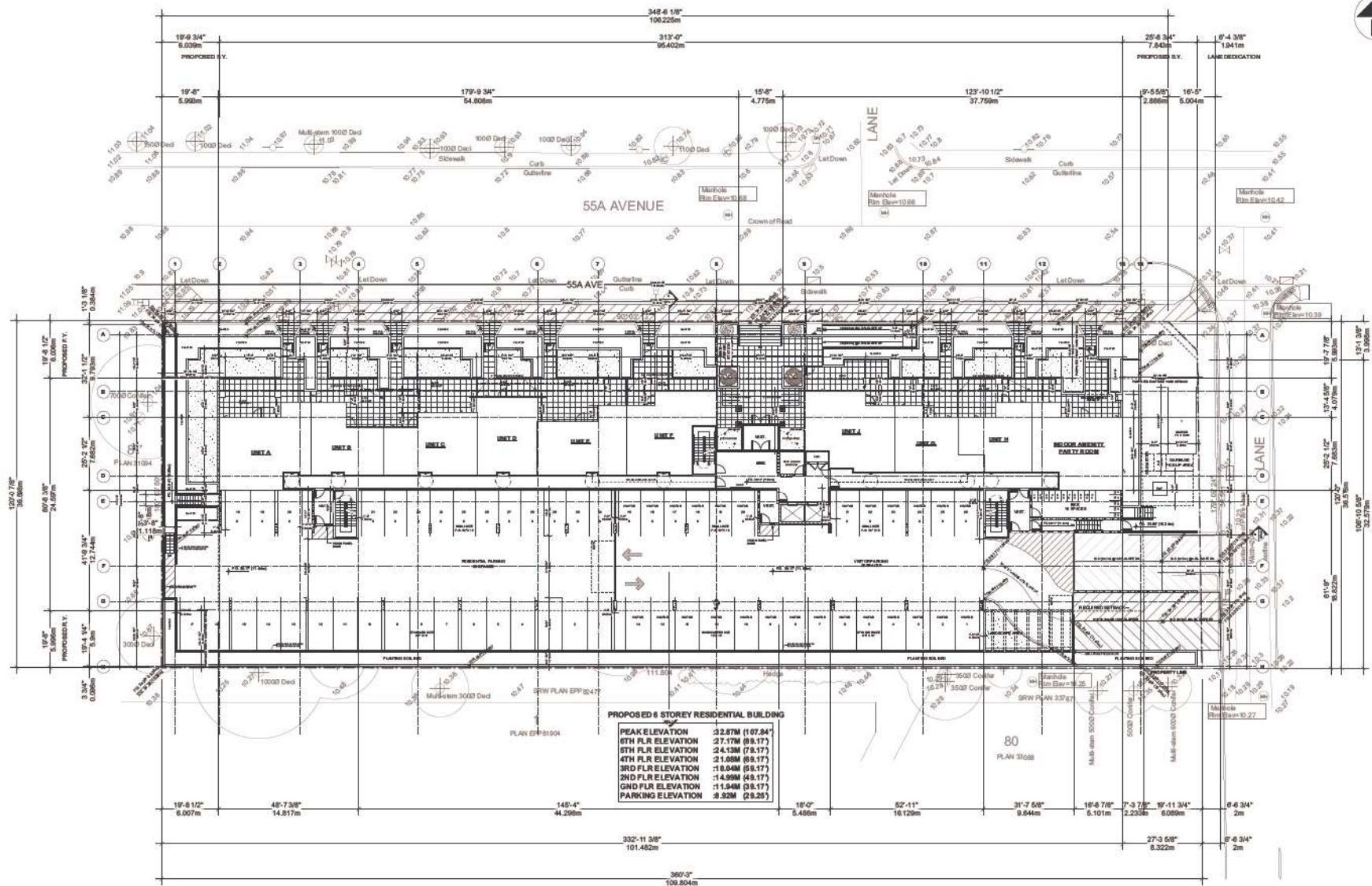
ANDREW CHEUNG ARCHITECTS INC.

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5
Tel (604) 685-2088
Fax (604) 685-1989

Project	1994B 55A AVE. LANGLEY, BC
Project number	21817
Project name	
Drawn by	Checked by
Scale	Scale
Drawing number	DP 0.0

SCHEDULE "A"

A-1



1 SITE PLAN
1/16"=1'-0" (1:160)

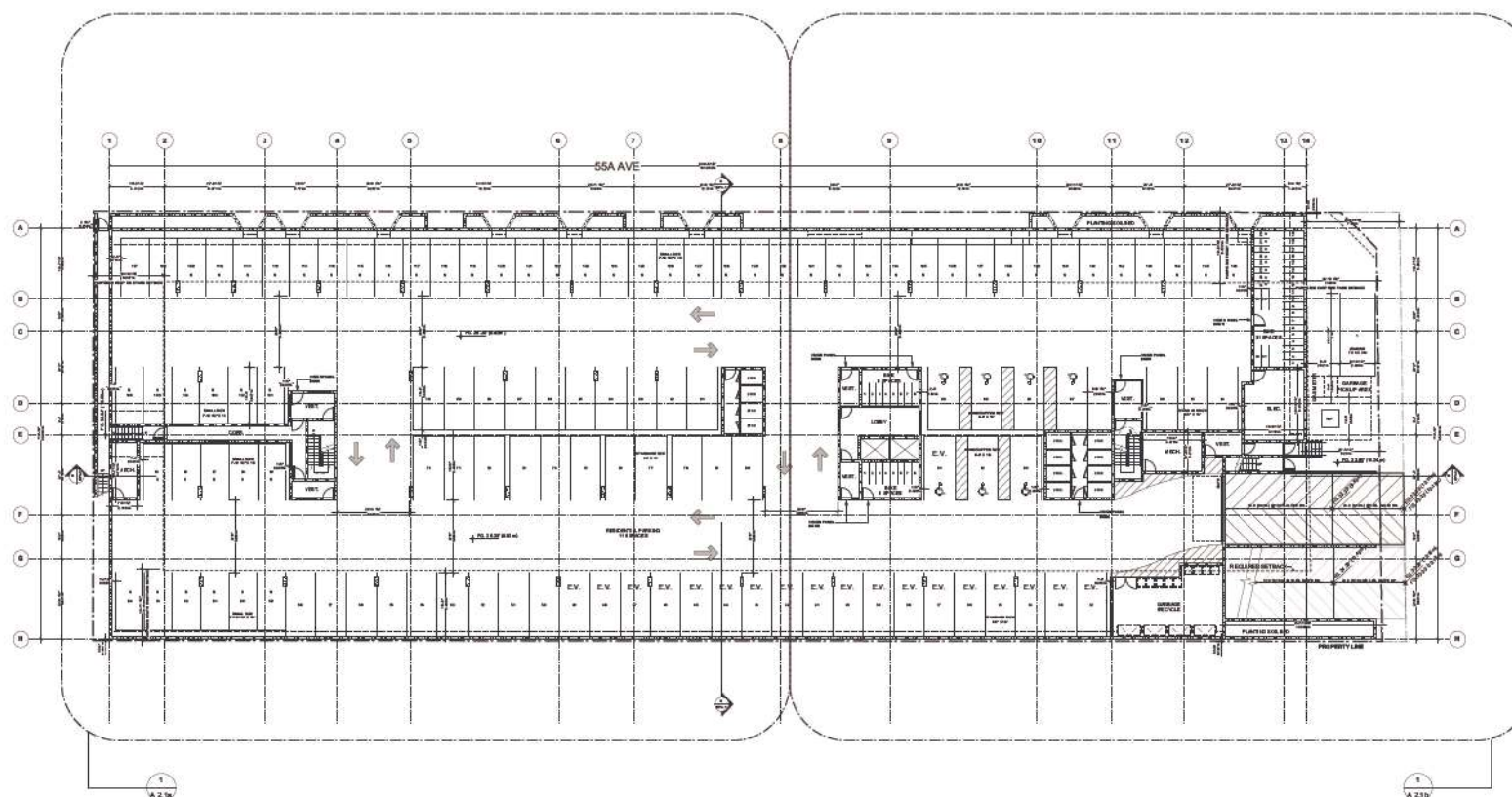


date	revision
JUN. 08 2023	Issued For RZ + DP Submission
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JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

**ANDREW CHEUNG
ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5
Tel (604) 695-2088
Fax (604) 695-1889

project 19948 55a AVE. LANGLEY, BC	
title SITE PLAN	
project number 21817	revision 1/16"=1'-0"
drawn d.b.	checked n.b.
drawing number DP 1.1	



1 PARKING KEY PLAN
1/16"=1'-0" (1:192)

ALL PARKING STALLS HAVE ROUGHED-IN WIRING FOR FUTURE E.V. CHARGING



date	revision
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

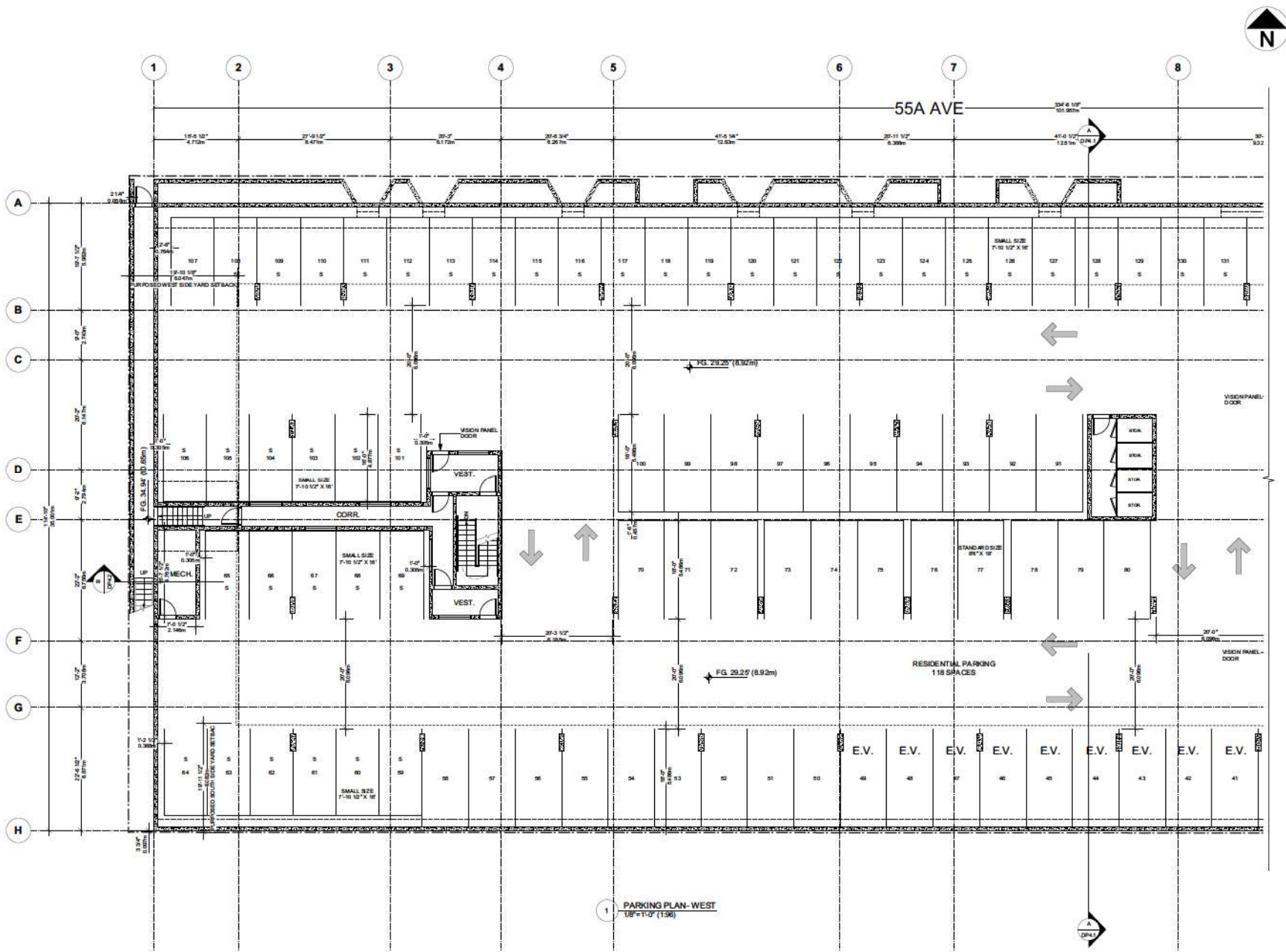
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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5
Tel: (604) 685-2088
Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC	
title PARKING PLAN P1 KEY	
project number 21817	sheet number DP 2.1
drawn C. Cheung	checked A. Cheung
drawing number DP 2.1	

This is a preliminary drawing and is not to be used for construction without the approval of the architect.



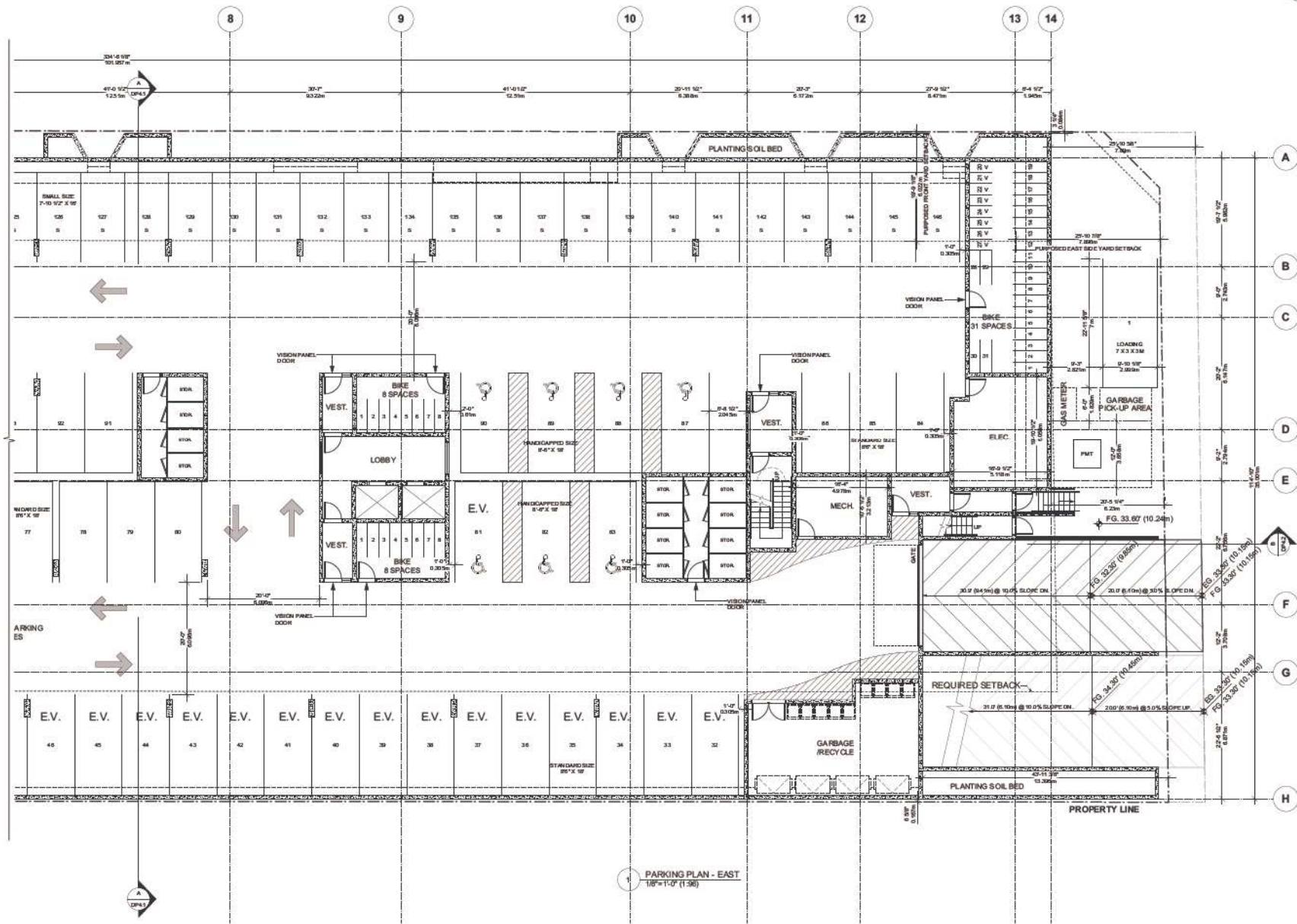
date: revised:
 JUN. 08 2023 Issued For R2 + DP Submission
 JUN. 10 2023 Issued For R2 + DP Revision
 JUL. 12 2023 Issued For R2 + DP Revision
 AUG. 24 2023 Issued For ADP Revision

consultant:

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Suite 208
 1525 W 8th Avenue
 Vancouver, B.C.
 V6J 1T5
 Tel: (604) 685-2088
 Fax: (604) 685-1889

project 19948 55a AVE. LANGLEY, BC	
file PARKING P1 PLAN - WEST	
project number 21817	file name
drawn dml	checked acw
scale 1/8"=1'-0"	drawing number DP 2.1a

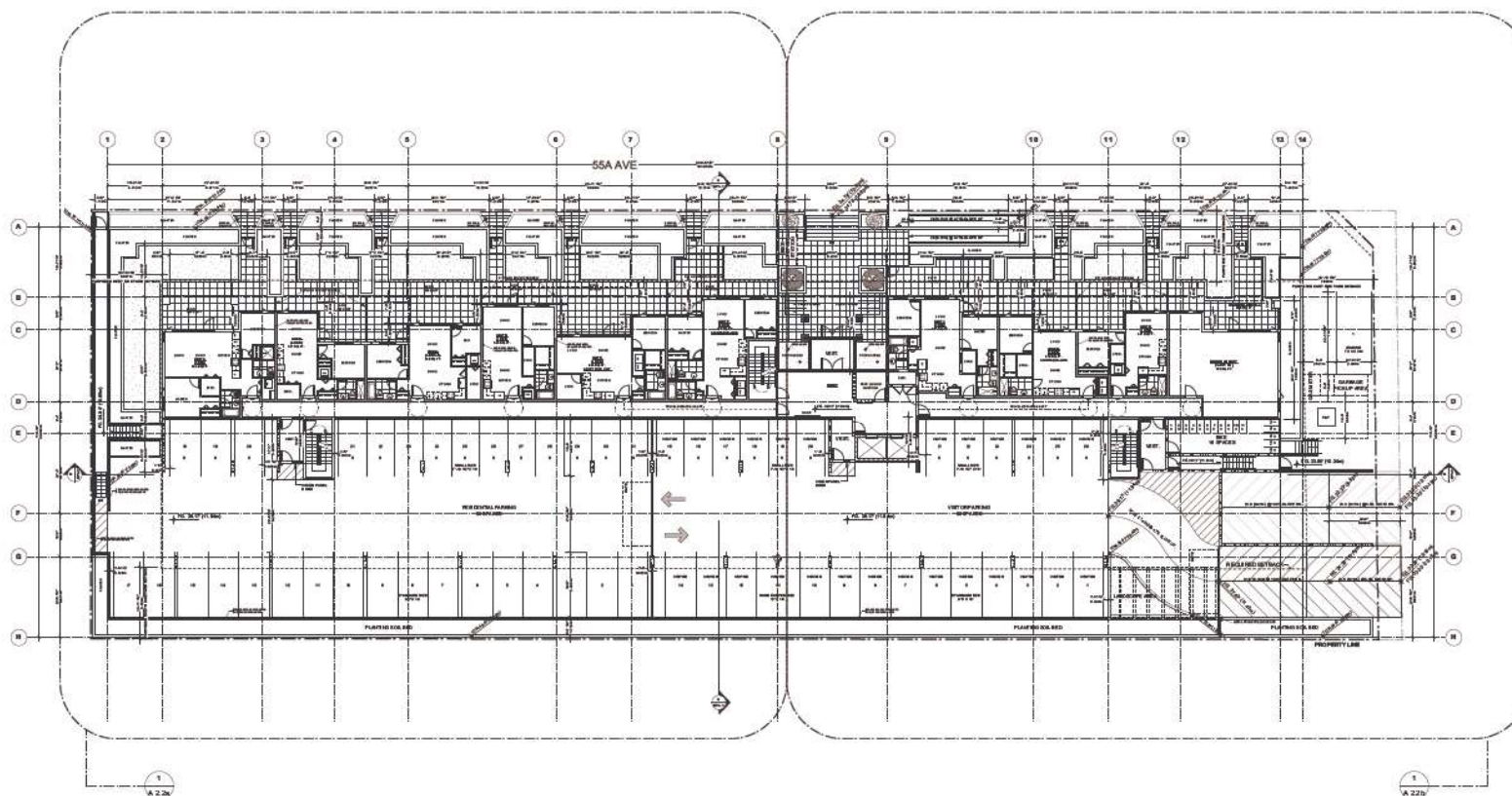


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JUN. 08 2023	Issued For RC + DP Submission
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Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T6
Tel (604) 695-2088
Fax (604) 695-1899

project 1948 55a AVE. LANGLEY, BC	
site PARKING P1 PLAN - EAST	
project number 218 17	sheet number 1 of 1
drawn C.M.	checked M.C.
scale 1/8"=1'-0"	
drawing number DP 2.1b	



ALL PARKING STALLS HAVE ROUGHED-IN WIRING FOR FUTURE E.V. CHARGING

1 GROUND FLOOR KEY PLAN
1/16"=1'-0" (1:192)



date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

consultants:

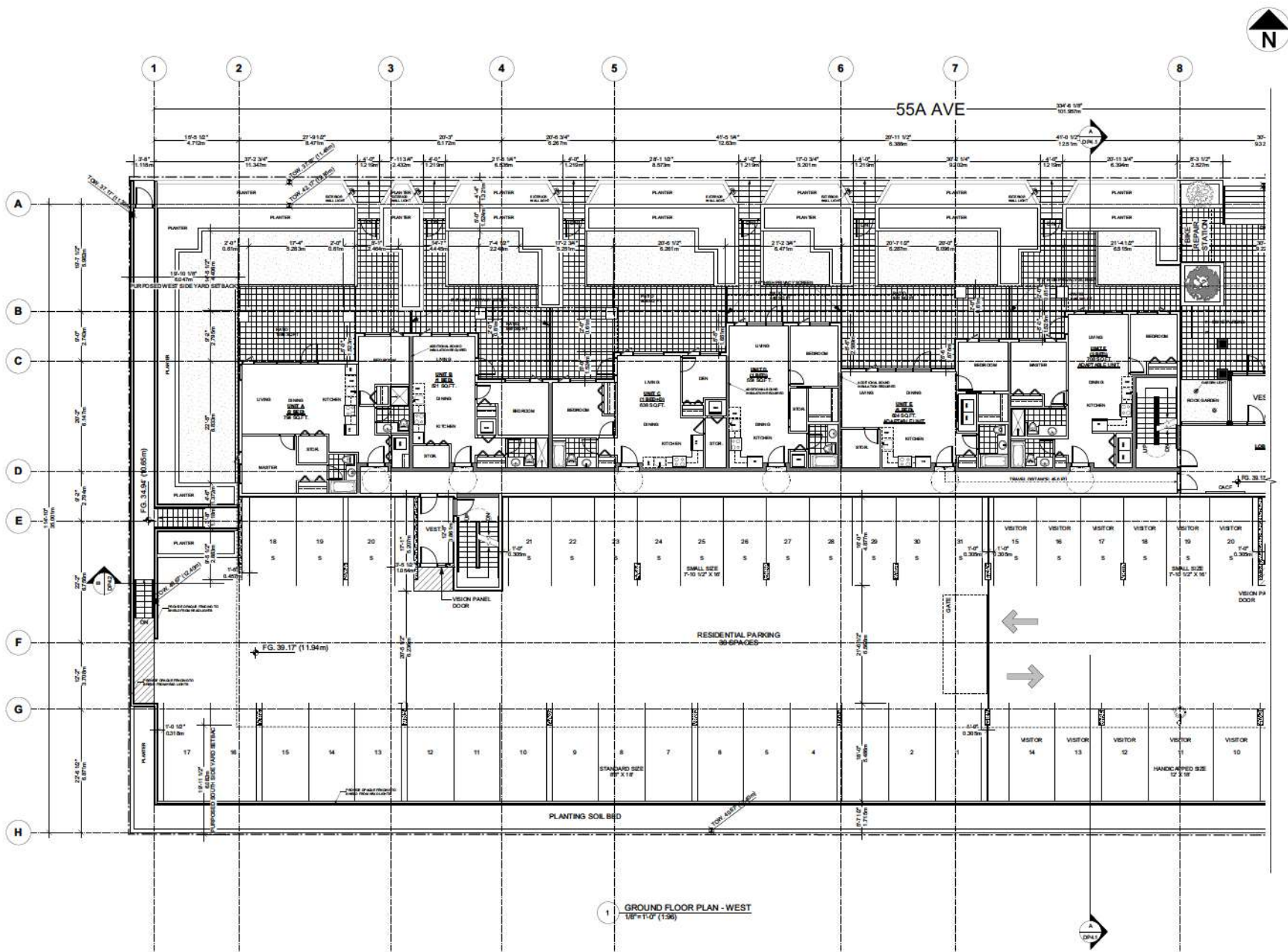
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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5

Tel: (604) 685-2088
Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC	
title GROUND FLOOR PLAN KEY	
project number 21817	sheet number 1 of 1
drawn C. Cheung	checked A. Cheung
drawing number DP 2.2	

This is a preliminary drawing and is not to be used for construction without the approval of the architect.



date: revised:
JUN. 08 2023 Issued For RZ + DP Submission
JUN. 10 2023 Issued For RZ + DP Revision
JUL. 12 2023 Issued For RZ + DP Revision
AUG. 24 2023 Issued For ADP Revision

consultant:

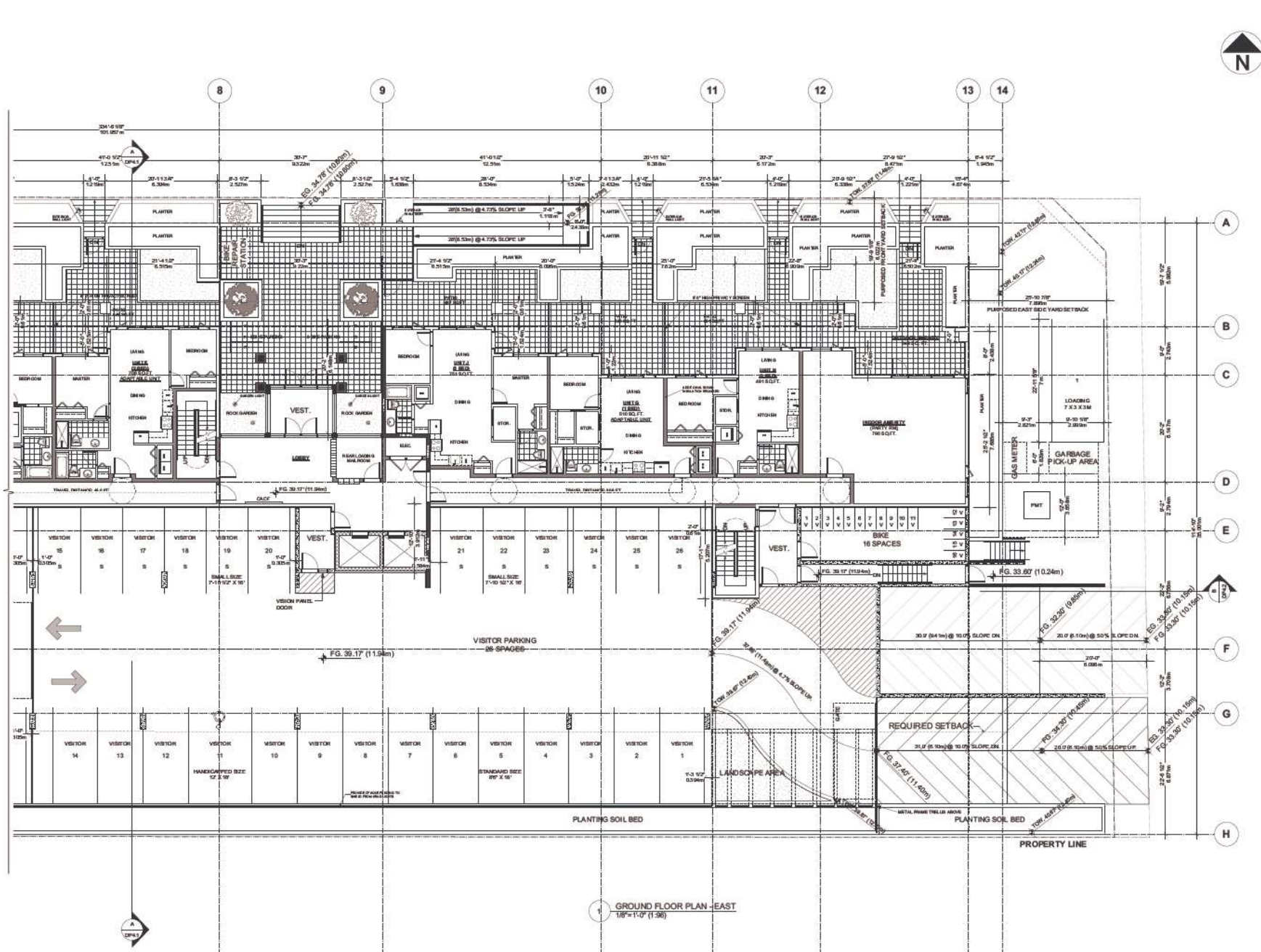
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ARCHITECTS INC.**

Suite 208
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Vancouver, B.C.
V6J 1T5

Tel: (604) 685-2088
Fax: (604) 685-1889

project 19948 55a AVE. LANGLEY, BC	
file GROUND FLOOR PLAN WEST	
project number 21817	file name
drawn date:	checked date:
scale 1/8"=1'-0"	
drawing number DP 2.2a	

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date	revision
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

consultants:

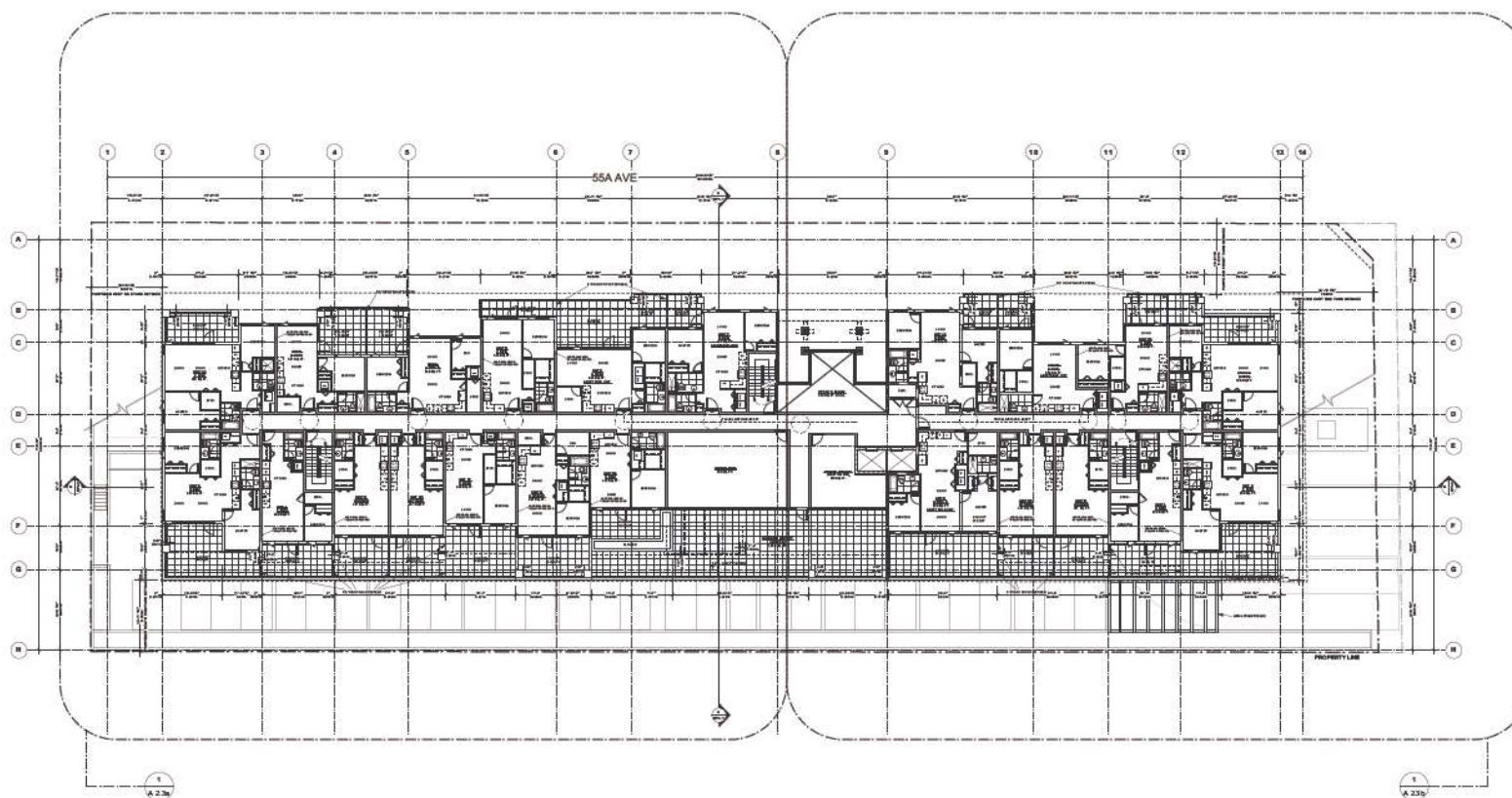
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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T6

Tel: (604) 695-2088
Fax: (604) 695-1899

project 19948 55a AVE. LANGLEY, BC	
title GROUND FLOOR PLAN EAST	
project number 21817	drawn by JL
checked by JL	scale 1/8"=1'-0"
drawing number DP 2.2b	

This is a preliminary drawing and is not to be used for construction purposes without the written consent of the architect.



1 SECOND FLOOR KEY PLAN
1/16"=1'-0" (1:192)



date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

consultants:

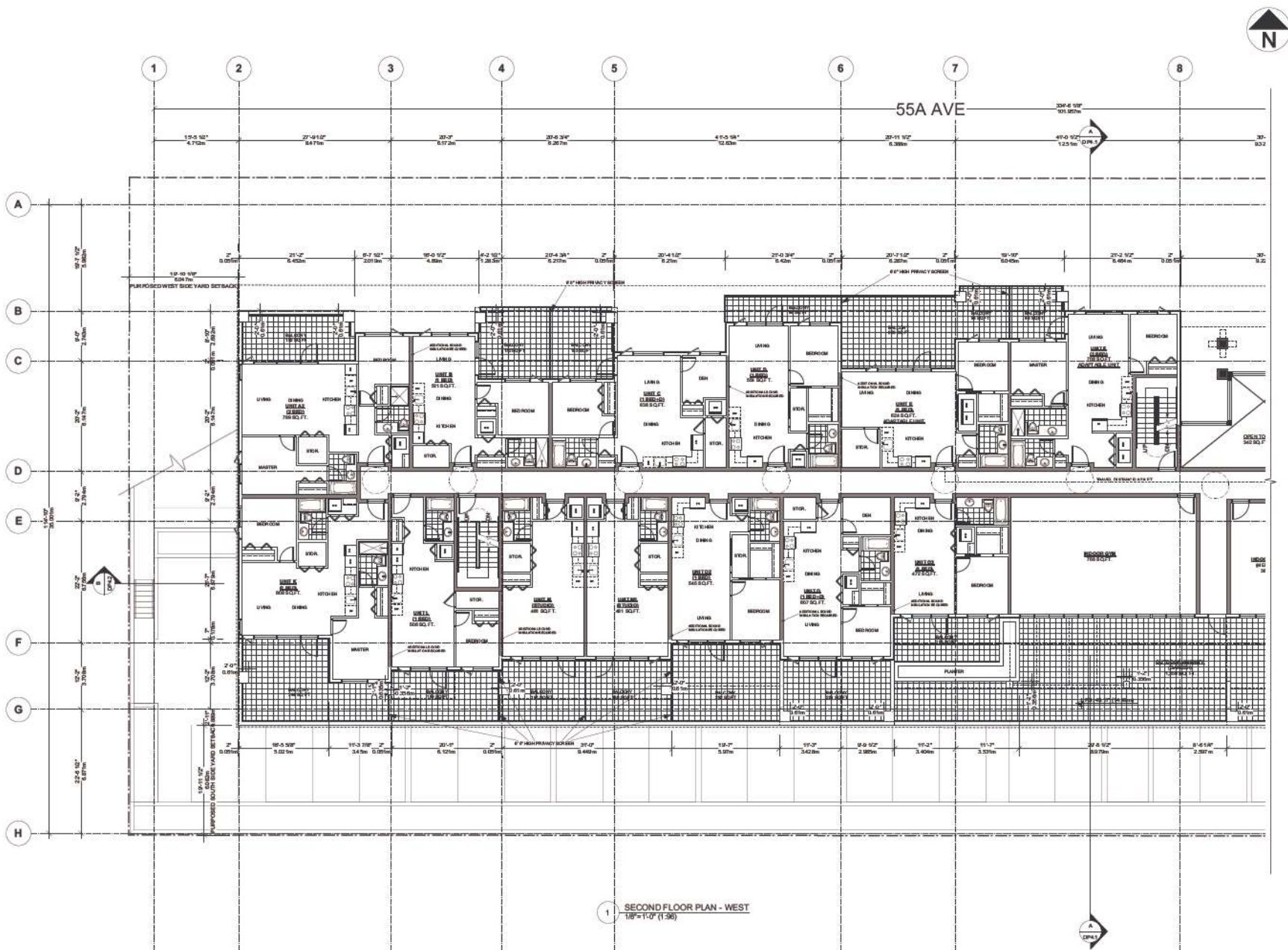
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ARCHITECTS INC.**

Suite 208
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Vancouver, B.C.
V6J 1T5

Tel: (604) 685-2088
Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC	
title SECOND FLOOR PLAN KEY	
project number 218.17	sheet number DP 2.3
drawn C. Cheung	checked A. Cheung
drawing number DP 2.3	

This is a preliminary drawing and is not to be used for construction purposes.

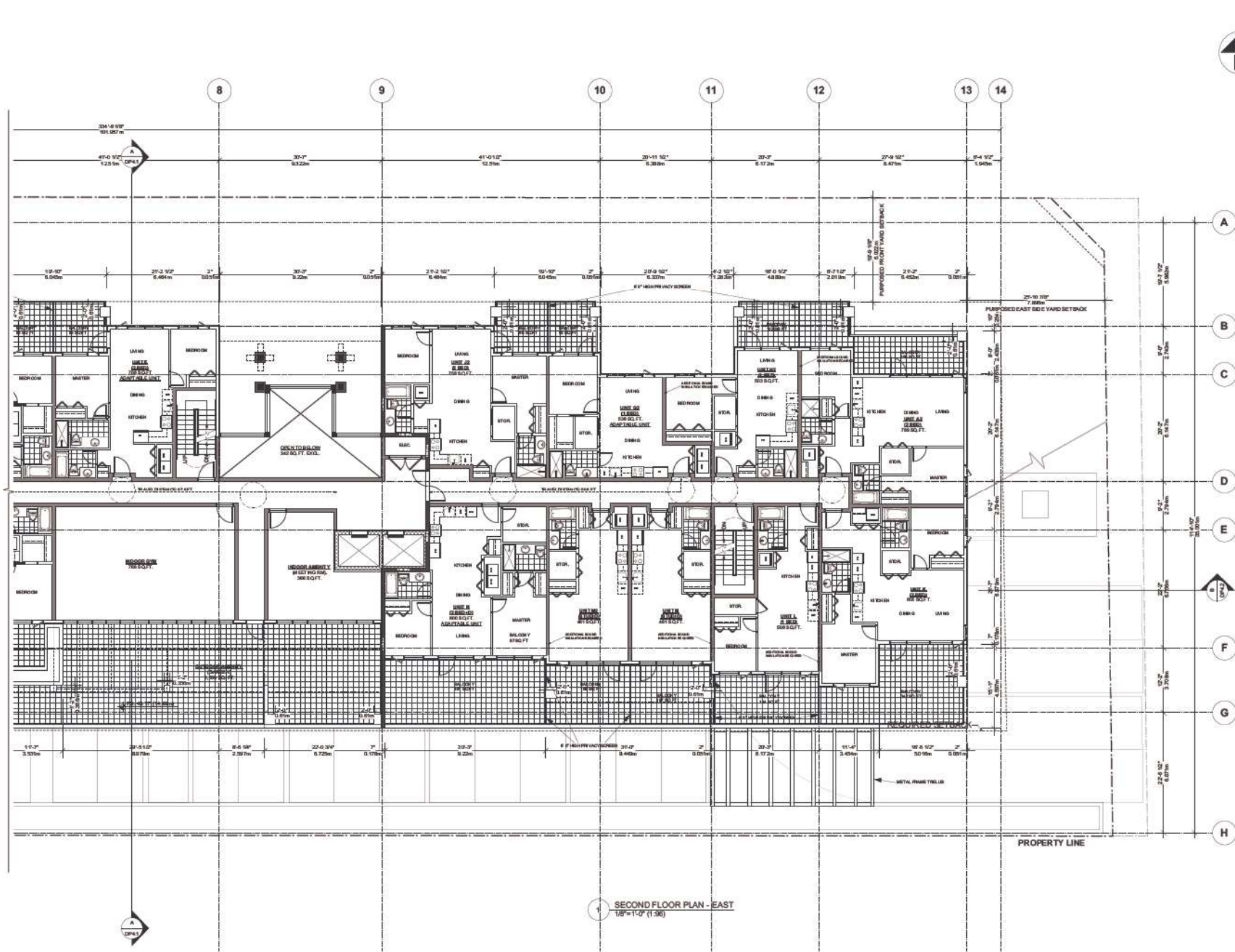


date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
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JUL. 12 2023	Issued For RZ + DP Revision
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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T6
Tel: (604) 695-2088
Fax: (604) 695-1899

project 19948 55a AVE. LANGLEY, BC	
file SECOND FLOOR PLAN WEST	
project number 21817	file name
drawn C.M.	checked C.M.
scale 1/8"=1'-0"	drawing number DP 2.3a



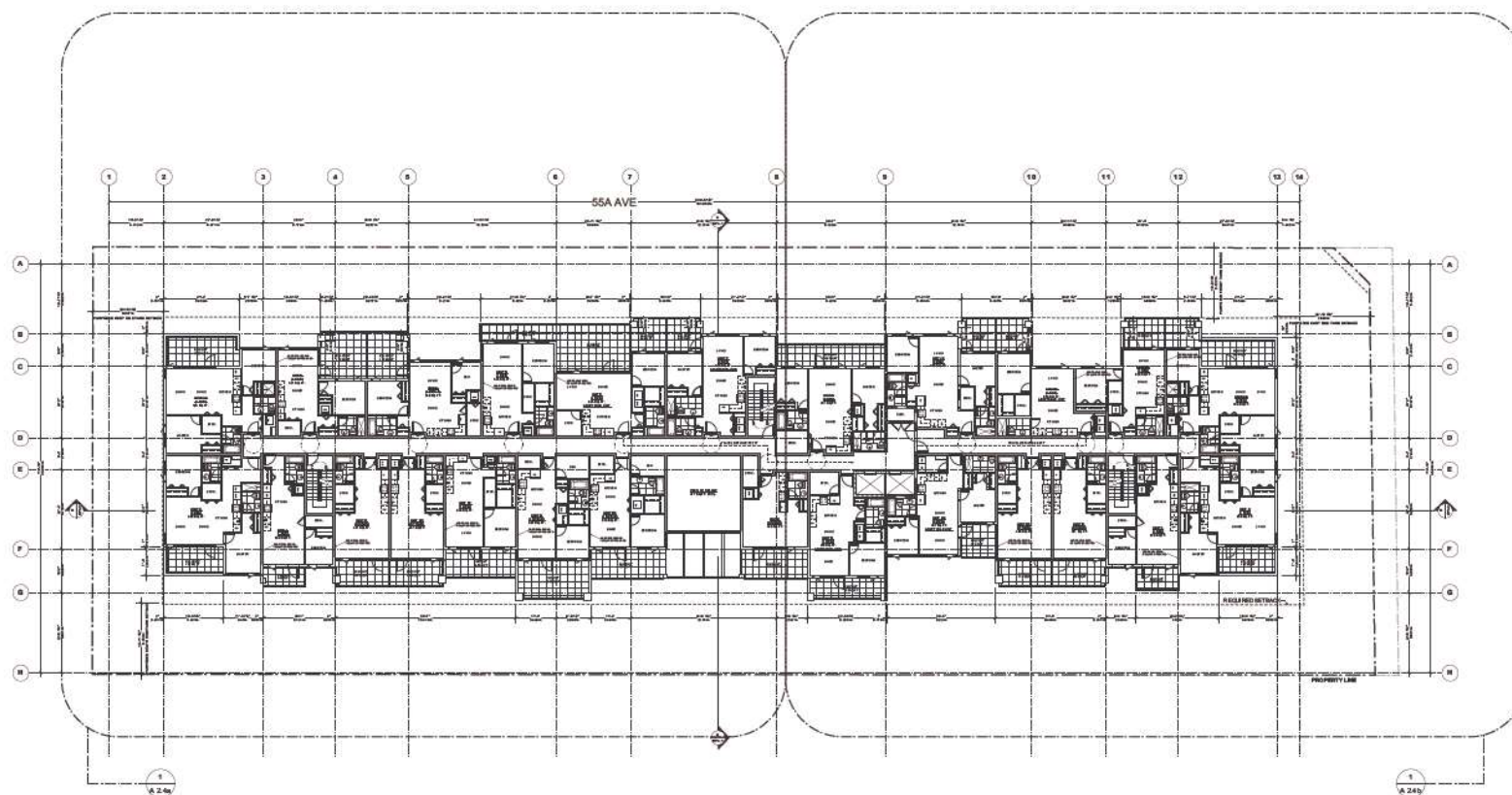
date	revision
JUN. 08 2023	Issued For RC + DP Submission
JUN. 10 2023	Issued For RC + DP Revision
JUL. 12 2023	Issued For RC + DP Revision
AUG. 24 2023	Issued For ACP Revision

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ARCHITECTS INC.**

Suite 208
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Vancouver, B.C.
V6J 1T5
Tel: (604) 695-2088
Fax: (604) 695-1899

project 19948 55a AVE. LANGLEY, BC	
sheet SECOND FLOOR PLAN EAST	
project number 21817	sheet number DP 2.3b
drawn C.M.B.	checked M.B.B.
drawing number DP 2.3b	

This is a preliminary drawing and is not to be used for construction without the architect's approval.



1 THIRD FLOOR KEY PLAN
1/16"=1'-0" (1:192)



date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

consultants:

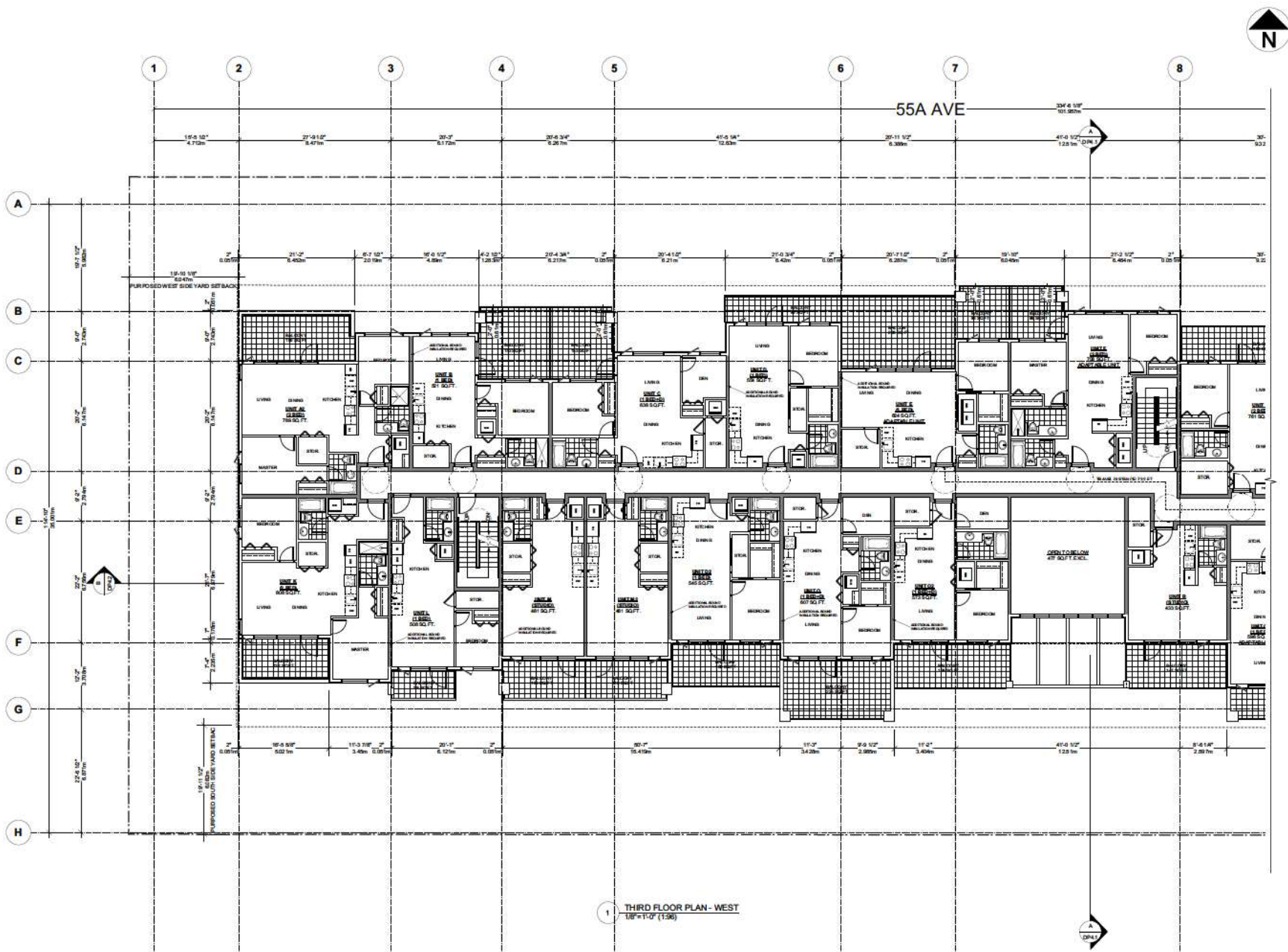
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ARCHITECTS INC.**

Suite 208
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Vancouver, B.C.
V6J 1T5

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Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC	
title THIRD FLOOR PLAN KEY	
project number 218 17	file name
drawn C.B.S.	checked M.B.S.
drawing number DP 2.4	

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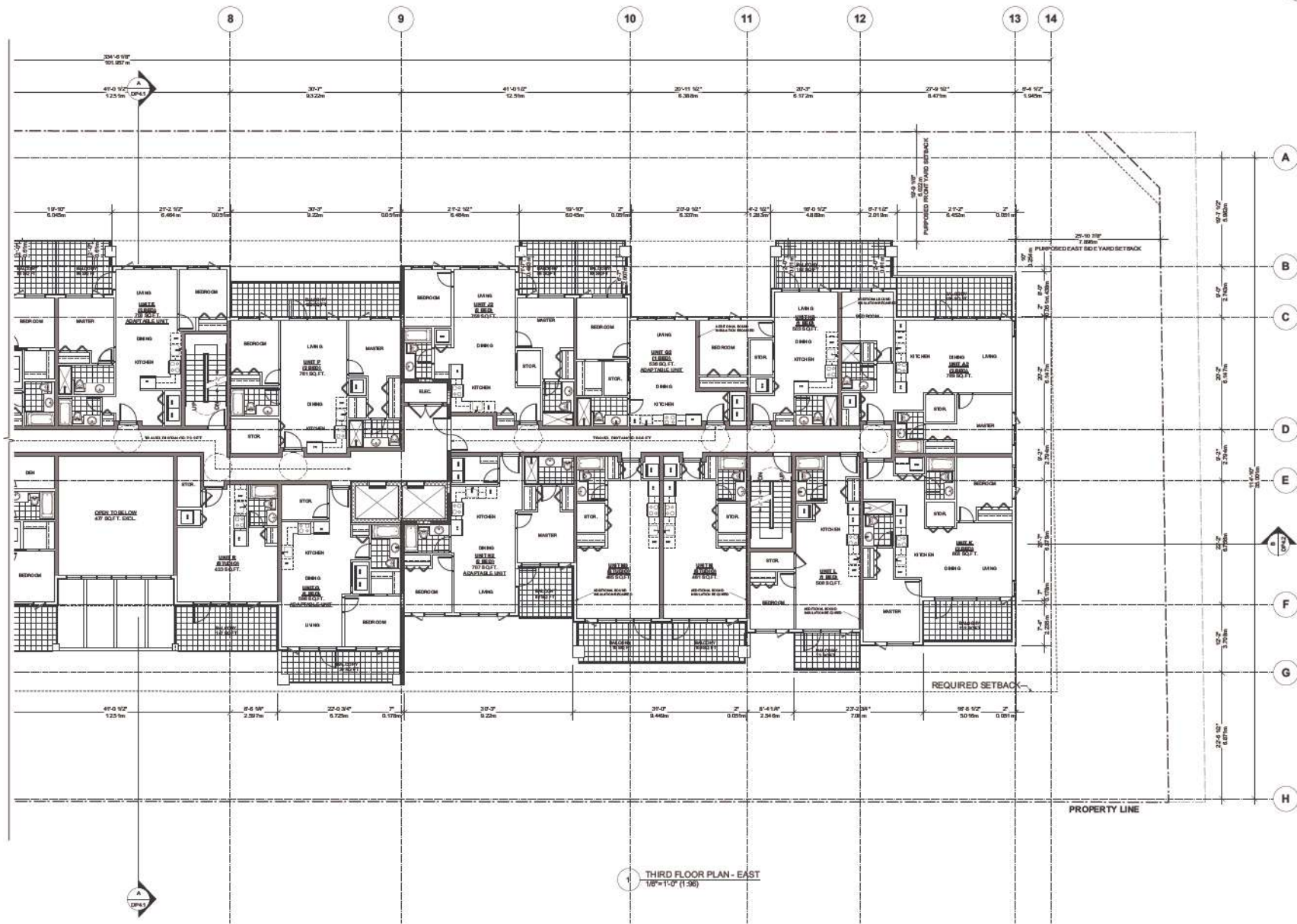


Date: 1994.08.23
 JUN. 08. 2023 Issued For R2 + DP Submission
 JUN. 10. 2023 Issued For R2 + DP Revision
 JUL. 12. 2023 Issued For R2 + DP Revision
 AUG. 24. 2023 Issued For ADP Revision

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ARCHITECTS INC.

Suite 208
 1525 W 8th Avenue
 Vancouver, B.C.
 V6J 1T5
 Tel: (604) 685-2088
 Fax: (604) 685-1889

project 19948 55a AVE. LANGLEY, BC	
file THIRD FLOOR PLAN WEST	
project number 21817	file name
drawn dml	checked acw
scale 1/8"=1'-0"	
drawing number DP 2.4a	

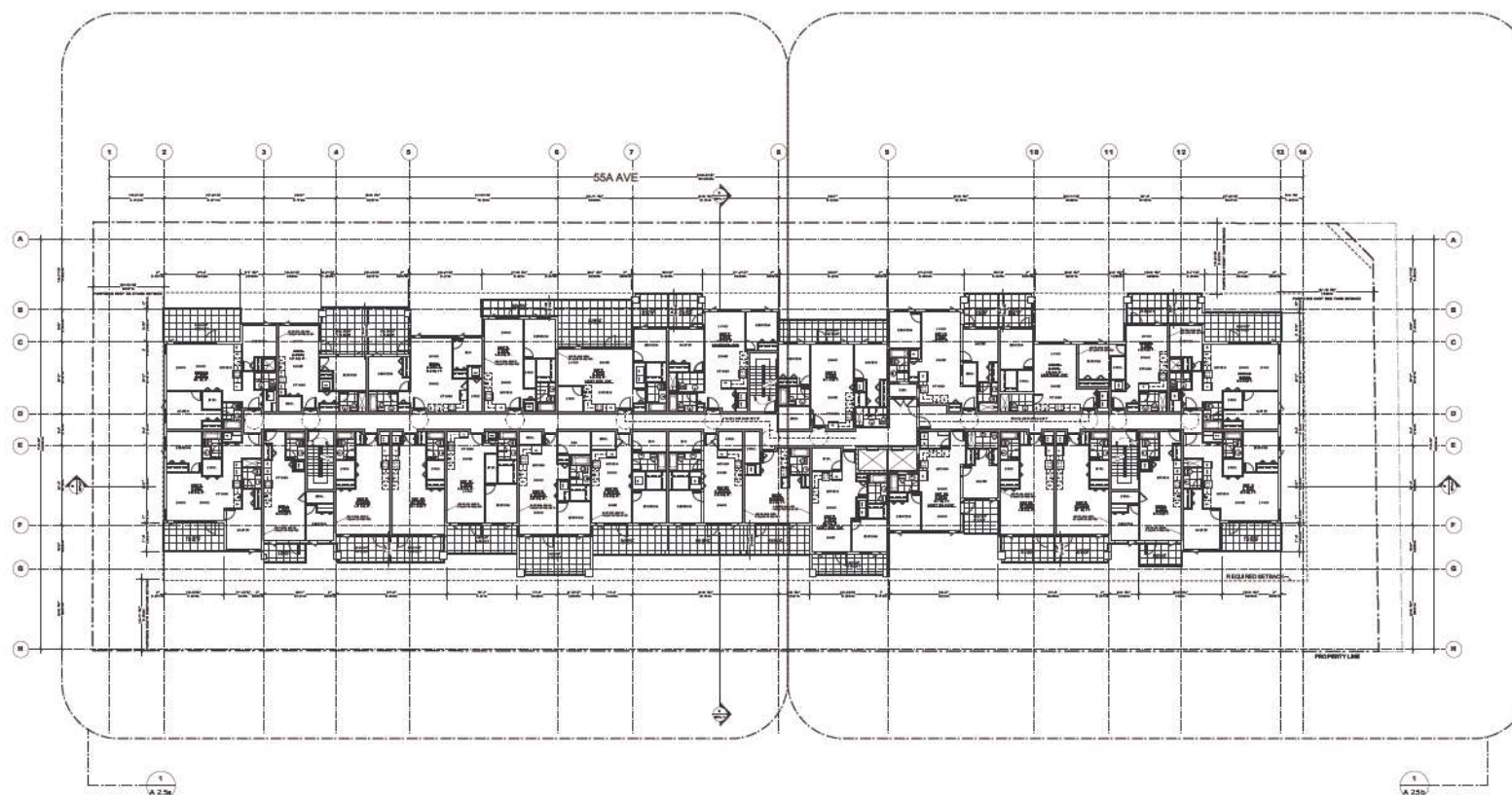


date	revision
JUN. 08 2023	Issued For RC + DP Submission
JUN. 10 2023	Issued For RC + DP Revision
JUL. 12 2023	Issued For RC + DP Revision
AUG. 24 2023	Issued For ACP Revision

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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T6
Tel: (604) 695-2088
Fax: (604) 695-1899

project 19948 55a AVE. LANGLEY, BC	
file THIRD FLOOR PLAN EAST	
project number 218 17	file name
drawn C.M.B.	checked M.B.
scale 1/8"=1'-0"	drawing number DP 2.4b



1 FOURTH & FIFTH FLOOR KEY PLAN
1/16"=1'-0" (1:192)



date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

consultants:

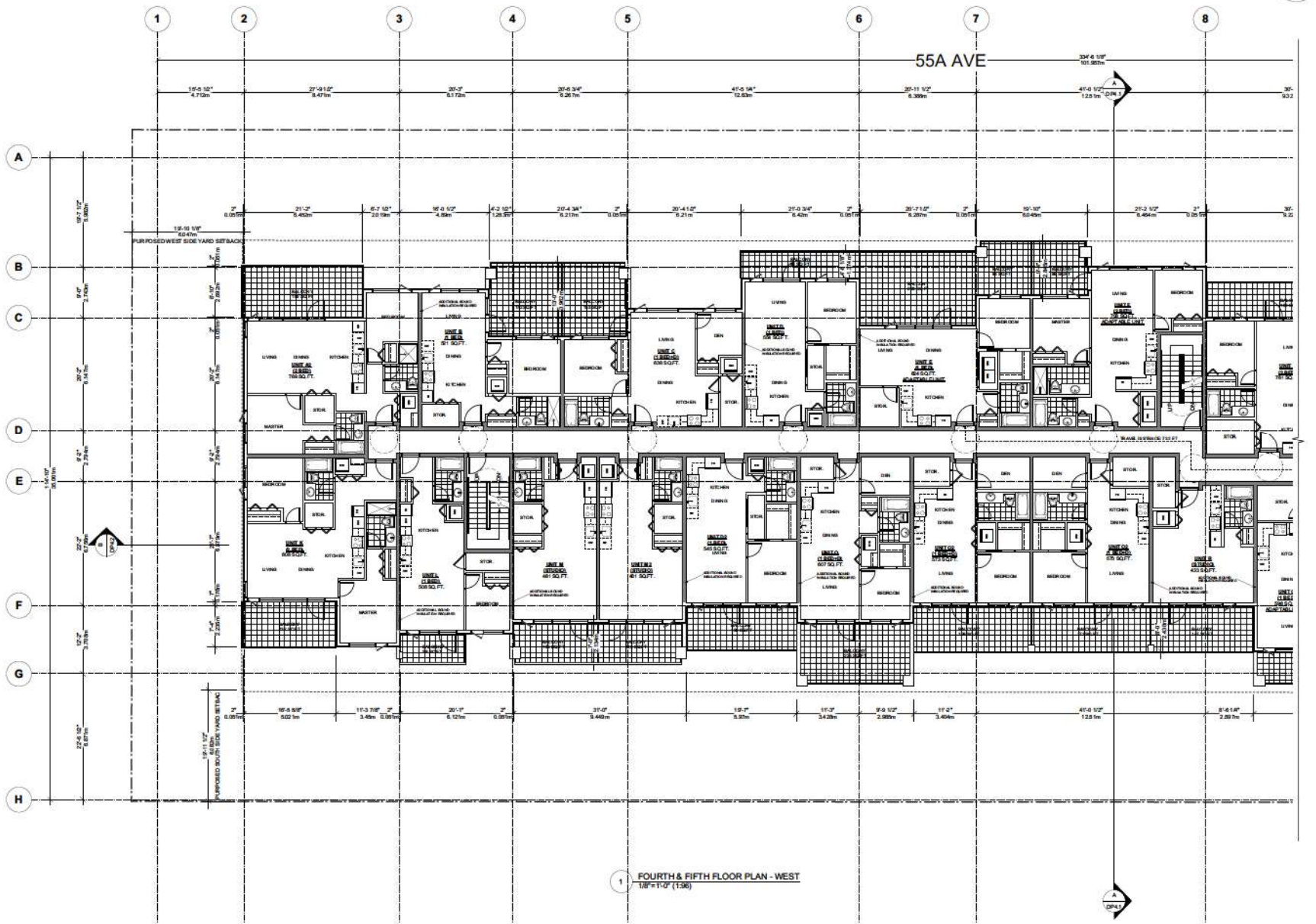
**ANDREW CHEUNG
ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5

Tel: (604) 685-2088
Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC	
title FOURTH & FIFTH FLOOR PLAN KEY	
project number 218.17	file name
drawn C.M.B.	checked M.B.B.
scale 1/16"=1'-0"	drawing number DP 2.5

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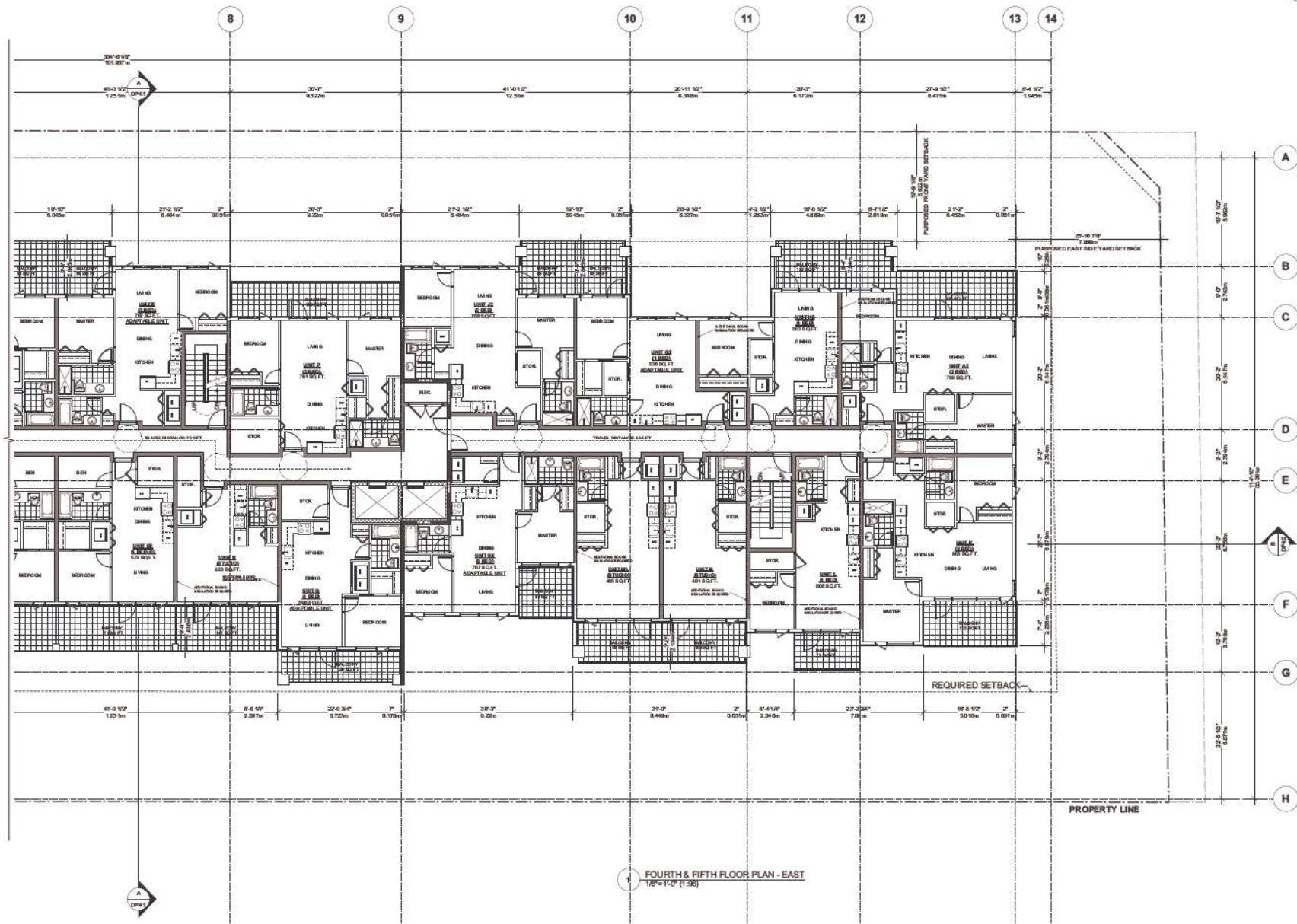


Date: 19/08/2023
 JUN 08 2023 Issued For RZ + DP Submission
 JUN 10 2023 Issued For RZ + DP Revision
 JUL 12 2023 Issued For RZ + DP Revision
 AUG 24 2023 Issued For ADP Revision

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Suite 208
 1525 W 8th Avenue
 Vancouver, B.C.
 V6J 1T5
 Tel: (604) 685-2088
 Fax: (604) 685-1889

project 19948 55a AVE. LANGLEY, BC	
file FOURTH & FIFTH FLOOR PLAN WEST	
project number 21817	file name
drawn date:	scale 1/8"=1'-0"
checked date:	drawing number DP 2.5a



Date	Revision
JUN. 08 2023	Issued For RC + DP Submission
JUN. 10 2023	Issued For RC + DP Revision
JUL. 12 2023	Issued For RC + DP Revision
AUG. 24 2023	Issued For ACP Revision

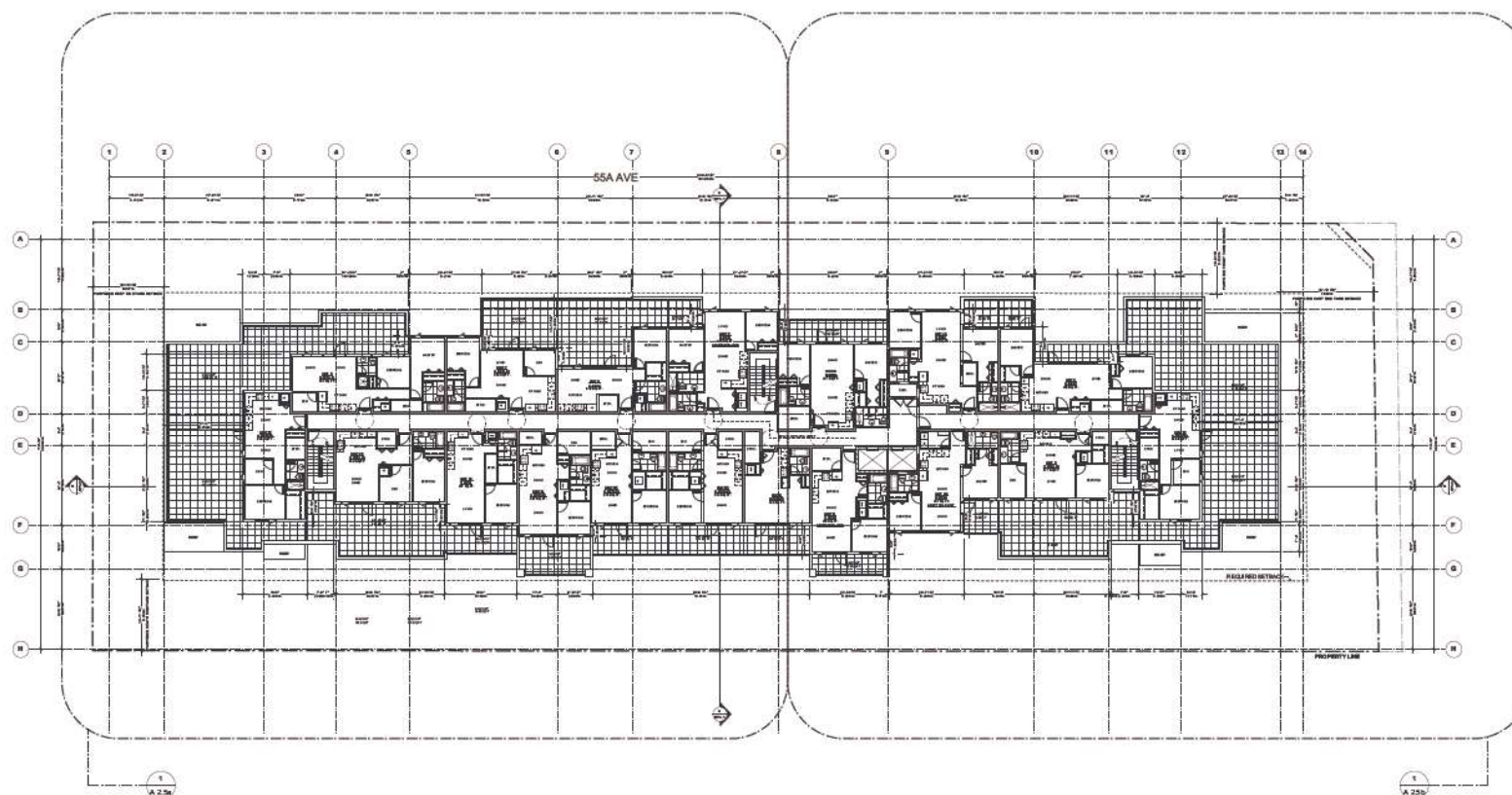
consult to:

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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5
Tel: (604) 695-2088
Fax: (604) 695-1899

project 19948 55a AVE. LANGLEY, BC	
file FOURTH & FIFTH FLOOR PLAN EAST	
project number 218 17	file name
drawn C.M.B.	checked M.B.B.
scale 1/8"=1'-0"	drawing number DP 2.5b

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1 SIXTH FLOOR KEY PLAN
1/8"=1'-0" (1:96)

date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ACP Revision
CONSULTANTS:	

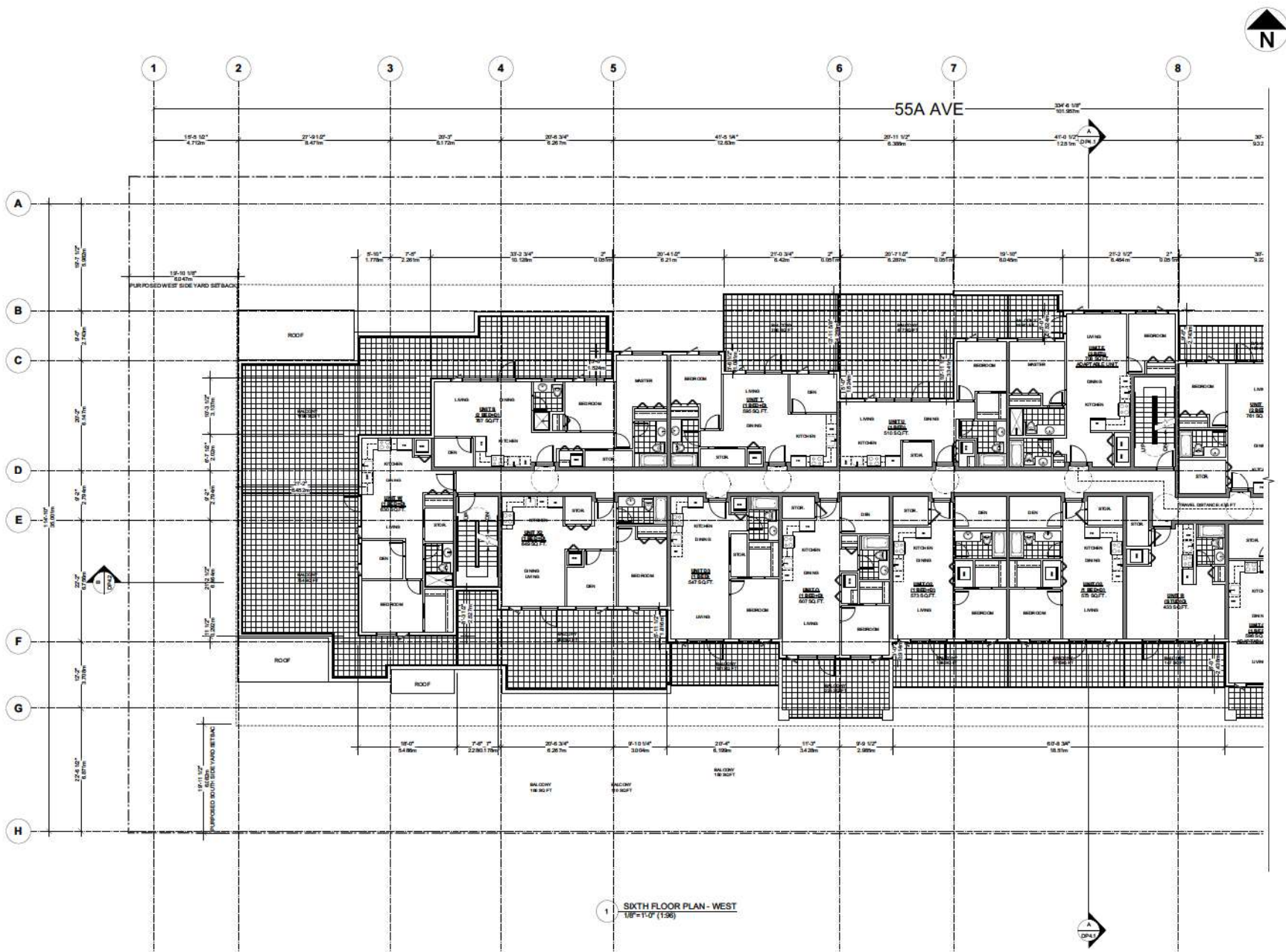
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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5

Tel: (604) 685-2088
Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC	
title SIXTH FLOOR PLAN KEY	
project number 218.17	file name
drawn C. Cheung	checked M. Cheung
scale 1/8"=1'-0"	drawing number DP 2.6

This is a preliminary drawing and is not to be used for construction purposes without the approval of the architect.



date revision
JUN. 08 2023 Issued For RZ + DP Submission
JUN. 10 2023 Issued For RZ + DP Revision
JUL. 12 2023 Issued For RZ + DP Revision
AUG. 24 2023 Issued For ADP Revision

corrected by:

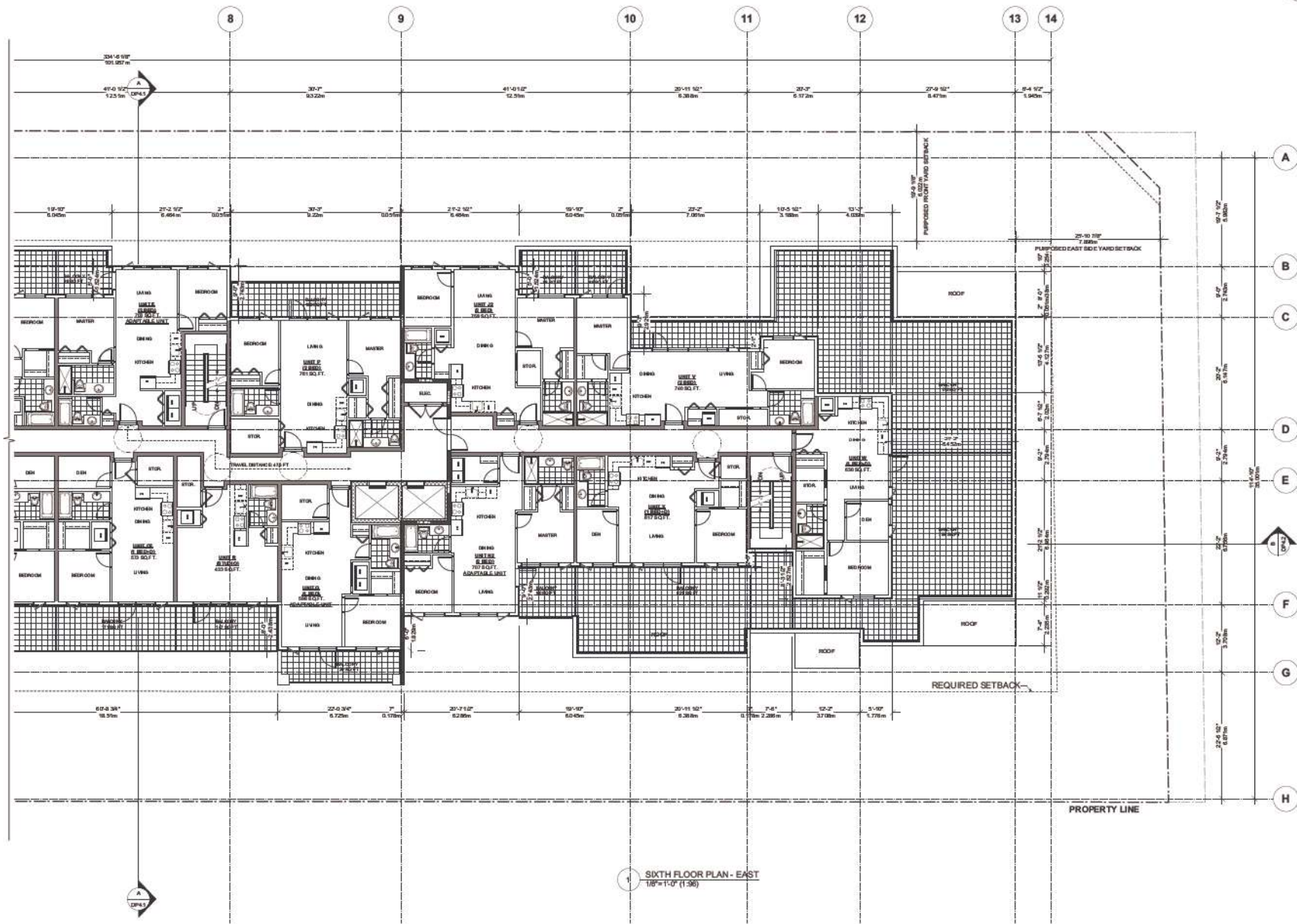
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ARCHITECTS INC.**

Suite 208
1525 W 8th Avenue
Vancouver, B.C.
V6J 1T5

Tel: (604) 685-2088
Fax: (604) 685-1889

project 19948 55a AVE. LANGLEY, BC	
file SIXTH FLOOR PLAN WEST	
project number 21817	file name
drawn date:	checked date:
scale 1/8"=1'-0"	
drawing number DP 2.6a	

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SIXTH FLOOR PLAN - EAST
1/8"=1'-0" (1:36)



date	revision
JUN. 08 2023	Issued For RC + DP Submission
JUN. 10 2023	Issued For RC + DP Revision
JUL. 12 2023	Issued For RC + DP Revision
AUG. 24 2023	Issued For ACP Revision

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ARCHITECTS INC.**

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V6J 1T5
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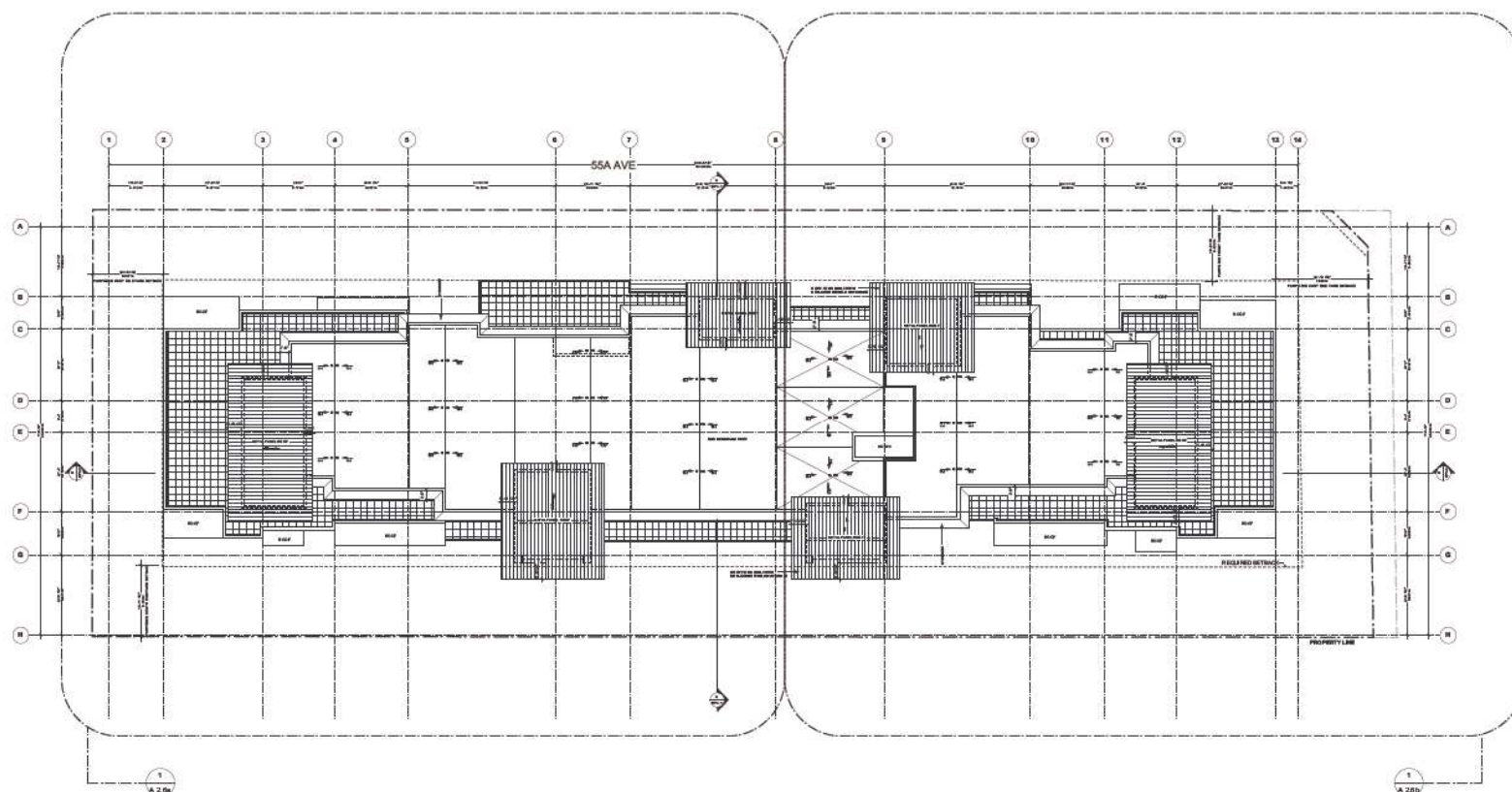
project 19948 55a AVE. LANGLEY, BC	
file SIXTH FLOOR PLAN EAST	
project number 218.17	file name
drawn C.M.B.	checked M.B.
scale 1/8"=1'-0"	drawing number DP 2.6b

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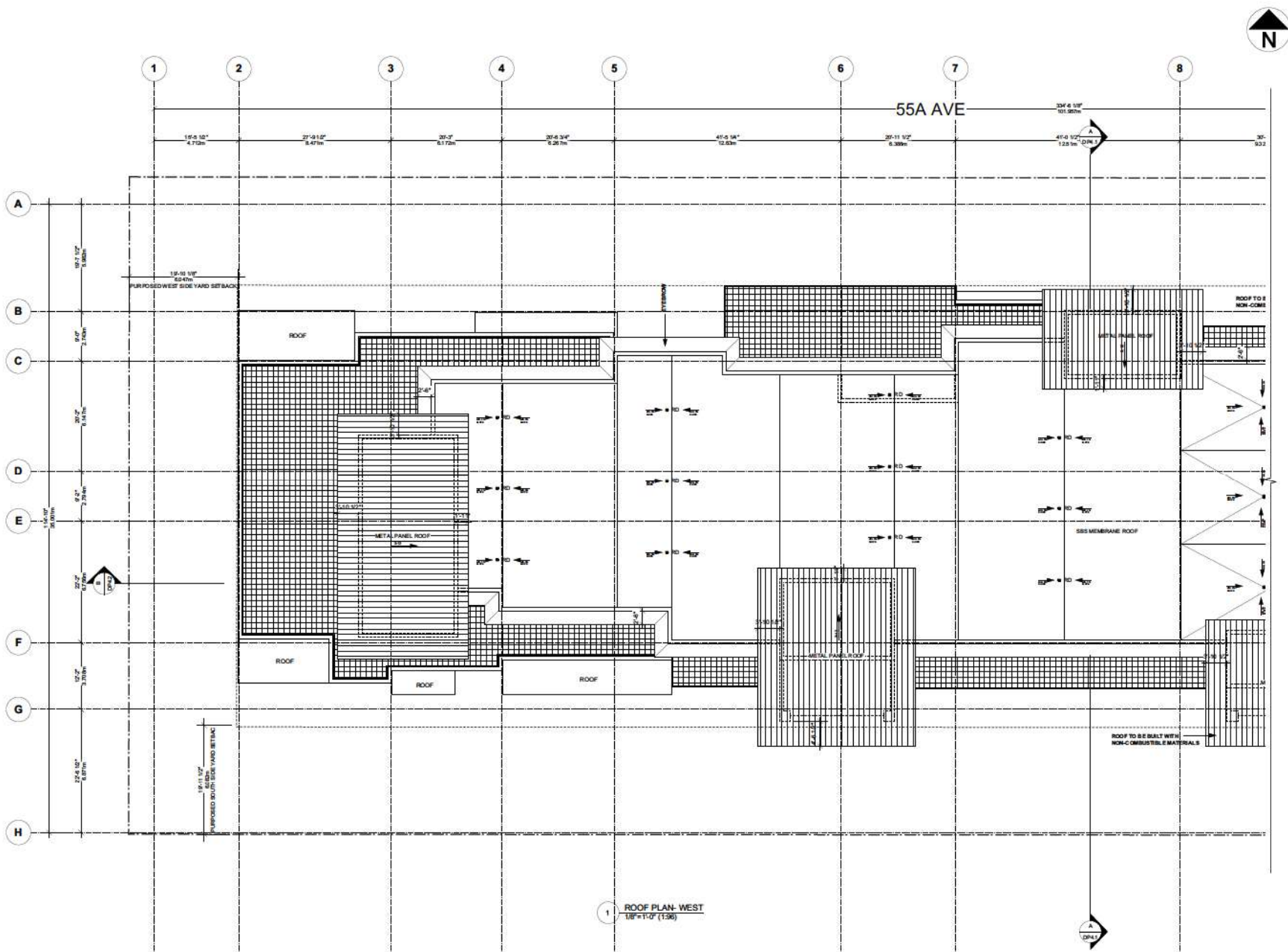
1 ROOF KEY PLAN
1/16"=1'-0" (1:192)

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project 19948 55a AVE. LANGLEY, BC	
title ROOF PLAN KEY	
project number 21817	scale 1/16"=1'-0"
drawn C.B.	checked A.C.
drawing number DP 2.7	

This is not a scale drawing. All dimensions shall comply with the project specifications.



19948 55a AVE. LANGLEY, BC

REGISTERED ARCHITECT
ANDREW CHEUNG
VANCOUVER
BRITISH COLUMBIA

date: JUN 08 2023 JUN 10 2023 JUL 12 2023 AUG 24 2023

revision: Issued For RZ + DP Submission Issued For RZ + DP Revision Issued For RZ + DP Revision Issued For ADP Revision

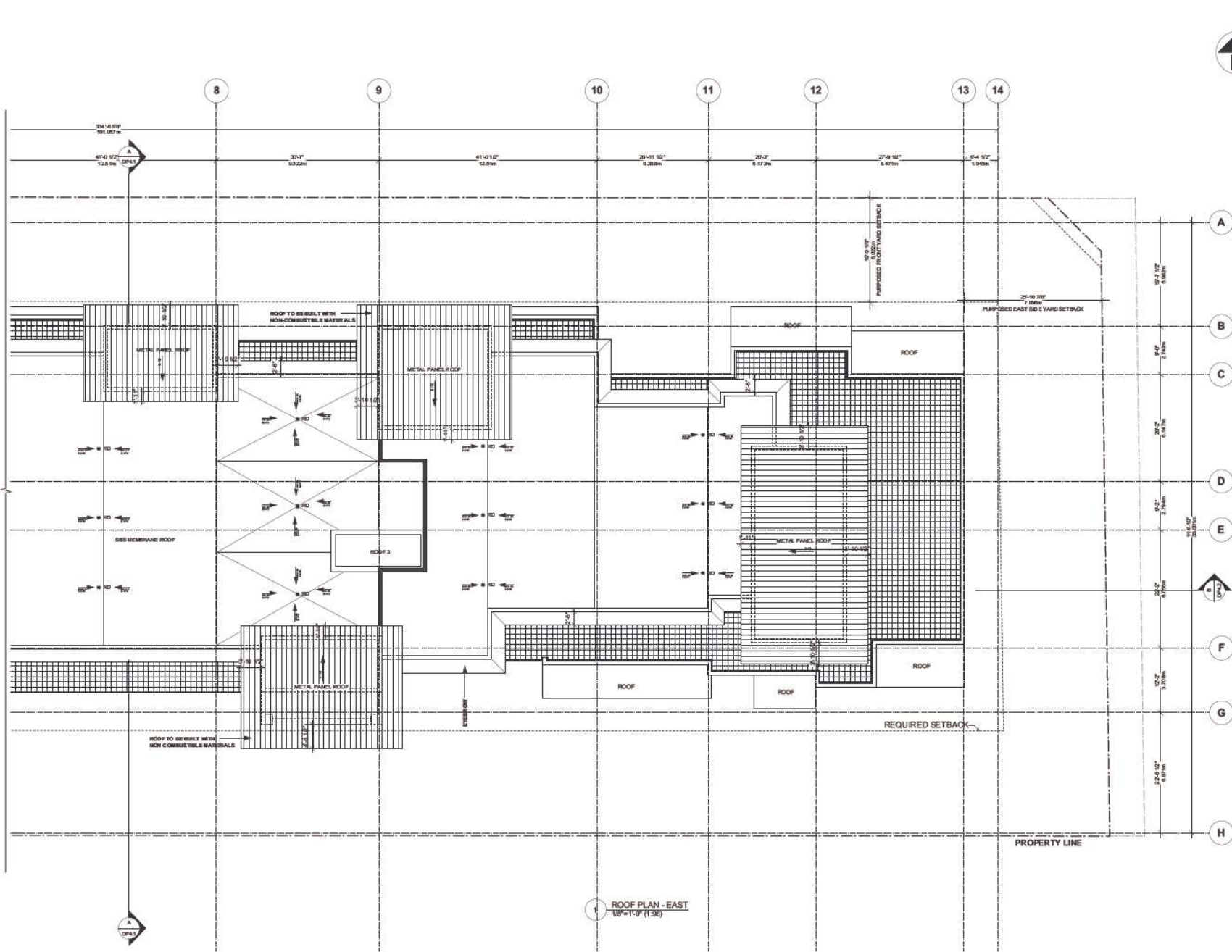
consultant:

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Tel: (604) 685-2088
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project 19948 55a AVE. LANGLEY, BC		file name ROOF PLAN WEST	
project number 21817	drawn dml	checked scb	scale 1/8"=1'-0"
drawing number DP 2.7a		drawing number DP 2.7a	



date	revision
JUN. 08 2023	Issued For RC + DP Submission
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project 19948 55a AVE. LANGLEY, BC	
title ROOF PLAN EAST	
project number 21817	file name
drawn CMB	checked MGB
scale 1/8" = 1'-0"	drawing number DP 2.7b



1 NORTH KEY ELEVATION
3/32" = 1'-0" (1:128)



date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
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project 19948 55a AVE. LANGLEY, BC	
title NORTH ELEVATION KEY	
project number 21817	file name
drawn C.M.B.	checked M.B.B.
scale 3/32" = 1'-0"	drawing number DP 3.1

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LEGEND

1. BRICK
2. HARDIPANEL COLOR 1
3. HARDIPANEL COLOR 2
4. HARDIPANEL COLOR 3
5. HARDIPANEL COLOR 4
6. PREFINISH METAL FASCIA COVER (CHARCOAL GREY)
7. PREFINISH METAL CAP (CHARCOAL GREY)
8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
9. PREFINISH METAL PANEL (CHARCOAL GREY)
10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
11. GLASS RAILING
12. WOOD GRAIN ALUMINUM SOFFIT
13. GLASS RAILING
14. EXPOSED CONCRETE (PAINTED)
15. PREFINISH ALUMINUM FENCING (PAINTED)

NOTE: ALL SLOPED ROOF TO BE STANDING SEAM METAL ASSEMBLY



1 NORTH ELEVATION - EAST (55A Ave.)
1/8" = 1'-0" (1:96)



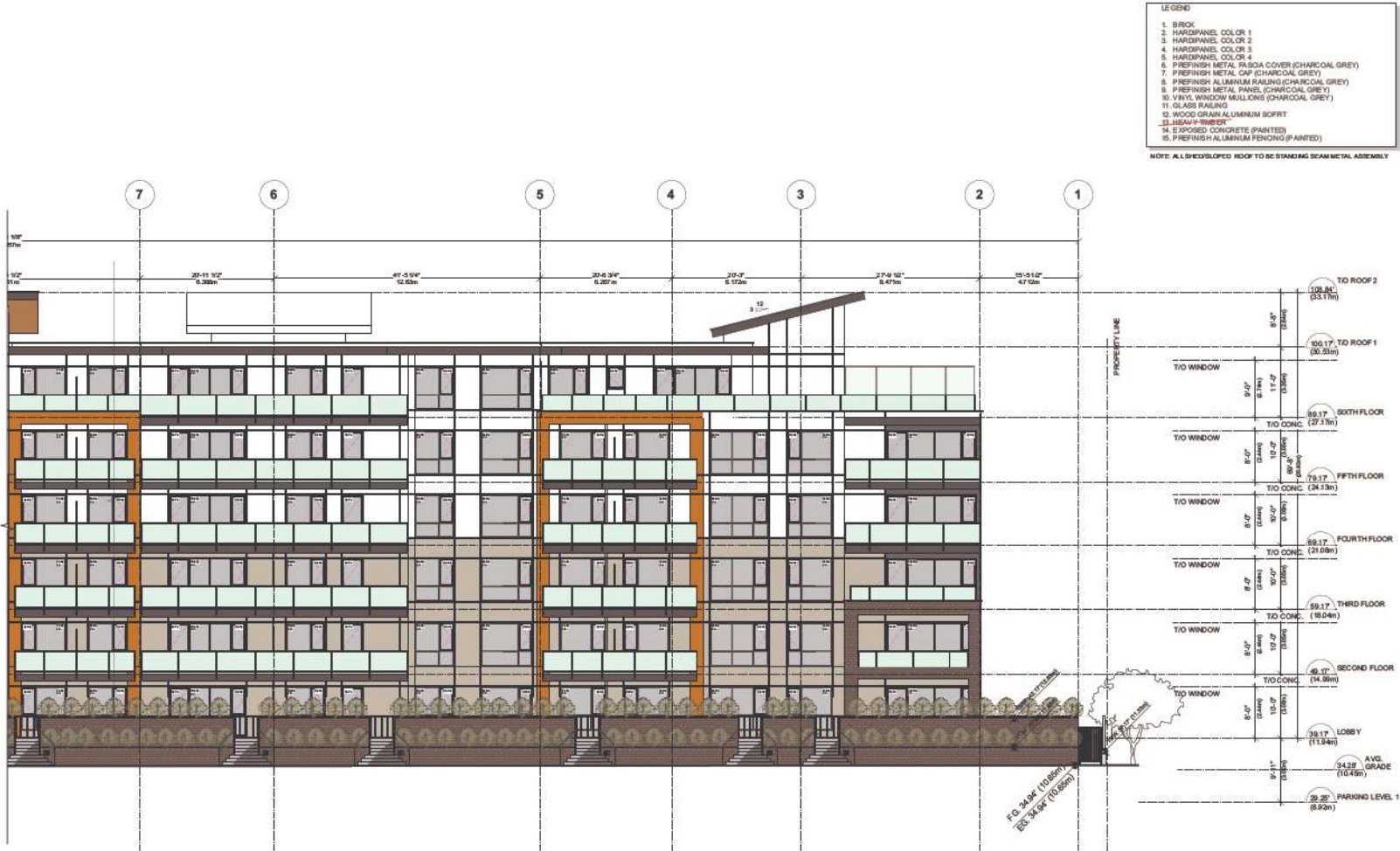
date	revisions
JUN 08 2023	Issued For RZ + DP Submission
JUN 10 2023	Issued For RZ + DP Revision
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project 19948 55a AVE. LANGLEY, BC	
title NORTH ELEVATION - EAST	
project number 21817	revision 1
drawn J. Cheung	checked J. Cheung
drawing number DP 3.1a	

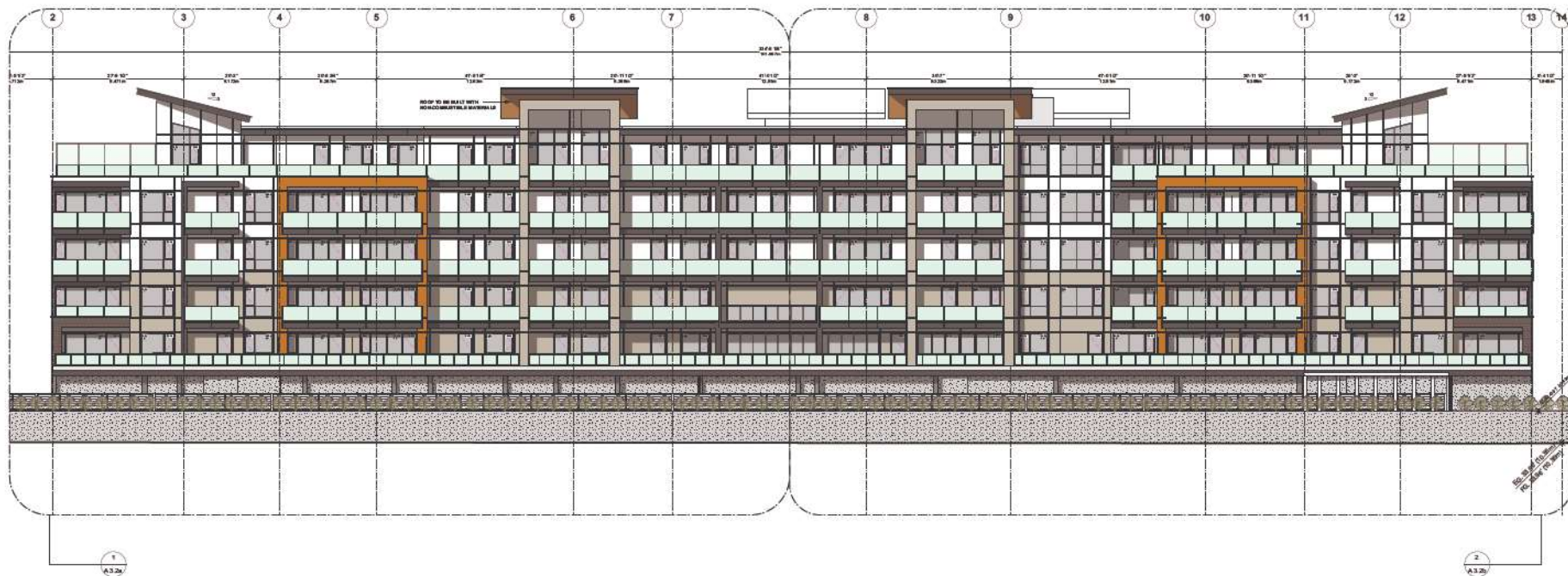


date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
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Suite 208
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V6J 1T5
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project 19948 55a AVE. LANGLEY, BC	
title NORTH ELEVATION - WEST	
project number 218 17	drawn by DP 3.1b
drawn by DP 3.1b	checked by DP 3.1b
drawing number DP 3.1b	



1 SOUTH KEY ELEVATION
3/32" = 1'-0" (1:128)



date	revisions
JUN. 08 2023	Issued For RC + DP Submission
JUN. 10 2023	Issued For RC + DP Revision
JUL. 12 2023	Issued For RC + DP Revision
AUG. 24 2023	Issued For ACP Revision

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Vancouver, B.C.
V6J 1T5

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Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC			
title SOUTH ELEVATION KEY			
project number 21817	file name		
drawn clm	checked mcl	scale 3/32"=1'-0"	drawing number DP 3.2

This is a preliminary drawing and is not to be used for construction purposes without the approval of the architect.

- LEGEND
1. BRICK
 2. HARDIPANEL COLOR 1
 3. HARDIPANEL COLOR 2
 4. HARDIPANEL COLOR 3
 5. HARDIPANEL COLOR 4
 6. PREFINISH METAL FASCIA COVER (CHARCOAL GREY)
 7. PREFINISH METAL CAP (CHARCOAL GREY)
 8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
 9. PREFINISH METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. WOOD GRAIN ALUMINUM SOFFIT
 13. LEAVY FIBER
 14. EXPOSED CONCRETE (PAINTED)
 15. PREFINISH ALUMINUM FENCING (PAINTED)

NOTE: ALL SPECIFIED ROOF TO BE STANDING SEAM METAL ASSEMBLY.



1 SOUTH ELEVATION - WEST
1/8" = 1'-0" (1:96)



date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
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project 19948 55a AVE. LANGLEY, BC	
title SOUTH ELEVATION - WEST	
project number 21817	file name
drawn C. Cheung	checked M. Cheung
scale 1/8" = 1'-0"	drawing number DP 3.2a

This is a preliminary drawing and is not to be used for construction without the architect's written consent.

- LEGEND
1. BRICK
 2. HARDPANEL COLOR 1
 3. HARDPANEL COLOR 2
 4. HARDPANEL COLOR 3
 5. HARDPANEL COLOR 4
 6. PREFINISH METAL FASCIA COVER (CHARCOAL GREY)
 7. PREFINISH METAL CAP (CHARCOAL GREY)
 8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
 9. PREFINISH METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. WOOD GRAIN ALUMINUM SOFFIT
 13. HEAVY TIMBER
 14. EXPOSED CONCRETE (PAINTED)
 15. PREFINISH ALUMINUM FENCING (PAINTED)
- NOTE: ALL DEVELOPED ROOF TO BE STANDING SEAM METAL ASSEMBLY



1 SOUTH ELEVATION - EAST
1/8" = 1'-0" (1:96)

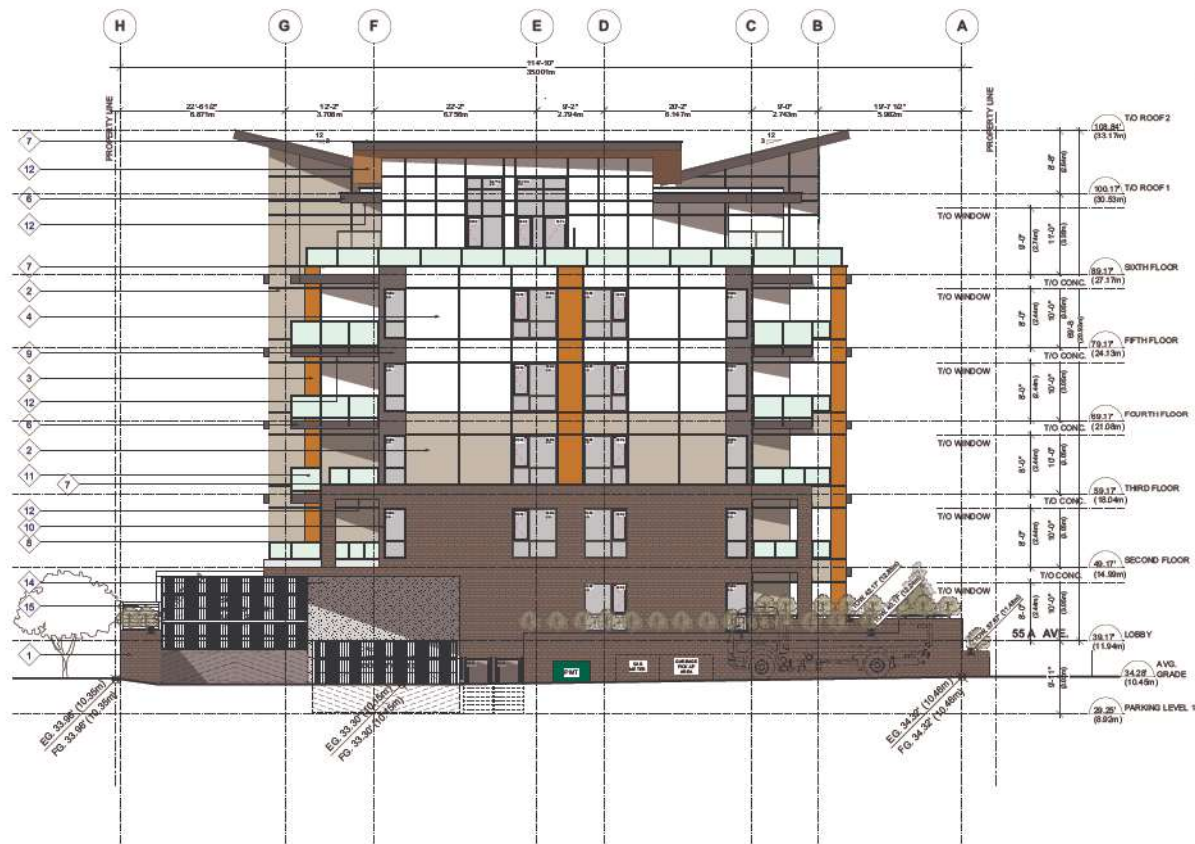


date	revision
JUN. 08 2023	Issued For RC + DP Submission
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ARCHITECTS INC.

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Vancouver, B.C.
V6J 1T5
Tel: (604) 695-2088
Fax: (604) 695-1899

project 19948 55a AVE. LANGLEY, BC	
title SOUTH ELEVATION - EAST	
project number 218 17	file name
drawn C. Cheung	checked M. Cheung
scale 1/8" = 1'-0"	drawing number DP 3.2b



1 EAST ELEVATION
1/8" = 1'-0" (1:96)



date	revision
JUN. 08 2023	Issued For RC + DP Submission
JUN. 10 2023	Issued For RC + DP Revision
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AUG. 24 2023	Issued For ACP Revision

consult to:

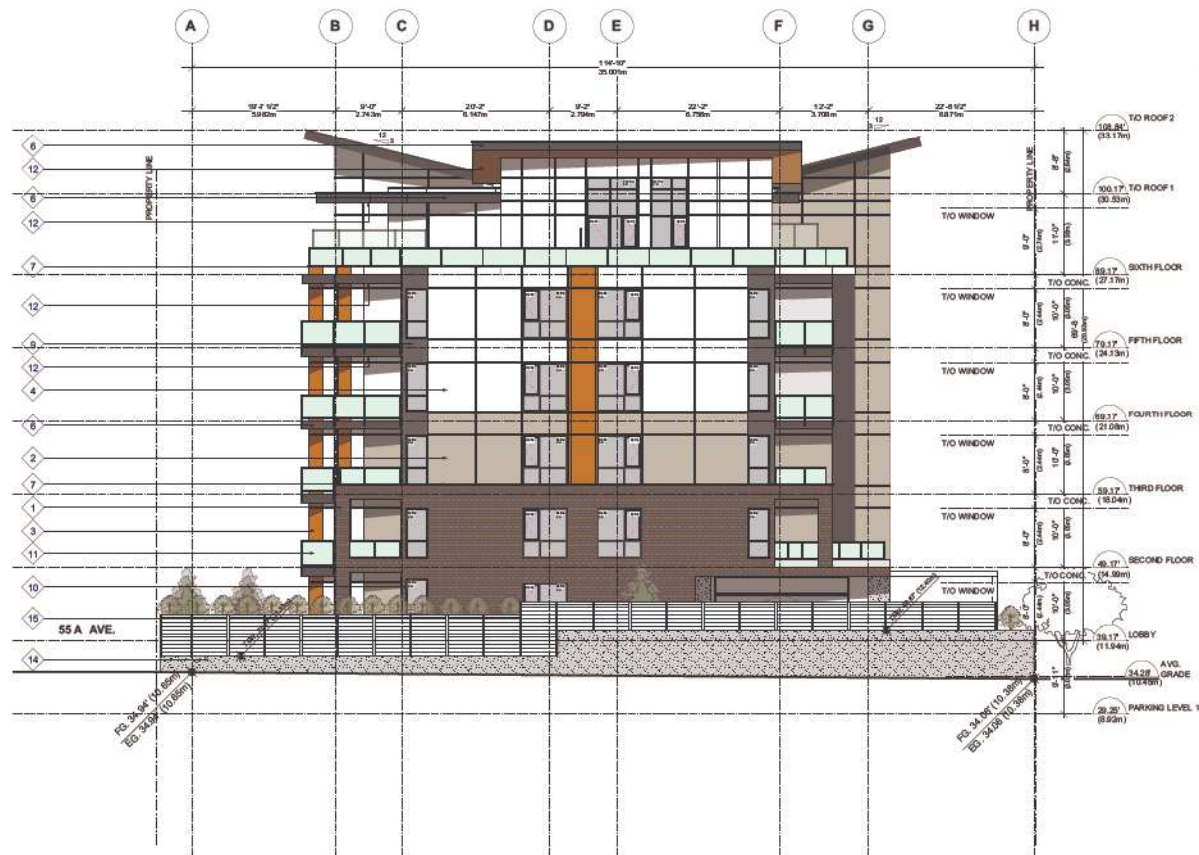
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project 19948 55a AVE. LANGLEY, BC			
title EAST ELEVATION			
project number 218 17		file name	
drawn C. Cheung	checked M. Cheung	scale 1/8" = 1'-0"	drawing number DP 3.3

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- LEGEND
1. BRICK
 2. HARDPANEL COLOR 1
 3. HARDPANEL COLOR 2
 4. HARDPANEL COLOR 3
 5. HARDPANEL COLOR 4
 6. PREFINISH METAL FASCIA COVER (CHARCOAL GREY)
 7. PREFINISH METAL CAP (CHARCOAL GREY)
 8. PREFINISH ALUMINUM RAILING (CHARCOAL GREY)
 9. PREFINISH METAL PANEL (CHARCOAL GREY)
 10. VINYL WINDOW MULLIONS (CHARCOAL GREY)
 11. GLASS RAILING
 12. WOOD GRAIN ALUMINUM SOFFIT
 13. BEAM-TIMBER
 14. EXPOSED CONCRETE (PAINTED)
 15. PREFINISH ALUMINUM FENCING (PAINTED)

NOTE: ALL SHEETED ROOF TO BE STANDING SEAM METAL ASSEMBLY



date	revisions
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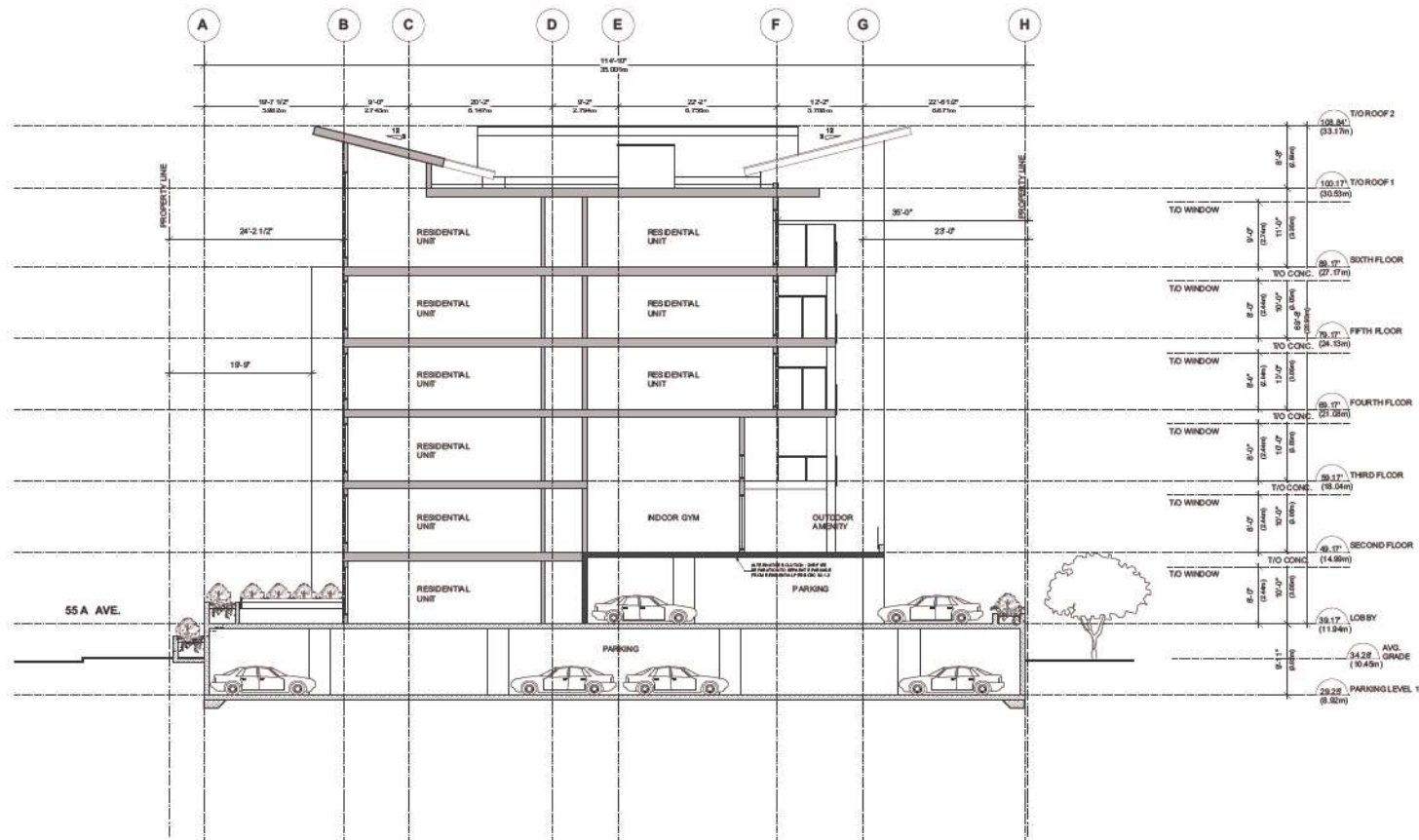
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V6J 1T5

Tel: (604) 695-2088
Fax: (604) 695-1899

project 19948 55a AVE. LANGLEY, BC	
sheet WEST ELEVATION	
project number 21817	file name
drawn C. Cheung	checked M. Cheung
scale 1/8"=1'-0"	drawing number DP 3.4

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1 WEST ELEVATION
1/8" = 1'-0" (1:96)



1 SECTION A-A
1/8" = 1'-0" (1:96)



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JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

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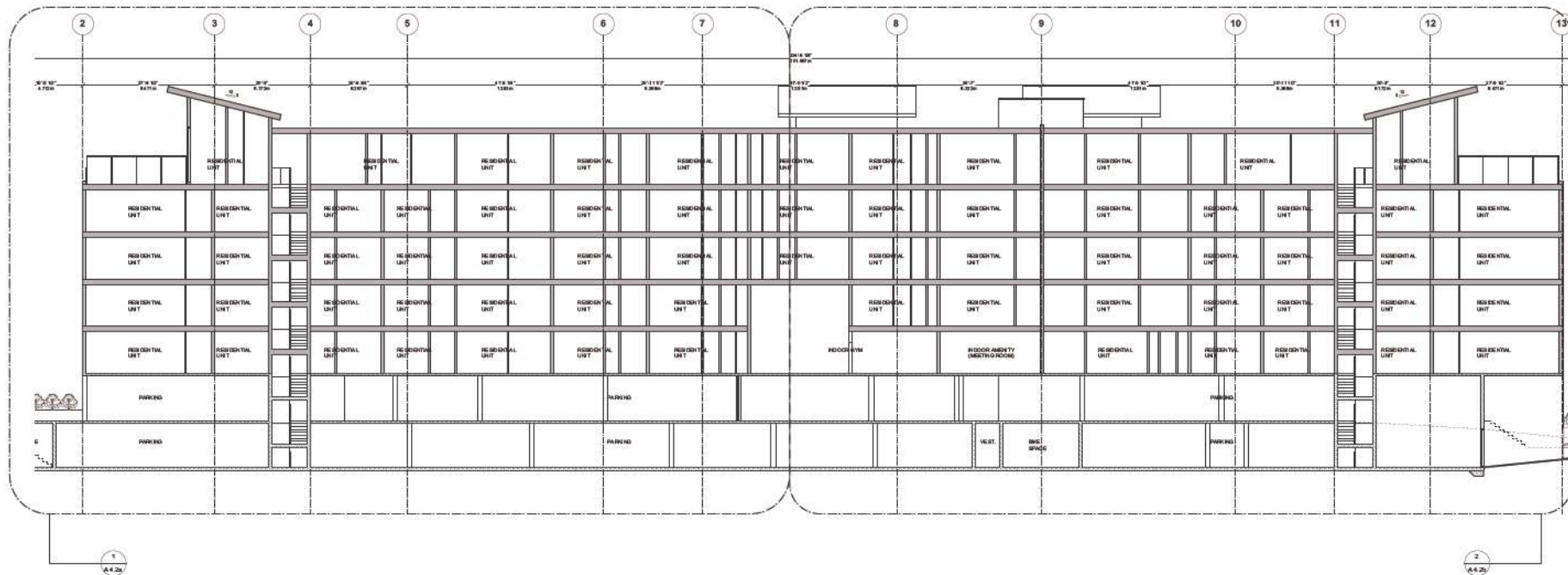
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V6J 1T5

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Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC			
title SECTIONS A-A			
project number 21817	file name		
drawn C. Cheung	checked M. Cheung	scale 1/8"=1'-0"	drawing number DP 4.1

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1 SECTION B-B KEY
3/32" = 1'-0" (1:128)



date	revisions
JUN. 08 2023	Issued For RC + DP Submission
JUN. 10 2023	Issued For RC + DP Revision
JUL. 12 2023	Issued For RC + DP Revision
AUG. 24 2023	Issued For ACP Revision

consult to:

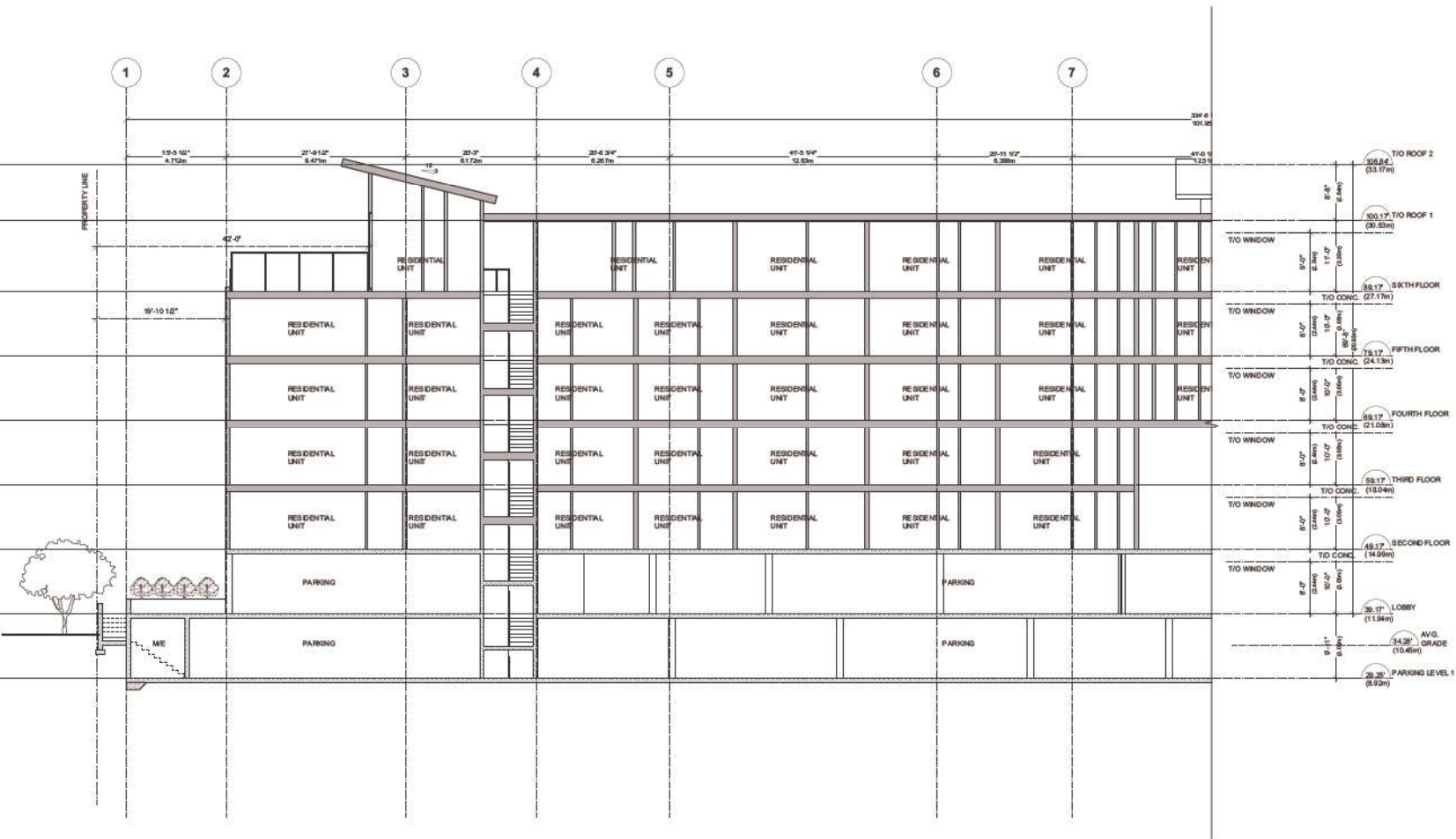
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project 19948 55a AVE. LANGLEY, BC	
title SECTIONS B-B KEY	
project number 21817	file name 21817-B-B KEY
drawn C. Cheung	checked A. Cheung
drawing number DP 4.2	

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1 SECTION B-B - WEST
1/8" = 1'-0" (1:96)



date	revision
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V6J 1T5

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Fax: (604) 685-1899

project 19948 55a AVE. LANGLEY, BC	
title SECTIONS B-B - WEST	
project number 21817	file name
drawn C. Cheung	checked A. Cheung
scale 1/8" = 1'-0"	drawing number DP 4.2a

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continued from p. 16

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Vancouver, B.C.
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19948 55a AVE.
LANGLEY, BC

SECTIONS B-B - EAST

project number 21817	file number
-------------------------	-------------

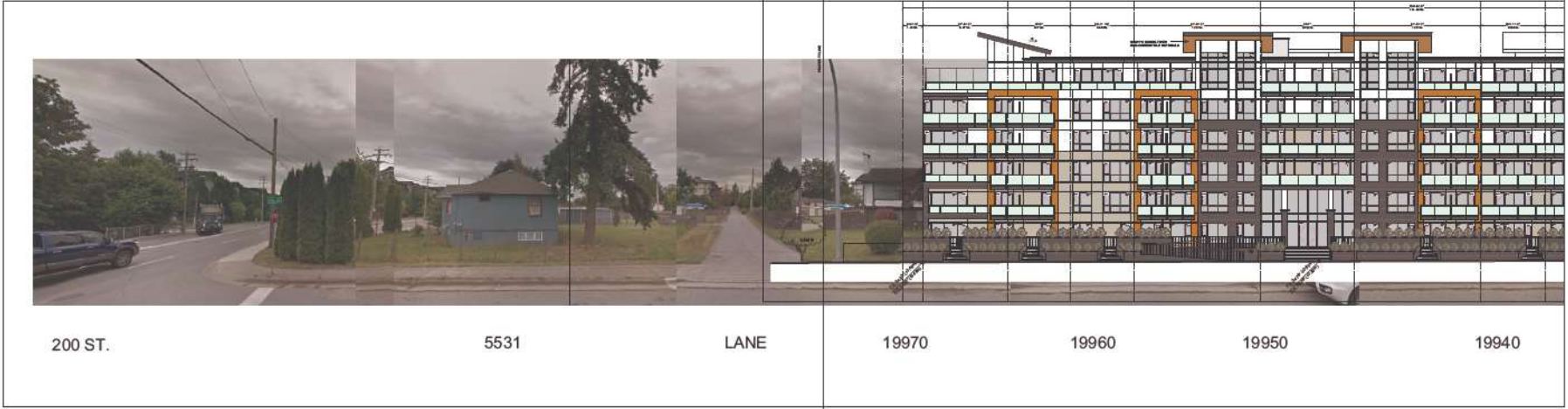
diagram of block	included table	scale 1/100=1'-0"
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*This is not a new rule but merely an update to the existing rule.



1 EXISTING STREET ELEVATION (55A AVE.) - EAST
Scale: 1/200



2 PROPOSED STREET ELEVATION (55A AVE.) - EAST
1/200



date	revisions
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project 19948 55A AVE. LANGLEY, BC	
title STREET ELEVATIONS - EAST	
project number 21817	file name
drawn checked scale 1/200	drawing number DP 5.1a

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19940

19930

19920

19910

19900

18890

1 EXISTING STREET ELEVATION (55A AVE.) - WEST
Scale: 1:200



19940

19930

19920

19910

19900

18890

2 PROPOSED STREET ELEVATION (55A AVE.) - WEST
1:200



Date	revision
JUN. 08 2023	Issued For PE + DP Submission
JUN. 10 2023	Issued For PE + DP Revision
JUL. 12 2023	Issued For PE + DP Revision
AUG. 24 2023	Issued For ADP Revision

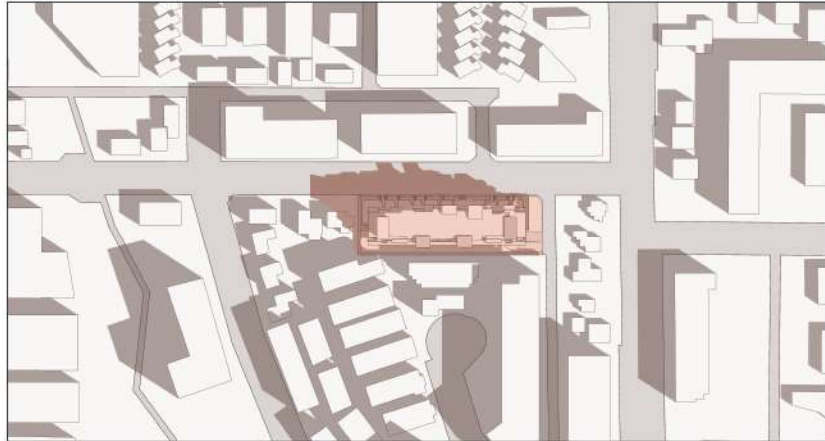
consult list:

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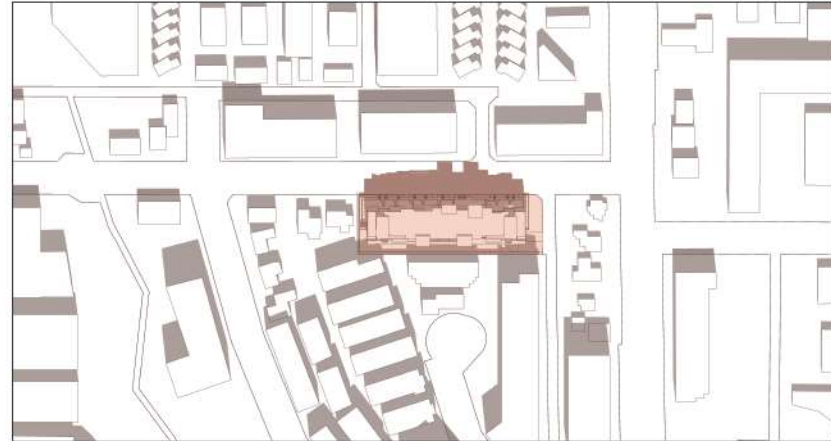
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V6J 1T5
Tel: (604) 685-2088
Fax: (604) 685-1899

project 19948 55A AVE. LANGLEY, BC			
title STREET ELEVATIONS - WEST			
project number 21817	file name		
drawn C. Cheung	checked A. Cheung	scale 1:200	drawing number DP 5.1b

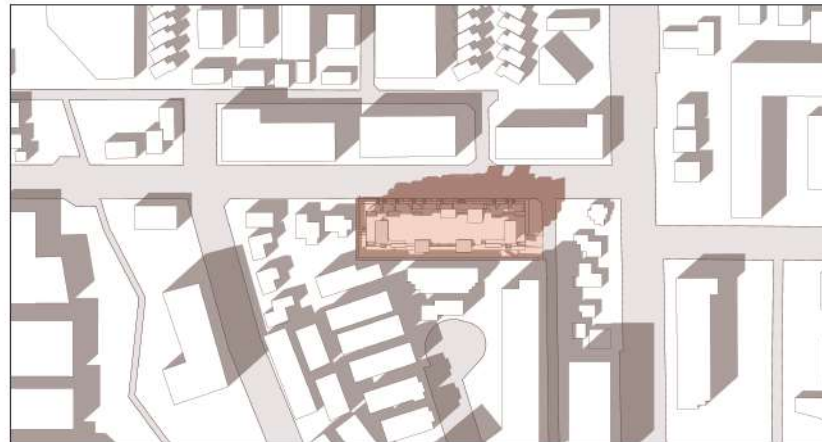
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MARCH 20 9:00 AM



MARCH 20 12:00 PM



MARCH 20 3:00 PM



date	revisions
JUN. 08 2023	Issued For RZ + DP Submission
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JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ACP Revision

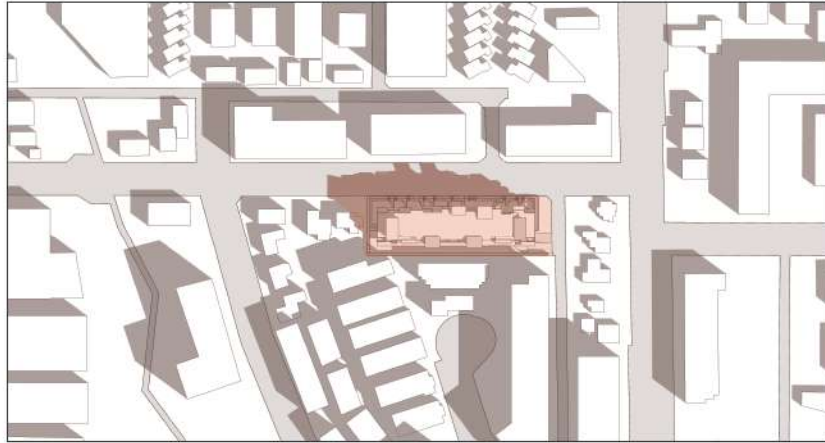
consult here to

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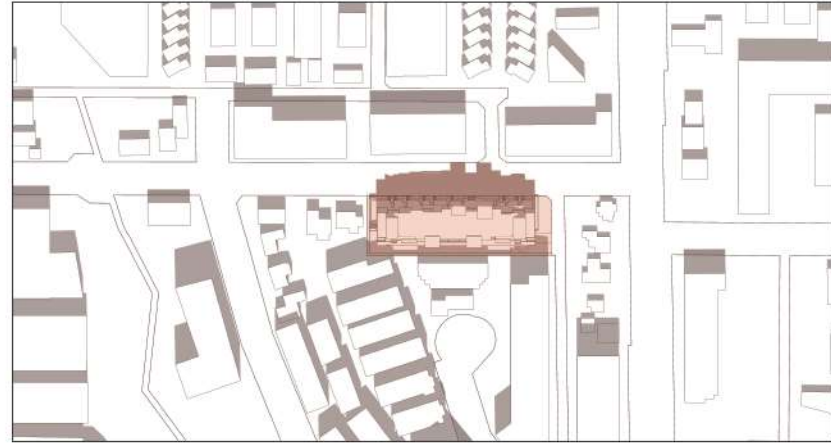
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Vancouver, B.C.
V6J 1T5
Tel: (604) 685-2088
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project 19948 55a AVE. LANGLEY, BC	
title SHADOW STUDIES MARCH 20	
project number 218 17	file name
drawn checked scale	drawing number DP 6.1

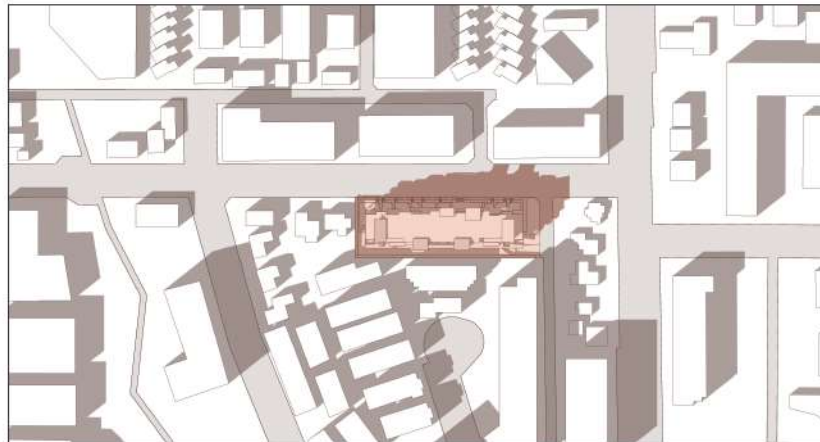
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SEPT 23 9:00 AM



SEPT 23 12:00 PM



SEPT 23 3:00 PM



date	revision
JUN. 08 2023	Issued For RZ + DP Submission
JUN. 10 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
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V6J 1T5

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Fax: (604) 685-1899

project
**19948 55a AVE.
LANGLEY, BC**

file
**SHADOW STUDIES
SEPTEMBER 23**

project number	file name
218 17	

drawings	checked	scale
01/01/23	01/01/23	

drawing number

DP 6.2

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JUN. 08 2023	Issued For RZ + DP Submission
JUN. 19 2023	Issued For RZ + DP Revision
JUL. 12 2023	Issued For RZ + DP Revision
AUG. 24 2023	Issued For ADP Revision

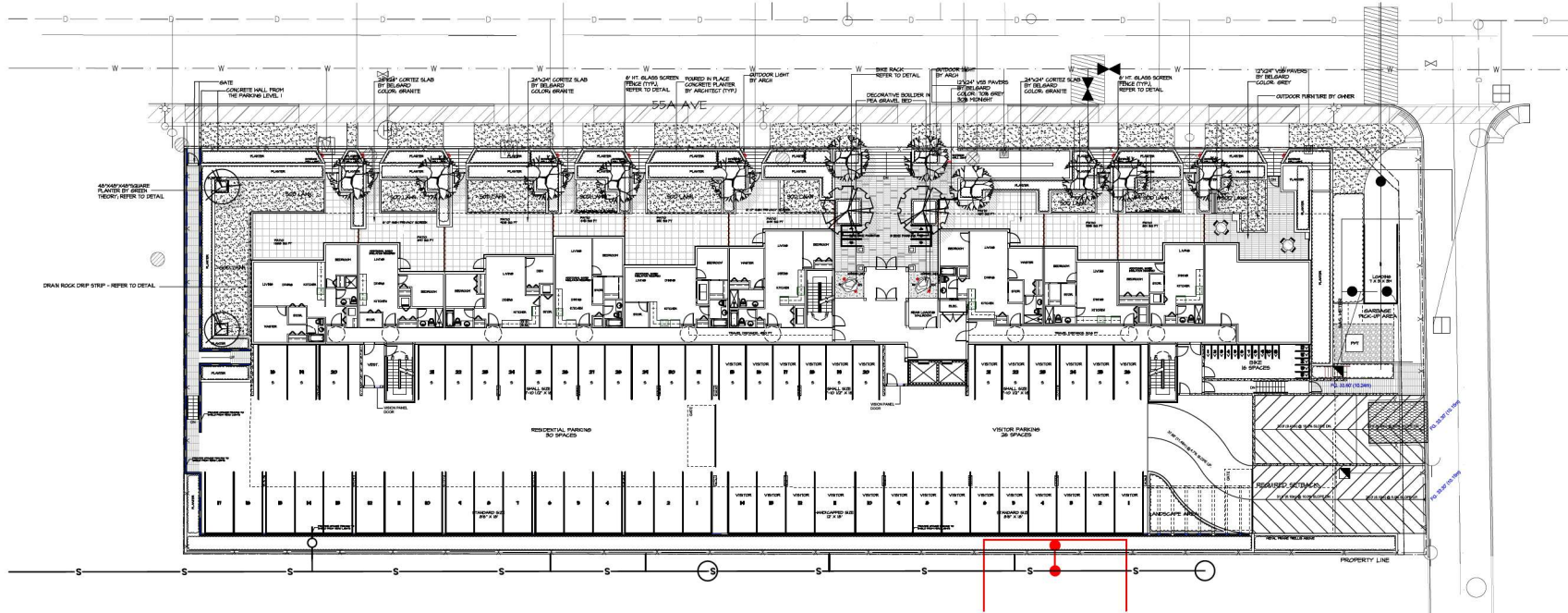
continued from p. 16

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project 19948 55a AVE. LANGLEY, BC			
title RENDERINGS			
project in context 218 17		8 in context	
drawings of block	checked each	scale	
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SCHEDULE "B"

L-1

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	18/NOV/1	PRELIMINARY DESIGN	DY
2	18/NOV/1	REVISED FOR DP	DY
3	18/NOV/1	REVISION AS PER NEW SITE PLAN	JB
4	18/NOV/1	REV. AS PER ANCA COMMENTS	JB
5	18/NOV/1	REV. AS PER NEW SITE PLAN	DY
6	18/NOV/1	REV. AS PER CITY COMMENTS	DY
7	18/NOV/1	ISSUE FOR DP	JB
8	18/NOV/1	ISSUE FOR DP	JB
9	18/NOV/1	ISSUE FOR DP	JB
10	18/NOV/1	REV. AS PER CITY COMMENTS	JB
11	18/NOV/1	REV. AS PER NEW SITE PLAN	JB
12	18/NOV/1	REV. AS PER NEW SITE PLAN	JB
13	18/NOV/1	REV. PER ACP COMMENTS	JB



PROJECT:
MULTI-RESIDENTIAL DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:
GROUND FLOOR LAYOUT PLAN

DATE: 18/NOV/1	DRAWING NUMBER: L1
SCALE: 1/16"=1'-0"	OF 7
DRAWN: DY	
DESIGN: DY	
CHECK: MTLM	
M2LA PROJECT NUMBER: JOB NO. 18-064	

18-064-17.rvt

PLANT SCHEDULE				M2 JOB NUMBER: 18-064	
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS	
2	ACER GRISEUM	PAPERBARK MAPLE	60H CAL, 84B		
2	CORNUS FLORIDA	FLOWERING DOGWOOD	50H CAL, 84B		
2	PRUNUS SERRULATA 'ANANASANA'	ANANASANA CHERRY	50H CAL, 84B		
215	BUAY SEMPERVIRENS AURO-VAREGATA	VARIEGATED ENGLISH BOWWOOD	K2 POT		
41	LONGICERA FILICATA	SILVER HONEYBUCKLE	K2 POT		
40	LONGICERA NITIDA SILVER BEAUTY	SILVER BEAUTY HONEYBUCKLE	K2 POT, 80CH		
301	TAKIS X MEDIA 'HICKS'	HICKS YEW	K3 POT, 80CH		
143	ELYNUS HABELLARGUS BLUE TANGO	BLUE TANGO HEAT GRASS	K1 POT		
14	MAKINOESOLIA HAGRA 'ALL GOLD'	JAPANESE FOREST GRASS	K1 POT		
8	OPHIOPSON PLANISCAPIUS 'NIGRESCENS'	HONDO GRASS	K1 POT		
50	PENNETUM ALPESGROUES 'HAMELIN'	DWARF FOUNTAIN GRASS	K2 POT		
14	GERANIUM PATRICIA GRABEILLIS	GRABEILL GERANIUM	K1 POT		
28	RESCERA CARNIVAL WATERHELOX	CORAL BELLS	K1 POT		
23	LAVERGULA ANKUSTIFOLIA	ENGLISH LAVENDER	K1 POT		
53	NERITA X VERANCA DROPHORE	CATHART	K1 POT		
101	RODEGRIA FLUGIA VAR. SILLIVANTII 'SOLID LOGO'	RODEGRIA	K1 POT		

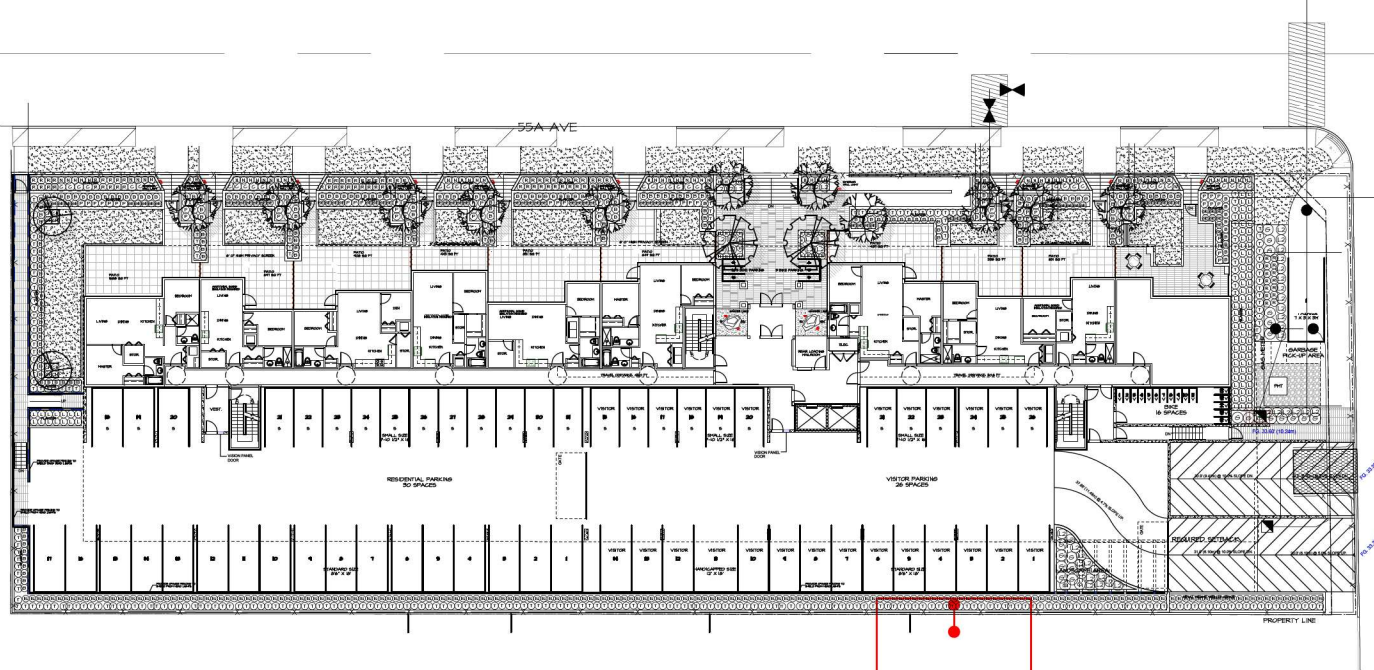
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER DATA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARDS - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	20.AUG.20	REV. PER ACP COMMENTS	GB/LC
2	25.AUG.20	REV. AS PER NEW SITE PLAN	GB
3	25.AUG.20	REV. AS PER CITY COMMENTS	GB
4	25.AUG.20	ISSUE FOR DP	GB
5	22.AUG.20	ISSUE FOR DP	GB
6	25.AUG.20	ISSUE OFF-SITE PLAN	GB
7	25.AUG.20	ISSUE FOR DP	GB
8	25.AUG.20	REV. AS PER CITY COMMENTS	GB
9	25.AUG.20	REV. AS PER NEW SITE PLAN	GB
10	25.AUG.20	REV. AS PER AREA COMMENTS	GB
11	25.AUG.20	REVISION AS PER NEW SITE PLAN	GB
12	25.AUG.20	ISSUE FOR DP	GB
13	25.AUG.20	PRELIMINARY DESIGN	GB

NO. DATE REVISION DESCRIPTION DR.

SEAL:



PROJECT:

MULTI-RESIDENTIAL DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:

GROUND FLOOR PLANTING PLAN

DATE: 18.NOV.21 DRAWING NUMBER:

SCALE: 1/8"=1'-0"

DRAWN: DY

DESIGN: DY

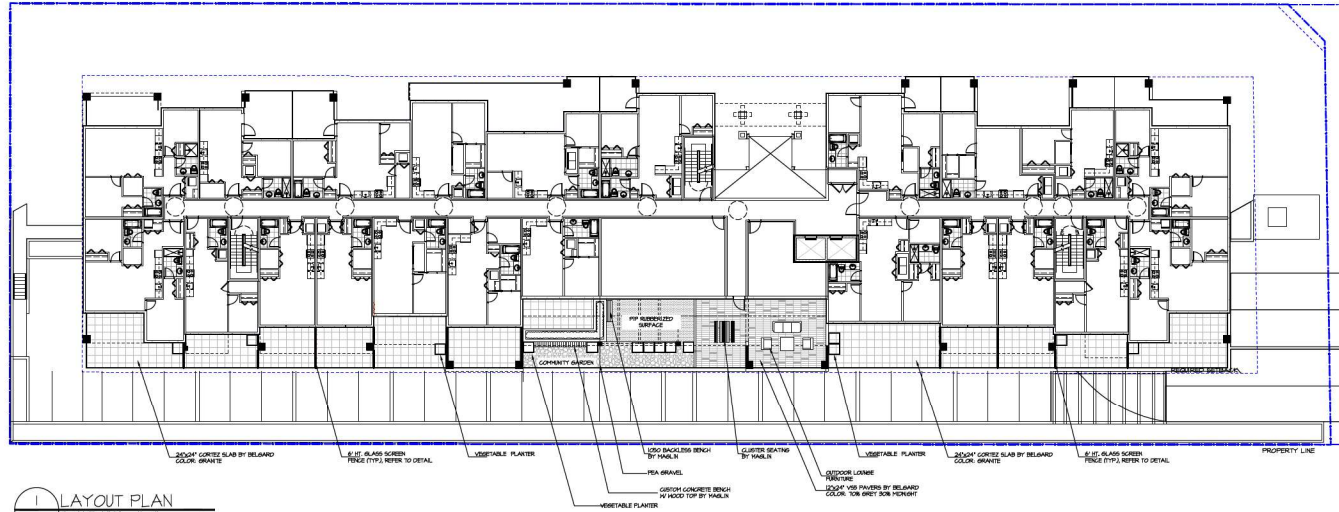
CHK'D: MTLM

M2LA PROJECT NUMBER: JOB NO. 18-064

L2
OF 7

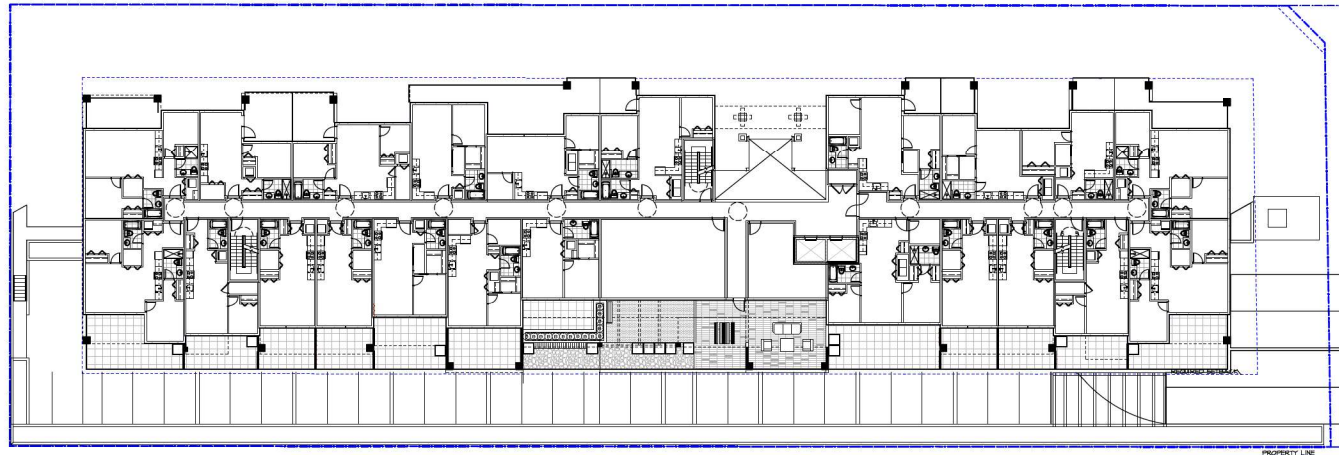
18-064-172P

55A AVE



1 LAYOUT PLAN
SCALE: 1/16" = 1'-0"

55A AVE



2 PLANTING PLAN
SCALE: 1/16" = 1'-0"

PLANT SCHEDULE				M2 JOB NUMBER: 18-064
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
15	15	BUXUS SEMPERVIRENS AUREO-VAREGATA	VAREGATED ENGLISH BOXWOOD	#2 POT
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER DATA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE SELECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.				
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.				

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	18/01/18	PRELIMINARY DESIGN	DY
2	18/01/18	ISSUED FOR DP	DY
3	18/01/18	REVISION AS PER NEW SITE PLAN	JB
4	18/01/18	REVISION AS PER NEW SITE PLAN	JB
5	18/01/18	REVISION AS PER NEW SITE PLAN	DY
6	18/01/18	REVISION AS PER CITY COMMENTS	DY
7	18/01/18	ISSUED FOR DP	JB
8	18/01/18	ISSUED FOR DP	JB
9	18/01/18	ISSUED FOR DP	JB
10	18/01/18	ISSUED FOR DP	JB
11	18/01/18	REVISION AS PER CITY COMMENTS	JB
12	18/01/18	REVISION AS PER CITY COMMENTS	JB
13	18/01/18	REVISION AS PER CITY COMMENTS	JB
14	18/01/18	REVISION AS PER CITY COMMENTS	JB
15	18/01/18	REVISION AS PER CITY COMMENTS	JB

NO. DATE REVISION DESCRIPTION DR.

SEAL:



PROJECT:

MULTI-RESIDENTIAL
DEVELOPMENT

19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:

SECOND FLOOR
LAYOUT PLAN

DATE: 18/01/18 DRAWING NUMBER:

SCALE: 1/16" = 1'-0"

DRAWN: DY

DESIGN: DY

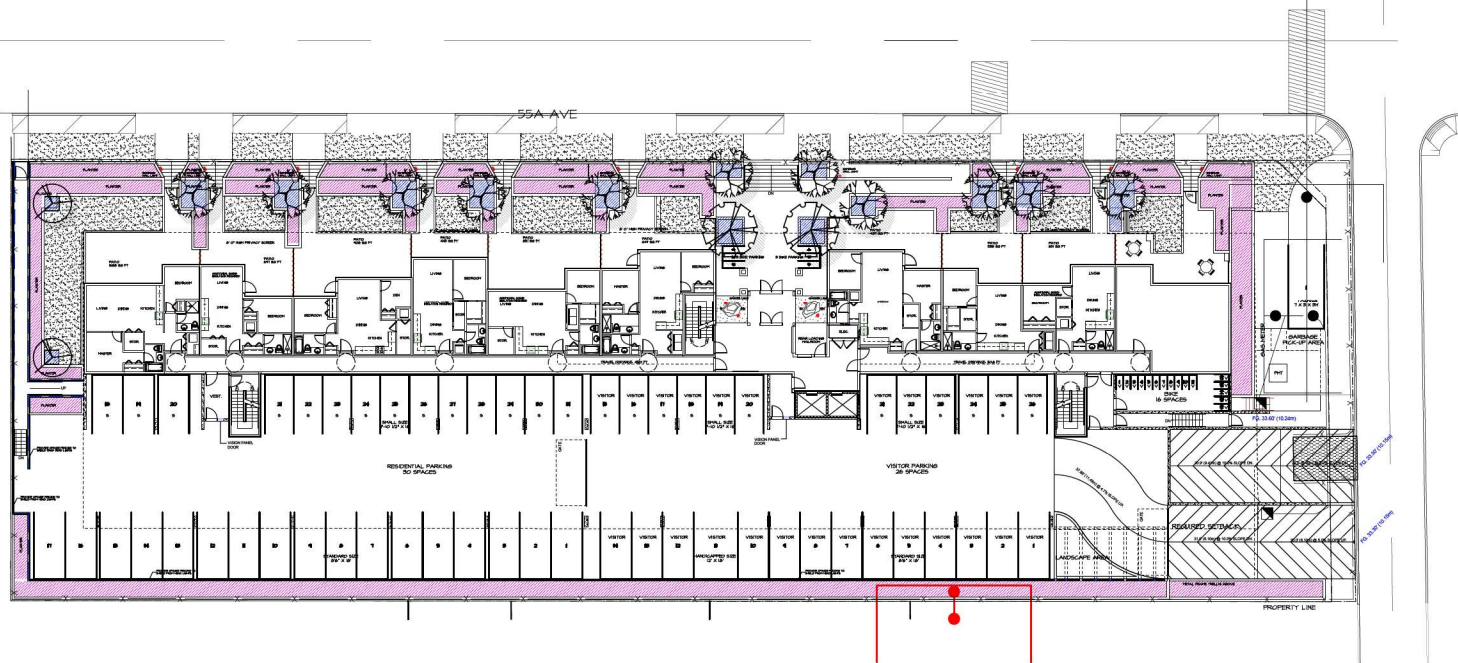
CHKD: MTLM

M2LA PROJECT NUMBER: JOB NO. 18-064

18-064-17.rvt



#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



SOIL DEPTH LEGEND	
	SOIL DEPTH MORE THAN 3'
	SOIL DEPTH MORE THAN 2'

NO.	DATE	REVISION DESCRIPTION	DR.
1	18.AUG.24	REV. PER ACP COMMENTS	GB/LC
2	25.AUG.24	REV. AS PER NEW SITE PLAN	GB
3	25.AUG.24	REV. AS PER CITY COMMENTS	GB
4	25.AUG.24	ISSUE FOR DP	GB
5	22.AUG.24	ISSUE FOR DP	GB
6	24.AUG.24	ISSUE OFF-SITE PLAN	GB
7	24.AUG.24	ISSUE FOR DP	JC
8	19.AUG.24	REV. AS PER CITY COMMENTS	DY
9	19.AUG.24	REV. AS PER NEW SITE PLAN	DY
10	19.AUG.24	REV. AS PER ANEAL COMMENTS	JB
11	19.AUG.24	REVISION AS PER NEW SITE PLAN	JB
12	19.AUG.24	ISSUE FOR DP	DY
13	18.NOV.24	PRELIMINARY DESIGN	DY



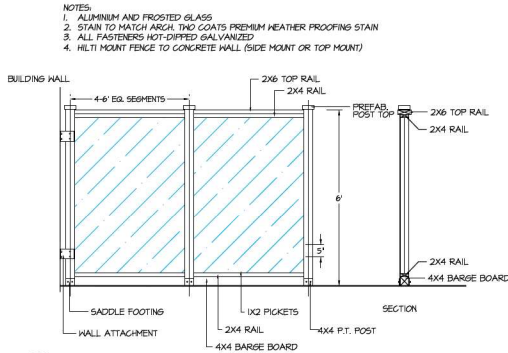
PROJECT:
MULTI-RESIDENTIAL DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:
SOIL DEPTHS PLAN

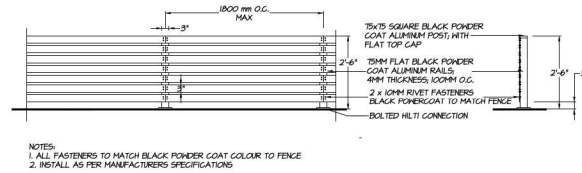
DATE: 18.NOV.24	DRAWING NUMBER: L4
SCALE: 1/8"=1'-0"	
DRAWN: DY	
DESIGN: DY	
CHK'D: MTLM	
M2LA PROJECT NUMBER: JOB NO. 18-064	



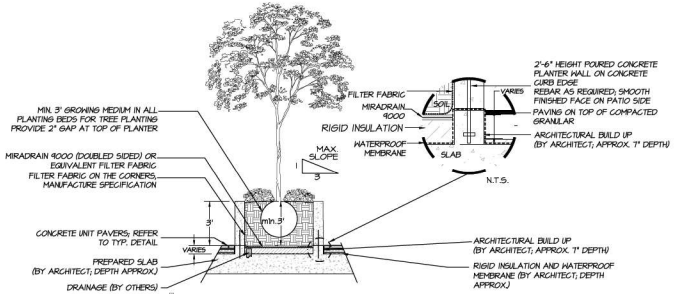
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New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



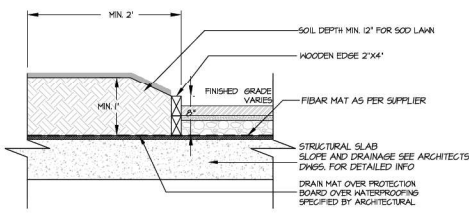
1 6' HT. FROSTED GLASS SCREEN
SCALE: 1/2" = 1'-0"



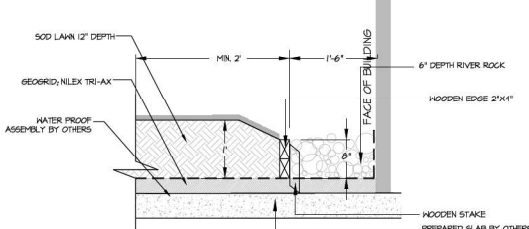
2 5' HT. ALUMINUM FENCE
SCALE: 1/2" = 1'-0"



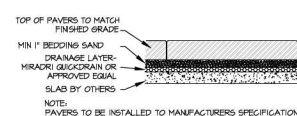
3 PLANTER ON SLAB
SCALE: 1/4" = 1'-0"



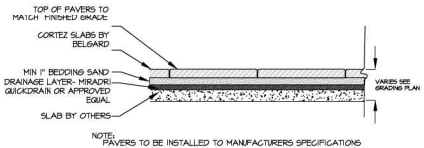
4 SOD LAWN ON SLAB
SCALE: 1" = 1'-0"



5 DRIP STRIP AND SOD LAWN
SCALE: 1" = 1'-0"



6 PAVERS ON SLAB
SCALE: 1" = 1'-0"



7 CORTEZ SLAB
SCALE: 1" = 1'-0"



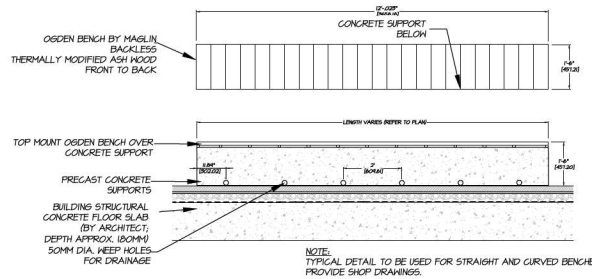
CORTEZ SLAB- GRANITE



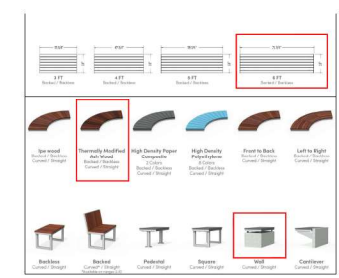
V55 PAVERS- GREY



V55 PAVERS- MIDNIGHT



8 CIP BENCH W/ WOOD TOP BY MAGLIN
SCALE: 1/2" = 1'-0"



NO.	DATE	REVISION DESCRIPTION	DR.
1	18/NOV/21	PRELIMINARY DESIGN	DY
2	18/NOV/21	REVISED FOR DRP	DY
3	18/NOV/21	REVISION AS PER NEW SITE PLAN	JB
4	18/NOV/21	REV. AS PER ANEAL COMMENTS	JB
5	18/NOV/21	REV. AS PER NEW SITE PLAN	DY
6	18/NOV/21	REV. AS PER CITY COMMENTS	DY
7	22/JAN/22	ISSUE FOR DRP	JB
8	22/JAN/22	ISSUE FOR DRP	JB
9	22/JAN/22	ISSUE FOR DRP	JB
10	22/JAN/22	ISSUE FOR DRP	JB
11	22/JAN/22	REV. AS PER CITY COMMENTS	JB
12	22/JAN/22	REV. AS PER NEW SITE PLAN	DY
13	22/JAN/22	REV. PER ACP COMMENTS	JB

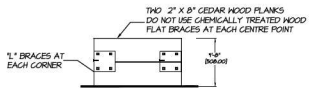


PROJECT: **MULTI-RESIDENTIAL DEVELOPMENT**
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE: **LANDSCAPE DETAILS 1**

DATE: 18/NOV/21	DRAWING NUMBER: L5
SCALE: AS SHOWN	OF 7
DRAWN: DY	
DESIGN: DY	
CHECK: MTLM	

M2LA PROJECT NUMBER: **JOB NO. 18-064**



MTB-0210-00024
Legacy #MPLT210-S-RB

200 SERIES



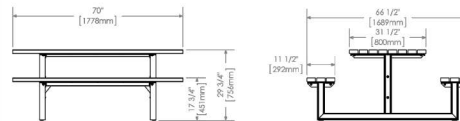
MATERIALS: Table frame is made from 3"x 2-3/8" structural I-Beam with mitered corners. Horizontal support beams are used for superior stability and structural integrity. Surface material is plastic - Brown color.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The table is delivered pre-assembled. Holes (0.5") are provided for securing to base.

TO SPECIFY: Select MBE-0210-00024
Choose:
- Powdercoat Color

HEIGHT: 29.75" (75.6cm) LENGTH: 70" (177.8cm) WIDTH: 66.5" (168.9cm) WEIGHT: 385.39lbs (174.8kg)



T 800 716 5558
F 604 553 0044
www.maglin.com
sales@maglin.com

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Details and specifications may vary due to continuing improvements of our products.



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New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	18/NOV/11	PRELIMINARY DESIGN	DY
2	18/NOV/11	ISSUED FOR DP	DY
3	18/DEC/11	REVISION AS PER NEW SITE PLAN	JB
4	18/DEC/11	REVISION AS PER ANEAL COMMENTS	JB
5	18/FEB/12	REVISION AS PER NEW SITE PLAN	DY
6	18/MAR/12	REVISION AS PER CITY COMMENTS	DY
7	21/MAY/12	ISSUED FOR DP	JB
8	21/JUN/12	ISSUED OFF-SITE PLAN	JB
9	22/JUN/12	ISSUED FOR DP	JB
10	22/JUN/12	ISSUED FOR DP	JB
11	25/JUL/12	REVISION AS PER NEW SITE PLAN	JB
12	25/JUL/12	REVISION AS PER NEW SITE PLAN	JB
13	28/AUG/12	REV. PER ACP COMMENTS	JB/JC

NO. DATE REVISION DESCRIPTION DR.

SEAL:



PROJECT:

**MULTI-RESIDENTIAL
DEVELOPMENT**
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:

**LANDSCAPE
DETAILS 2**

DATE: 18/NOV/11 DRAWING NUMBER:

SCALE: AS SHOWN

DRAWN: DY

DESIGN: DY

CHK'D: MTLM

M2LA PROJECT NUMBER: JOB NO. 18-064

L6

OF 7

18-064-174-1P

[illegible][illegible][illegible][illegible]

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M2

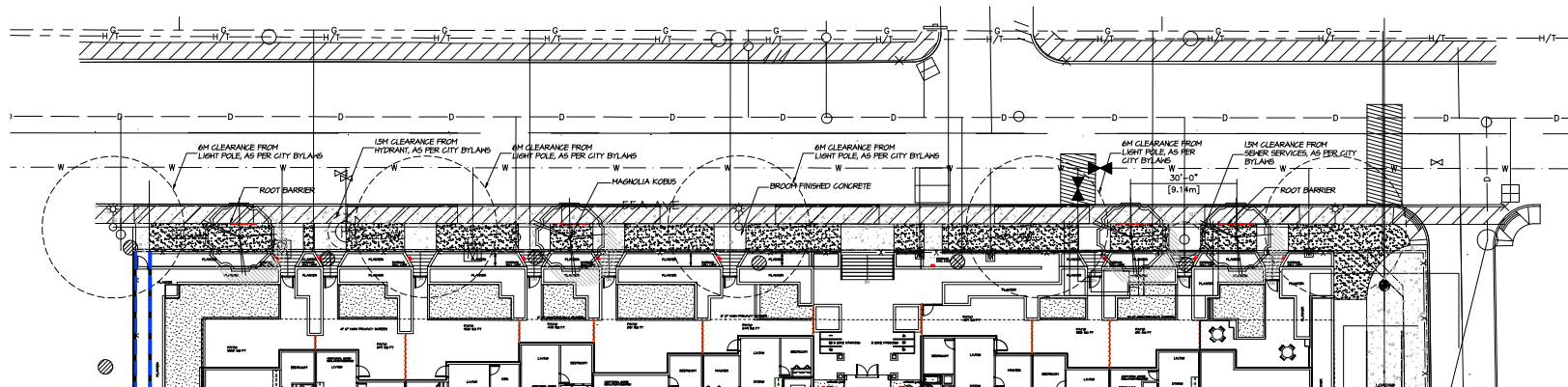
LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
13	28.AUG.24	REV. PER ACP COMMENTS	GB/JC
12	28.AUG.24	REV. AS PER NEW SITE PLAN	GB
11	25.AUG.24	REV. AS PER CITY COMMENTS	GB
10	25.AUG.24	ISSUE FOR DP	GB
9	22.JAN.23	ISSUE FOR BP	GB
8	25.AUG.21	ISSUE OFF-SITE PLAN	GB
7	25.AUG.21	ISSUE FOR DP	JC
6	25.AUG.21	REV. AS PER CITY COMMENTS	DT
5	19.FEB.20	REV. AS PER NEW SITE PLAN	DT
4	18.AUG.19	REV. AS PER ACP COMMENTS	JC
3	18.AUG.19	REVISION AS PER NEW SITE PLAN	JC
2	18.AUG.19	ISSUED FOR DP	DT
1	18.AUG.19	PRELIMINARY DESIGN	DT
NO.	DATE	REVISION DESCRIPTION	DR.

SEAL: 

PROJECT: **MULTI-RESIDENTIAL DEVELOPMENT**
 19920 & 19970 55A Avenue
 Langley, BC



PLANT SCHEDULE -OFF-SITE				M2 JOB NUMBER: 18-084
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
5		MAGNOLIA KOBUS	KOBUS MAGNOLIA	80H CALI 2H HT, B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. * CONTAINER SIZES SPECIFIED AS PER CITY STANDARDS. * BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DERIVED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

MINIMUM TREE PLANTING CLEARANCES

Poles

Minimum offset to:		
- Lamp standards	6m	(20')
- Stoolwood hydrate poles	3m	(10')
- Regulatory Street Signage (oncoming traffic)	6m	(20')
- Parking meters	0.9m	(3')

Underground Utilities

Minimum Offset to:		
- Service connections/manholes and valves	1.2m	(4')
- Catch Basins	2.0m	(6.5')
- Sewer Services	1.5m	(5')
- Utility Mains	0.9m	(3')
- Hydrants	1.5m	(5')

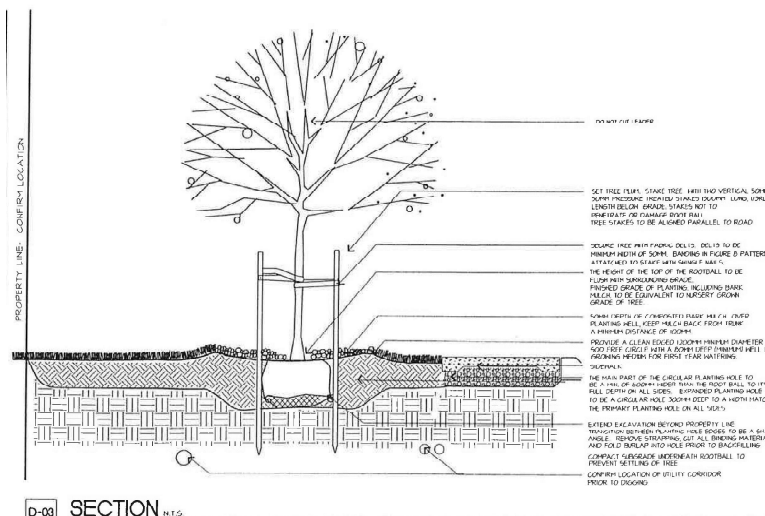
ROAD ELEMENTS

Minimum offset to:		
- Curb face	0.75m	(2.5')
- Sidewalk	0.6m	(2.0')
- Driveway Crossings	1.8m	(6.0')
- Corner 8.0m	(26.0')	
- Buildings - (may vary according to species)	3.0m	(10.0')
- Bus Stops - clearance is from curb face	2.0m	(6.6')

DO NOT PLANT TREES

- Under high voltage transmission lines
- Under existing canopies or overhead signs
- In loading zones, taxi pick up zones, police/emergency access zones

- LANDSCAPE DRAWINGS AND CIVIL DRAWINGS SHALL BE COORDINATED.
- REFER TO CITY OF LANGLEY'S STREET TREE PROGRAM FOR MATERIALS, INSTALLATION, PLANTING PROCEDURE AND MAINTENANCE



D-03 SECTION N.T.S.
STANDARD TREE PLANTING DETAIL

NOTES:

- FOR USE IN OPEN SPACE AREAS WHERE SOILS HAVE BEEN COMPACTED PRIOR TO PLANTING.
- PROTECT TREES FROM DAMAGE DURING TRANSPORT AND PLANTING. TREE ROOTS NOT TO BE EXPOSED TO SUN OR FROST.
- CONFIRM TREE LOCATION AGAINST ALL REQUIRED OFFSETS.
- ALL STREET TREE PLANTING FITS SHALL BE LAD BY HAND AND UNDERGROUND SERVICES MUST EXIST.
- CONFIRM EXISTING TOPSOIL IS SUITABLE FOR REUSE. AN EXISTING MEDIAN, DRIVEWAY OR ANY OBSTACLE IS NOT. AROUND BACKFILL TOPSOIL WITH ORGANICS GROWING MEDIUM TO BE CONTRACTED WITHIN 14 DAYS TO ELIMINATE AIR POCKETS.
- CONFIRM TREE DRAINAGE METHOD.
- CONTACT PARKS DEPT. IF PROBLEM NOTED.

NOTE:

TITLE	REVISION DATE	DATE LOANED	DRAWING NUMBER
STANDARD TREE PLANTING DETAIL			D-03
THE CITY OF LANGLEY			
STREET TREE PROGRAM			
DR. BY: PCM			
DWG. 18-084			

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	2018/01/01	REV. PER ASP COMMENTS	DR.
2	2018/01/01	REV. AS PER NEW SITE PLAN	DR.
3	2018/01/01	REV. AS PER CITY COMMENTS	DR.
4	2018/01/01	ISSUE FOR DIP	DR.
5	2018/01/01	ISSUE FOR DIP	DR.
6	2018/01/01	ISSUE OFF-SITE PLAN	DR.
7	2018/01/01	ISSUE FOR DIP	DR.
8	2018/01/01	REV. AS PER CITY COMMENTS	DR.
9	2018/01/01	REV. AS PER NEW SITE PLAN	DR.
10	2018/01/01	REV. AS PER ASP COMMENTS	DR.
11	2018/01/01	REV. AS PER NEW SITE PLAN	DR.
12	2018/01/01	PRELIMINARY DESIGN	DR.



PROJECT:

MULTI-RESIDENTIAL
DEVELOPMENT
19920 & 19970 55A Avenue
Langley, BC

DRAWING TITLE:

OFF-SITE
PLAN

DATE: 18/NOV/18	DRAWING NUMBER:
SCALE: 1/8"=1'-0"	L1
DRAWN: DT	
DESIGN: DT	
CHECK: MTL	

M2LA PROJECT NUMBER: JOB NO. 18-084

18-084-112p



ADVISORY DESIGN PANEL REPORT

To: **Advisory Design Panel**

Subject: **Development Permit Application DP 07-24
Rezoning Application RZ 06-24
(20815 45A Avenue & 4560-4580 208 Street)**

From: **Anton Metalnikov, RPP, MCIP
Planner**

File #: 6620.00

Date: October 25, 2024

Bylaw #: 3296
Doc #:

RECOMMENDATION:

THAT this report be received for information.

PURPOSE OF REPORT:

To consider Development Permit and Zoning Bylaw amendment applications by Leone Homes Inc. for a 26-unit townhome development at 20815 45A Avenue & 4560-4580 208 Street.

POLICY:

The subject properties are currently zoned RS1 Single Family Residential in Zoning Bylaw No. 2100 and designated "Ground Oriented Residential" in the Official Community Plan Land Use map. All lands designated for multi-unit residential use are subject to a Development Permit (DP) to address building form and character.

COMMENTS/ANALYSIS:

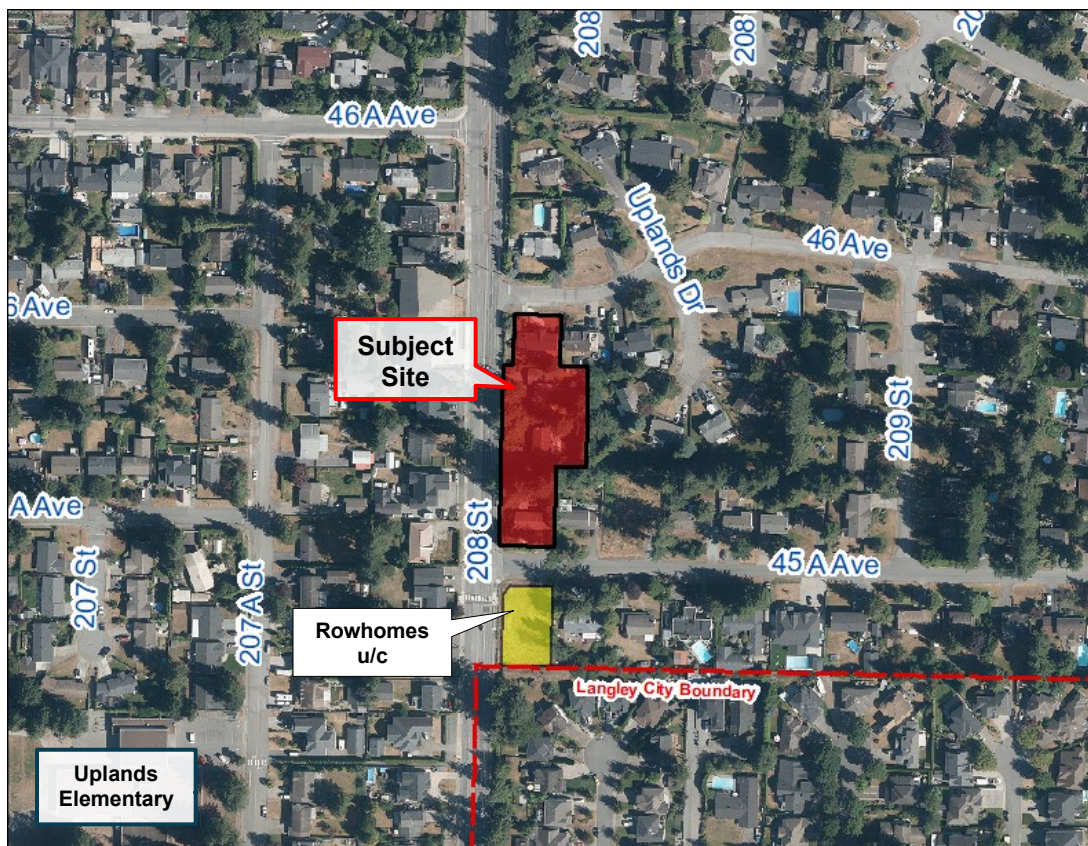
Background Information:

Applicant:	Leone Homes Inc.
Owners:	Linda Stewart, Lea-Ann Stewart, Luke Morrow, Raziya Khan, Abdul-Rahim Khan, Brenden Boux, Deborah Kellner, Robert Stare, & Heather Stare
Civic Addresses:	20815 45A Avenue & 4560-4580 208 Street
Legal Description:	Lot 109, Section 36, Township 7, New Westminster District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36, Township 7, New Westminster District, Plan 85129
Site Area:	4,010 m ² (0.99 acres)
Number of Units:	26 townhomes
Gross Floor Area:	4,527.2 m ² (48,733 ft ²)
Floor Area Ratio:	1.129
Lot Coverage:	43.6%
Total Parking Required:	57 spaces (including 1 h/c space)
Parking Provided:	
Resident	52 spaces
Visitor	<u>6 spaces</u>
Total	58 spaces (including 1 h/c space)
OCP Designation:	Ground Oriented Residential
Existing Zoning:	RS1 Single Family Residential
Proposed Zoning:	CD104 Comprehensive Development Zone
Development Cost Charges:	\$815,170.00 (City - \$303,442.00, GVS&DD - \$214,618.00, GVWD - \$212,006.00, MV Parks – \$9,528.00, SD35 - \$19,400.00, TransLink - \$56,176.00)
Community Amenity Contributions (CACs):	\$104,000.00

Discussion:

1. Context

The applicant is proposing to develop a 26-unit townhome complex on the site of 4 single-detached lots. This site is located in an area of single-detached homes where the properties generally along 208 Street, including the subject site, are designated Ground Oriented Residential in the City's Official Community Plan (OCP). This designation allows for townhome and plex-home development of up to 3 storeys in height and a maximum Floor Area Ratio (FAR) density of 1.2. Policies in the City's Townhome & Plex-Home Best Practices Guide also apply. The Ground Oriented Residential designation was introduced through the OCP to provide a broader range of family-oriented housing options in the neighbourhood and near Uplands Elementary School, improve traffic and pedestrian safety along 208 Street by removing driveways and providing an upgraded streetscape, and align with future frequent transit service. In response to the planned growth in this area and to improve access, a traffic light has recently been installed at the intersection of 208 Street and 45A Avenue, which is being financed by developments in the area, including an existing project under construction across the street and the subject application, should it be approved.



Site context

The site covers the full first row of properties along 208 Street between 45A Avenue to the south and 46 Avenue to the north. Properties across the streets to the west and south share the same Ground Oriented Residential OCP designation, with a 6-unit rowhome project currently under construction to the south. To the east, the site is neighboured by single-detached homes designated Suburban in the OCP, which corresponds to the City's RS1 Single Family Residential Zone. The properties across the street to the north fall within a small gap in the Ground Oriented Residential designation along 208 Street due to their challenging lot pattern and configuration and are also designated Suburban in the OCP. With zoning updates adopted earlier this year to align with 2023 Provincial housing legislation, these Suburban RS1 zoned properties, along with all other RS1 lots in the neighbourhood and City, now also have multi-unit potential at a density of up to 4 dwelling units per lot.

The site is located in a distinctly residential area but has convenient walking connections to key amenities including:

- Two bus lines (directly adjacent);
- Iris Mooney Park (5-minute walk); and
- Uplands Elementary School (5-minute walk).

2. Proposed Rezoning and the Official Community Plan (OCP)

The site is designated Ground Oriented Residential in the City's OCP, which allows for townhome and plex-home development of up to 3 storeys in height and a Floor Area Ratio (FAR) density of up to 1.2.

The subject properties are proposed to be rezoned to a site-specific Comprehensive Development (CD) Zone as no existing zones adequately accommodate the Ground Oriented Residential designation. A new Zoning Bylaw is currently in development and the project was designed to conform to the preliminary draft zoning regulations associated with this designation. Should the CD rezoning be adopted it is anticipated that, as part of adopting the new Zoning Bylaw, the City will rezone this site from its CD Zone to the new zone created to implement the Ground Oriented Residential designation.

The application is generally consistent with the City's Townhome & Plex-Home Best Practices Guide, including by incorporating the following features:

- No balconies facing neighbouring Suburban properties;
- Using peaked roofs;
- Upgrading the street frontage;
- Providing one extra visitor parking stall than required;
- Providing new, durable metal fencing for shared property lines;
- Planting 20 new trees on-site and approximately 10 new street boulevard trees, and retaining 25 existing trees (secured by deposit);

- Setting 3-storey townhomes back over 8 metres from adjacent Suburban properties and stepping down to a 2-storey height where closer;
- Achieving a mix of side-by-side (or 'double garage') and tandem parking units, with over 50% being side-by-side (58%); and
- Providing cash in lieu of outdoor amenity for nearby park improvements.

3. Design

The applicant is proposing a 4-block townhome complex that responds to its long, asymmetrical and generally narrow rectangular site with a private drive aisle set on the site's east edge which hosts a row of townhomes fronting the full length of the 208 Street block face in a single-loaded configuration, except for the middle of the site where deeper properties allow for an additional block to be located on the drive aisle's other side. As required by the Townhome & Plex-Home Best Practices Guide, this east block is set back 6 metres from the rear property line, with the 3-storey portion set back further at 8 metres to sensitively transition the massing down to the neighbouring single-detached homes. The development's configuration efficiently absorbs a large 5 metre road dedication and helps distribute vehicle trips by providing multiple routes in and out of the site (on to 46 and 45A Avenues which connect to 208 Street). The site layout also allows for additional visitor parking to be provided (for a total of 6 visitor spaces; 5 spaces are required by Zoning Bylaw) and for a high number of large trees to be retained with the development. The development consists of 11 three-bedroom units and 15 four-bedroom units, and all units have ground-level patios and balconies. The 1.13 FAR density is less than the max. 1.2 FAR for the Ground Oriented land use.

The proposed design incorporates a black brick first floor base along the street frontage, with the rest of the elevations using neutral tones in roughly equal proportions and generally vertical modules to add variation, highlight individual units, and break up the blocks. Select building projections help to further articulate the massing, while prominent window frames and siding and board and batten textures provide additional visual interest.

The project's landscaping uses a variety of shrubs, grasses, and perennials to soften the site's edges and separate private patios. Trees of five different species are also provided in these landscaped areas to add a total of 20 new trees on-site. While this total does not reach the one-tree-per-unit guideline in the Best Practices Guide, this results from retaining many of the existing trees adjacent to the site which have large root zones that would conflict with the locations where additional new trees could be planted. Staff supports this landscape design as it meets the intent of the Guide's tree policies. Pavers are used to help highlight the site's entrances and visitor parking spaces. All proposed fencing is metal, including taller near-solid fencing on shared property lines for privacy and shorter

picket fencing along 208 Street and internal walkways to better engage with the public realm and avoid over-enclosing private yards.

Given the challenging site configuration and proximity to multiple parks, and the aim to maximize visitor parking spaces on-site, a cash amenity contribution in lieu of an on-site outdoor amenity area is to be provided by the applicant to fund nearby park improvements. The retention of existing trees, along with numerous new trees and plantings will also provide a generous amount of on-site greenery.

4. Sustainability

The proposal incorporates the following sustainable development features:

- Using construction techniques that minimize site disturbance and protect air quality;
- Incorporating the use of recycled building materials;
- Achieving an energy performance of 25% above the current Model National Energy Code;
- Incorporating climate-resilient and drought-tolerant plantings served by a central irrigation system with rain sensors;
- Using water conserving toilets; and
- Providing a Level II electric vehicle (EV) charger in every unit.

5. CPTED

The applicant's proposal benefited from a comprehensive Crime Prevention Through Environmental Design (CPTED) review by a qualified consultant whose recommendations were incorporated into the plans.

6. Summary

The proposed development is consistent with the City's OCP, Development Permit Area guidelines, and Townhome & Plex-Home Best Practices Guide and provides family-oriented homes near transit, parks, and an elementary school.

Engineering Requirements:

PRELIMINARY ONLY

Additional design changes may be required upon further investigation, site inspections and receipt of other supporting reports and documents.

All work to be done to the City of Langley's Design Criteria Manual (DCM), and the City's Subdivision and Development Servicing Bylaw (SDSB).

Per the City's DCM requirement, the developer and their consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Commitment by Owner and Consulting Engineer) prior to starting their design works.

Per the City's Watercourse Protection Bylaw No. 3152, the developer's consulting engineer shall submit to the City Engineer a signed and sealed copy of Form F-1 (Confirmation of Commitment by Qualified Environmental Professional - QEP) prior to starting their site monitoring works.

These requirements have been issued to reflect the application for development for a proposed **26-unit Townhouse Development located at 4560-80 208; 20815 45A.**

These requirements may be subject to change upon receipt of a development application.

The City's Zoning Bylaw, 1996, #2100 has requirements concerning landscaping for buffer zonings, parking and loading areas, and garbage and recycling containers, all of which applies to this design.

A) The Developer is responsible for the following work which shall be designed by a Professional Engineer:

- I. A Qualified Environmental Professional (QEP) must be engaged to implement erosion and sediment control in accordance with the City of Langley Watercourse Protection Bylaw #3152, as amended.
- II. A storm water management plan for the site is required. Rainwater management measures used on site shall limit the release rate to pre-development levels to mitigate flooding and environmental impacts as detailed in the City's DCM. All calculations shall be based the City' DCM with 20% added to the calculated results to account for climate change. A safety factor of 20% shall be added to the calculated storage volume. *Pre-development release rates shall not include climate change effect.*
- III. All existing services shall be capped at the main by the City, at the Developer's expense prior to applying for a demolition permit.
- IV. New water, sanitary and storm sewer service connections are required. All pertinent pipe design calculations shall be submitted in spreadsheet format and shall include all formulas for review by the City. The Developer's engineer will determine the appropriate main tie-in locations and size the connections for the necessary capacity.
- V. At the Developer's expense, the capacity of the existing water and sanitary sewer mains shall be assessed through hydraulic modeling performed by the City's standing hydraulic modeling consultant per DCM 3.8 and 6.5.

- I. Any upgrade requirement for either sanitary or water mains not covered under the City's DCC bylaw shall be designed and installed by the Developer at the Developer's expense.
- II. At the Developer's expense, the City's standing hydraulic modeling consultant shall conduct a fire hydrant flow test to be used in the City's water modeling to determine if the existing water network is adequate for fire flows (based on architectural data supplied by the Developer's Architect). Upgrading of the existing watermain(s) may be necessary to achieve the necessary pressure and flows to conform to Fire Underwriters Survey (FUS) "Water Supply for a Public Fire Protection, a Guide to Recommended Practice, 1995."
- VI. Additional C71P fire hydrants may be required to meet bylaw and firefighting requirements. Hydrant locations must be per CoL DCM Section 3.10 and approved by the City Engineer and the City of Langley Fire Rescue Service.
- VII. A property dedication of approximately 5m (+/-) will be required along the 208 St. frontages of the proposed development at 4570, 4560 208 St., and 20815 45A Ave. to provide a new ROW width of 25m on 208 St. – dedication amount to be determined by a legal surveyor.
- VIII. A 5m corner truncation at 20815 45A Ave., and a 4m truncation at 4580 208 St. will be required.
- IX. At the Developer's expense, a Traffic Impact Assessment (TIA) will be completed per the CoL DCM Section 8.21. The proposed development plan and statistics along with the proposed traffic study terms of reference should be forwarded to the City Engineer when ready. Upon acceptance of the terms of reference for the TIA the study must be completed and approved by the City Engineer prior to taking the application to Council. The TIA completion timing **must** be:
 - a. *For OCP Amendment / Rezoning Applications:* Prior to Council's first and second readings; and
 - b. *For Development Permits (DP):* Prior to Council consideration of the application.
- X. The scope and extent of the off-site works be determined in part from the TIA. New sidewalk, barrier curb, gutter will be required along the entire 208 St., 45A Ave., and 46 Ave. frontages, complete with boulevard trees and a planting strip as per the City DCM cross-section SS-SS-R01, SS-R07, and DCM Section 11.0 - Specifications and Standards for Landscaping.
- XI. 45A and 46 Aves. will require curb bulges at 208 St. and either side of lane entrances per DCM 8.5.4.
- XII. The condition of the existing pavement along the proposed project's frontages shall be assessed by a geotechnical engineer. Pavements shall be adequate for an expected road life of 20 years under the expected traffic conditions for the class of road. Road construction and asphalt

overlay designs shall be based on the analysis of the results of Benkelman Beam tests and test holes carried out on the existing road which is to be upgraded. If the pavement is inadequate, it shall be remediated by the Developer, at the Developer's expense.

- XIII. The site layout shall be reviewed by a qualified Professional Engineer to ensure that the parking layout, vehicle circulation, turning paths and access design meet applicable standards and sightline requirements, including setbacks from property lines. Appropriate turning templates should be used to prove parking stalls, loading areas and drive aisles are accessible by service vehicles. Refer to DCM Section 8. The design shall be adequate for MSU trucks as the design vehicle.
- XIV. Existing street lighting along the entire project frontage shall be analyzed (excluding any BC Hydro lease lights) by a qualified electrical consultant to ensure street lighting and lighting levels meet the criteria outlined in DCM 9.0. Any required street lighting upgrades, relocation, and/or replacement shall be done by the Developer at the Developer's expense. Any existing BC Hydro lease-lights to be removed and disposed of off-site.
- XV. Eliminate the existing overhead BC Hydro/telecommunication infrastructure along the development's 208 St. project frontage by replacing with underground infrastructure. If BC Hydro/Shaw/Telus are unwilling to underground at this time (in writing), pre-ducting for future undergrounding will be required, and the future undergrounding satisfied by a CoL approved C-I-L contribution.

B) The Developer is required to deposit the following bonding and fees:

- I. The Developer will be responsible for a C-I-L contribution toward the recent traffic signal upgrades at the intersection of 208 St. and 45A Ave. Amount to be determined by CoL staff.
- II. The City will require a Security Deposit based on the estimated construction costs of installing civil works, as approved by the City Engineer.
- III. The City will require inspection and administration fees in accordance to the Subdivision Bylaw based on a percentage of the estimated construction costs, as per the City's Subdivision and Development Servicing Bylaw 2021 #3126.
- IV. A deposit for a storm, sanitary and water services is required, which will be determined by City staff after detailed civil engineering drawings are submitted, sealed by a Professional Engineer.
- V. The City will require a \$40,000 bond for the installation of a water meter to current City standards as per the DCM.
- VI. A signed and sealed pavement cut form (Form F-2 of the City's DCM) shall be completed by the developer's consulting engineer. Upon the review

and approval of the City Engineer of the submitted form, the corresponding Permanent pavement cut reinstatement and degradation fees shall be paid by the Developer.

NOTE: Deposits for utility services or connections are estimates only. The actual cost incurred for the work will be charged. The City will provide the developer with an estimate of connections costs, and the Developer will declare in writing that the estimate is acceptable.

C) The Developer is required to adhere to the following conditions:

- I. The Developer's Consulting Engineer shall perform their periodic Field Reviews, As required by EGBC, and send a copy of the Review to the City Engineer within a week of completion of each Review
- II. Unless otherwise specified by the City Engineer, all engineering works shall be designed based on the City's DCM specifications in accordance with the City's Subdivision and Development Servicing Bylaw 2021, No. 3126
- III. Undergrounding of hydro, telecommunication to the development site is required, complete with underground or at-grade transformer
- IV. Transformers servicing developments are to be located on private property with maintenance access located on private property. All transformers to be wrapped upon installation by the Developer.
- V. All survey costs and registration of documents with the Land Titles Office are the responsibility of the developer/owner. Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.
- VI. A water meter is required to be installed on private property, preferably in the mechanical room, in accordance to the City's DCM standards at the Developer's cost.
- VII. An approved backflow prevention assembly must be installed on the domestic water connection immediately upon entering the building to provide premise isolation.
- VIII. A *Stormceptor* or equivalent oil separator is required to treat site surface drainage.
- IX. A complete set of record drawings (as-built) of off-site works, service record cards and a completed tangible capital asset form (TCA) all sealed by a Professional Engineer shall be submitted to the City within 60 days of the substantial completion date. Digital drawing files in .pdf and .dwg formats shall also be submitted. All the drawing submissions shall:
 - a. Use City's General Note Sheet and Title Block; and
 - b. Closely follow the format and sequence outlined in the City's DCM that will be provided to the Developer's Consulting Engineer.

- X. The selection, location and spacing of street trees and landscaping are subject to the approval of the City Engineer. Please refer to the City's DCM for more details.
- XI. Stormwater run-off generated on the site shall not impact adjacent properties, or roadways.
- XII. Garbage and recycling enclosures shall accommodate on the site and be designed to meet Metro Vancouver's "Technical Specifications for Recycling and Garbage Amenities in Multi-family and Commercial Developments - June 2015 Update." Please refer to the City's Subdivision and Development Servicing Bylaw 2021, No. 3126 for more details.

Fire Department Comments:

Fire department access for the whole project was reviewed to ensure adequate access was in place for both apparatus and firefighters. A construction fire safety plan shall be completed. A lockbox will need to be provided, location to be determined at a later date.

Advisory Design Panel:

In accordance with Development Application Procedures Bylaw No. 2488, the subject Zoning Bylaw amendment and Development Permit application will be reviewed by the Advisory Design Panel (ADP) at the November 6, 2024 meeting.

According to the Council-approved ADP Terms of Reference, the ADP is to provide form and character and urban design-related advice and recommendations for Council's consideration. ADP recommendations will be presented to Council through the ADP meeting minutes and, if applicable, through an additional City staff report, prior to Council consideration of the proposed Zoning Bylaw amendment and Development Permit Applications.

A copy of the ADP minutes will be presented to Langley City Council at a future Regular Council meeting.

BUDGET IMPLICATIONS:

In accordance with Bylaw No. 2482, the proposed development would contribute \$303,442.00 to City Development Cost Charge accounts and \$104,000.00 in Community Amenity Contributions.

Cash to be provided in lieu of outdoor amenity space would be based on the properties' latest averaged assessed values at the time the application receives third reading. At current values, the amount would be \$34,286.28.

Prepared by:



Anton Metalnikov, RPP, MCIP
Planner

Concurrence:



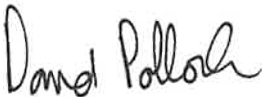
Roy M. Beddow, RPP, MCIP
Deputy Director of Development Services

Concurrence:



Carl Johannsen, RPP, MCIP
Director of Development Services

Concurrence:



David Pollock, P.Eng.
Director of Engineering, Parks,
& Environment

Concurrence:



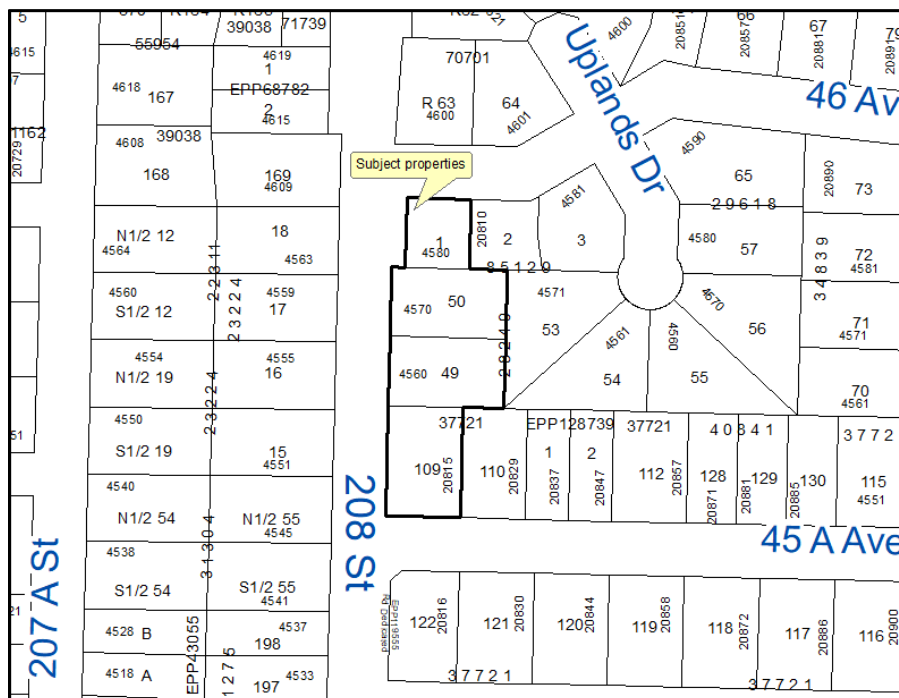
Scott Kennedy
Fire Chief

Attachments



DEVELOPMENT PERMIT APPLICATION DP 07-24 REZONING APPLICATION RZ 06-24

Civic Addresses: 20815 45A Avenue & 4560-4580 208 Street
Legal Description: Lot 109, Section 36, Township 7, New Westminster District, Plan 37721; Lot 49, Section 36, Township 7, New Westminster District, Plan 28249; Lot 50, North West Quarter Section 36, Township 7, New Westminster District, Plan 28249; Lot 1, Section 36, Township 7, New Westminster District, Plan 85129
Applicant: Leone Homes Inc.
Owners: Linda Stewart, Lea-Ann Stewart, Luke Morrow, Raqiya Khan, Abdul-Rahim Khan, Brenden Boux, Deborah Kellner, Robert Stare, & Heather Stare



26 UNIT TOWNHOUSE DEVELOPMENT

4560,4570,4580, 208 STREET &
20815, 45A AVENUE, LANGLEY



CONTACT LIST:

DEVELOPER :

LEONE HOMES INC.
238-13986 CAMBIE ROAD
RICHMOND , B.C. V6V 2K3
TEL : 604 418 8678
EMAIL : dennis@leonehomes.ca

ARCHITECT :

F. ADAB ARCHITECTS INC.
130 - 1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, B.C. V7P 3R4
TEL : 604 987 3003
EMAIL : azar@multigonfadam.com

SURVEYOR:

SOUTH FRASER LAND
SURVEYING LTD.
202-19292, 60TH AVE.
SURREY, B.C. V3S 3M2
TEL : 604 590 1886
EMAIL : Dennis@southfrasersurvey.ca

CIVIL ENGINEER :

CENTRAS ENGINEERING LTD
216-2630 CROYDON DR.
SURREY, B.C. V3S 6T3
TEL : 604 782 6927
EMAIL : anthony@centras.ca

LANDSCAPE ARCHITECT:

PMG LANDSCAPE ARCHITECTS
C100-4185 STILL CREEK DRIVE,
BURNABY, B.C. V5C 6G9
TEL : 604 294 0011
FAX : 604 294 0022
EMAIL : Yiwon@pmglandscape.com

CPED CONSULTANT :

AMR SYSTEMS LTD.
201-45269
KEITH WILSON ROAD
CHILLIWACK, B.C. V2R 5S1
TEL : 604 402 0031
EMAIL : kim@amrsystems.ca

ACOUSTIC CONSULTANT :

BROWN STRACHAN
1290 HOMER STREET,
VANCOUVER, B.C. V6B 2Y5
TEL : 604 669 5711
EMAIL : bsa@brownstrachan.com

ARBORIST :

KLIMO & ASSOCIATES LTD.
114 - 4300 N. FRASER WAY,
BURNABY, B.C. V5J 5J8
TEL : 604 358 5562
EMAIL : klimo@klimoassociates.com

MECHANICAL :

MEC ENGINEERING
CONSULTING LTD.
4 - 15243, 91 AVENUE,
SURREY, B.C. V3R 0P0
TEL : 604 561 0336
EMAIL : nav.brar@mecengineering.ca

ELECTRICAL :

LOADING ENGINEERING
211 - 13030 LINCOLN AVENUE,
COQUITLAM, B.C. V3B 6B4
TEL : 604 408 2380
EMAIL : miko@loadingeng.ca

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- A-3.2a ELEVATIONS (NORTH & WEST) - BUILDING 2
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- A-4.2 BUILDING 2 SECTIONS
- A-4.2 BUILDING 3 SECTIONS
- A-4.2 BUILDING 4 SECTIONS

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- L2 SHRUB PLAN
- L3 PLANT IMAGES
- L4 GRADING PLAN
- L5 LANDSCAPE DETAILS



**F. ADAB
ARCHITECTS
INC.**

#100-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3003
E-MAIL: info@fadam.com

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Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.



NO	DATE	REVISION / ISSUED
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

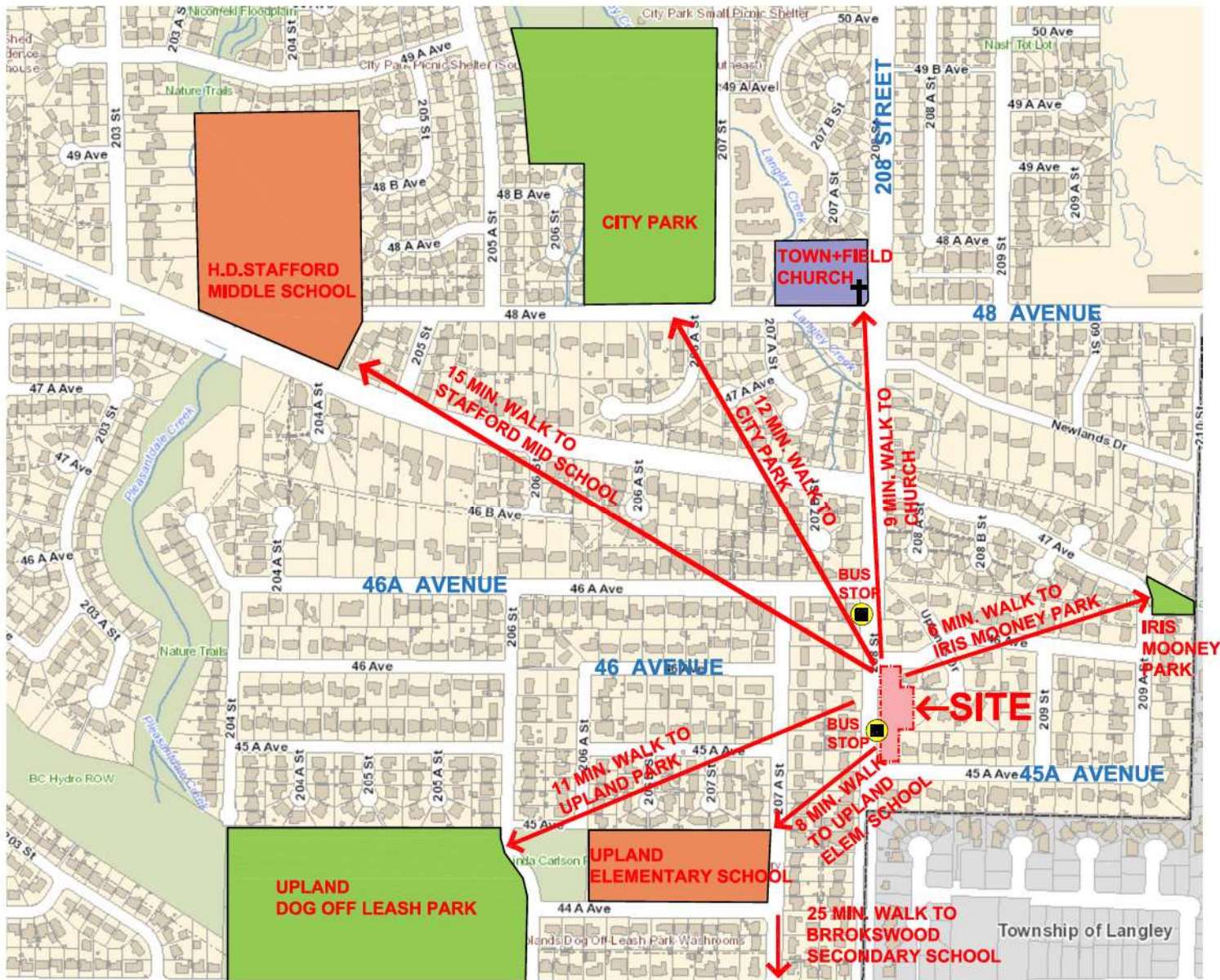
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**COVER PAGE
INDEX AND
CONTACT LIST**

DATE:	March 2024	SHEET NO:
SCALE:	N/A	
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

A-1.0



**F. ADAB
ARCHITECTS
INC.**

#100-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3M4
TEL: (604) 967-0003 FAX: (604) 967-0033
E-MAIL: info@f.adab.ca

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 05-24	ISSUED FOR PRE-APPLICATION
N/A		

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

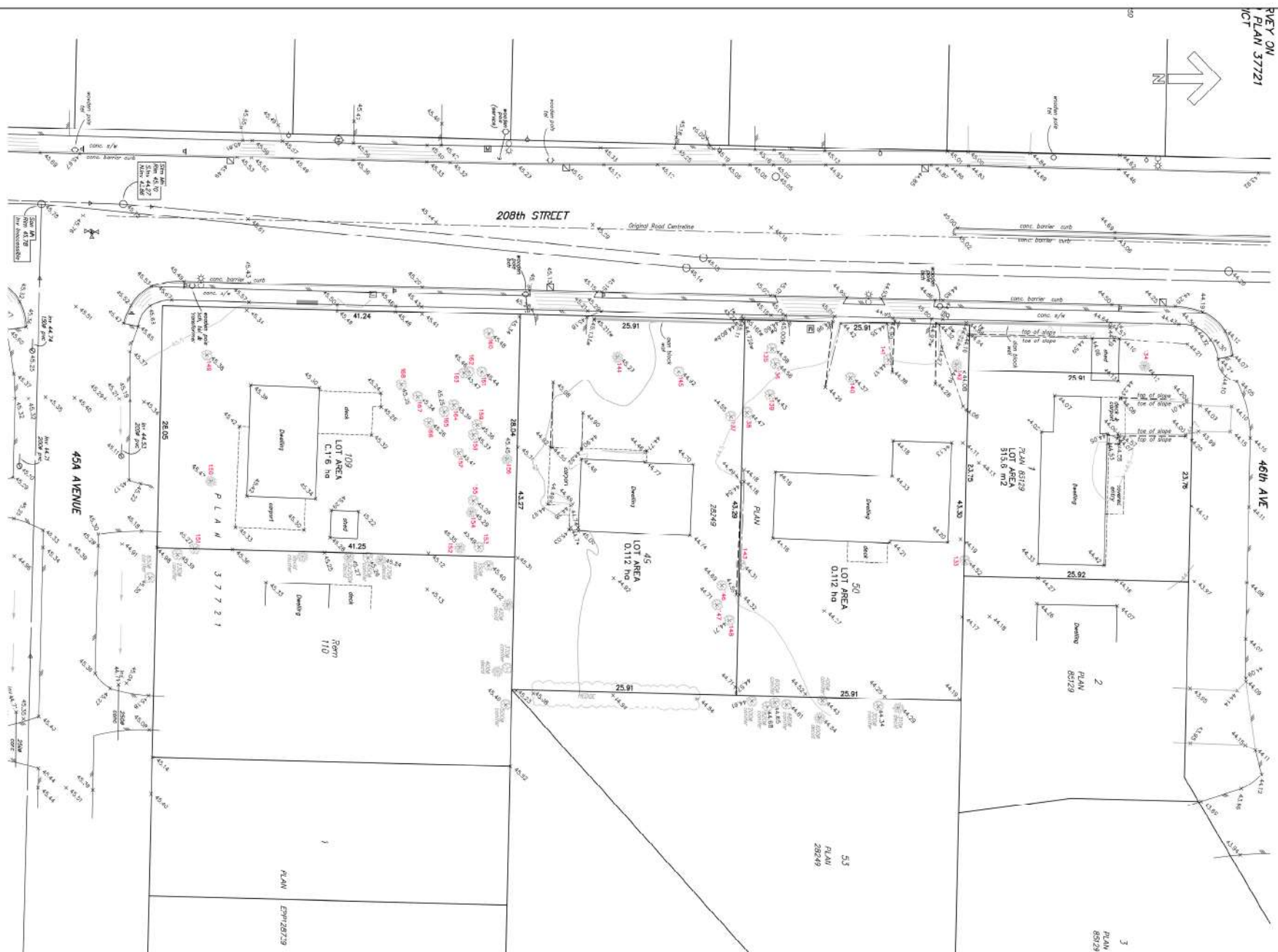
FOR:
LEONE HOMES INC.
238 - 13886 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
CONTEXT MAP

DATE:	March 2024	SHEET NO:
SCALE:	NTS	
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	-	

A-1.1

CONTEXT MAP



PLAN 37721
PLAN 37721



**F. ADAB
ARCHITECTS
INC.**

#100-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3H4
TEL: (604) 987-3033 FAX: (604) 987-3033
E: info@fadab.com

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NO	DATE	REVISION / ISSUED
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

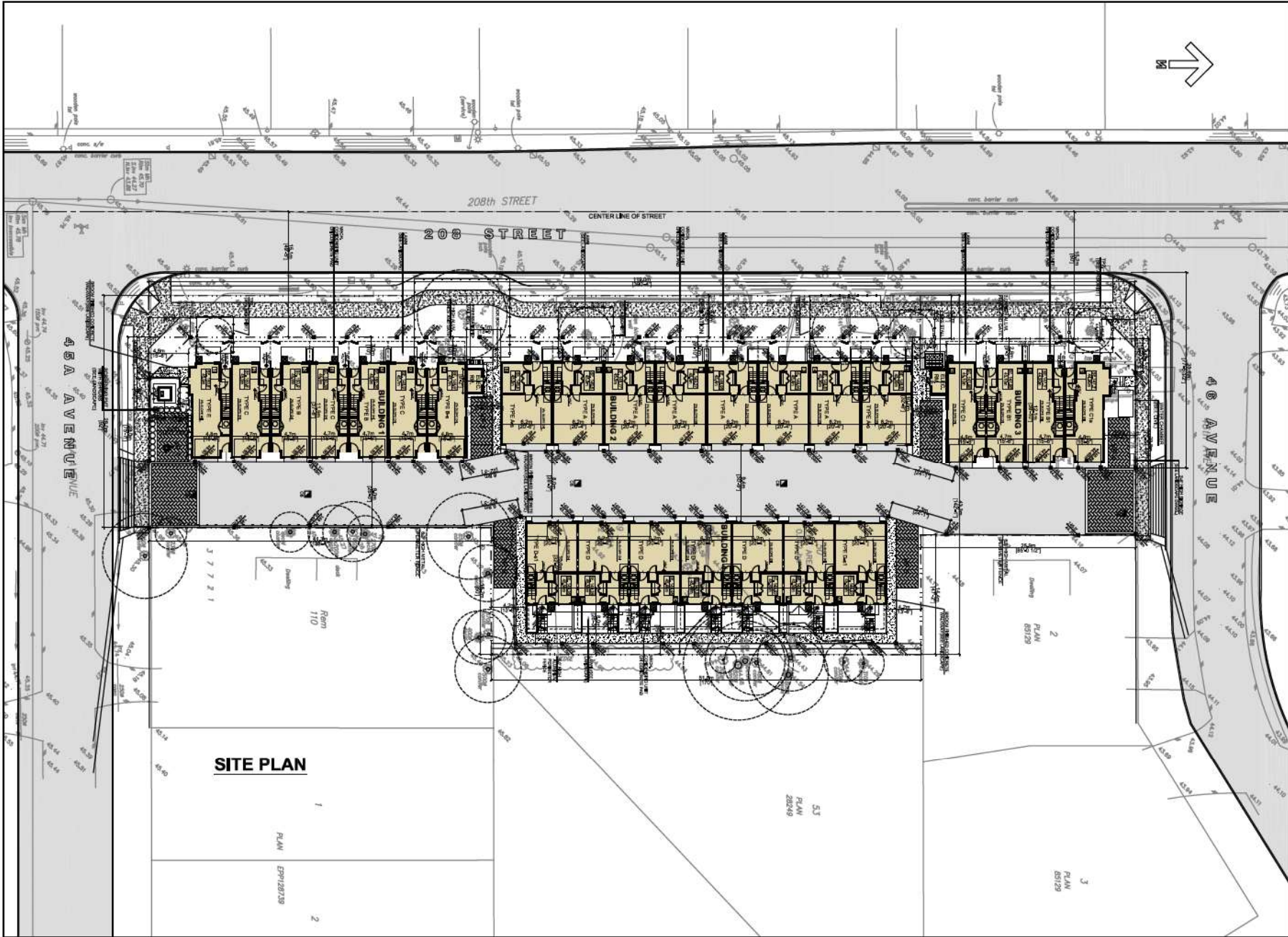
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
205 15 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13985 CAMBRIDGE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SURVEY PLAN

DATE:	March 2024	SHEET NO:
SCALE:	NTR	
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:		

A-1.3



**F. ADAB
ARCHITECTS
INC.**

#130-100 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3G4
TEL: (604) 967-0003 FAX: (604) 967-0003
EMAIL: info@f-adab.com

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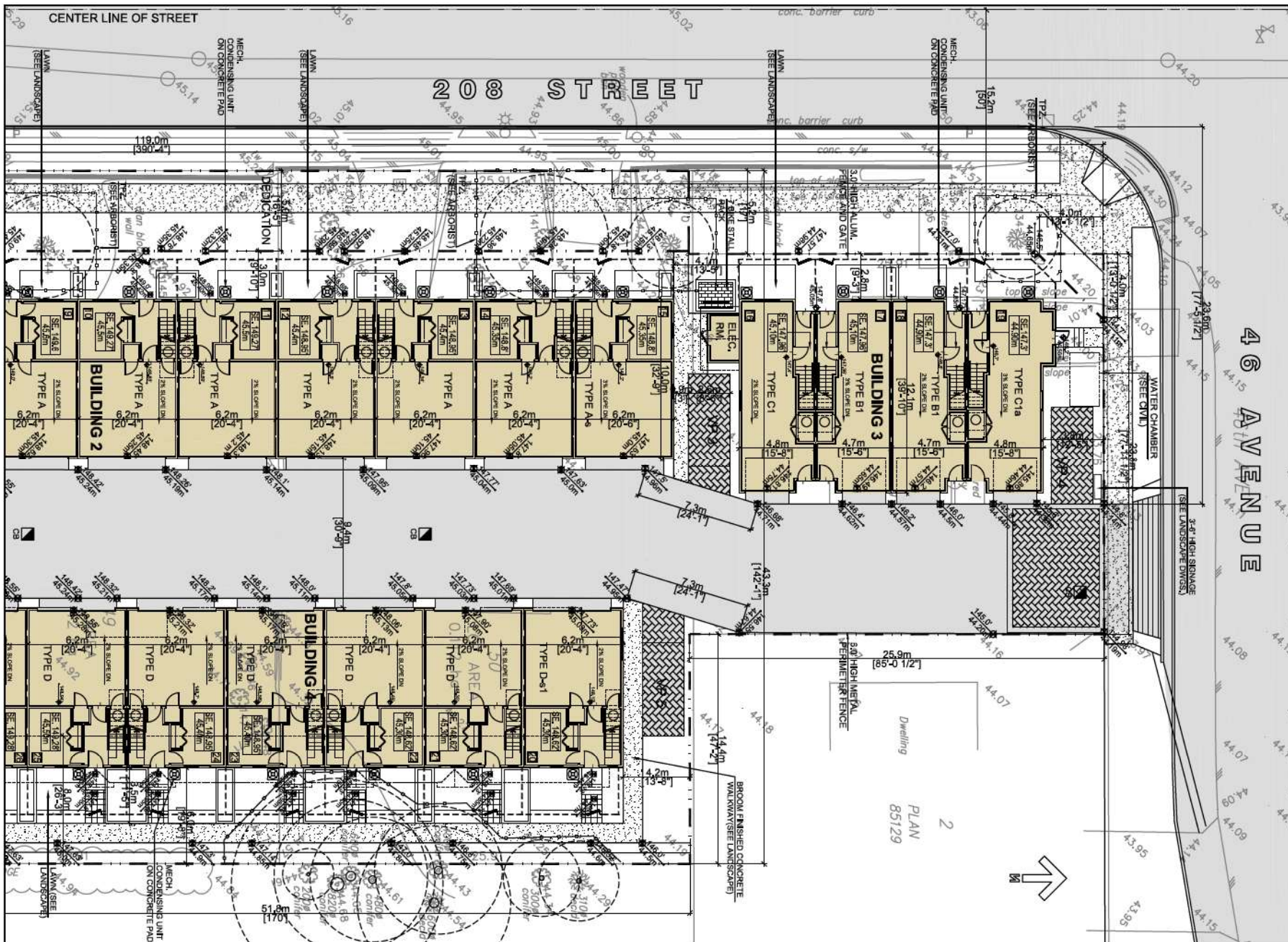
NO.	DATE	REVISION / ISSUED
1	JUL, 22-24	ISSUED FOR PRE-APPLICATION
2	AUG 16-24	ISSUED FOR RECORDING & DP
3	SEP 10-24	RE-ISSUED FOR RECORDING & DP

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SITE PLAN

DATE: March 2024	SHEET NO.
SCALE: NTL.	A-1.4
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO:	



F. ADAB ARCHITECTS INC.

9130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 964-0000 FAX: (604) 964-0003
CAD: 604.964.0003@f.adab.com

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NO.	DATE	REVISION	ISSUED
3	SEP 10-04	REBUILT FOR RECORDING & DP	
2	AUG 10-04	REBUILT FOR RECORDING & DP	
1	JUL 02-04	ISSUED FOR PRE-APPLICATION	

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
SITE PLAN-PART 2

DATE:	March 2004	SHEET NO.:	A-1.4b
SCALE:	NTS	DESIGN:	AA
DRAWN:	AA	PROJECT NO.:	

STATISTICS :

CIVIC ADDRESS :

4560, 4570, 4580, 208 STREET &
20815, 45A AVENUE, LANGLEY, BC.

LEGAL DESCRIPTION:

LOT 1, PLAN 85129,
LOTS 49 & 50, PLAN 28249,
LOT 109, PLAN 37721,
SECTION 36, TOWNSHIP 7,
NEW WESTMINSTER DISTRICT

ZONING :

EXISTING : RS1
PROPOSED : CD

SITE AREA :

BEFORE DEDICATION : 0.40 HA. = 0.99 ACRE
43,164 SQ.FT. = 4,010 m²

AFTER DEDICATION : 37,773 SQ.FT. = 3509 m²
0.35 HA. = 0.86 ACRE

DEDICATIONS :

(5M = 16'-5" DEDICATION ALONG 208 STREET,
4M.X4M. TRIANGLE CORNER CUT AT NORTH-WEST &
5M.X5M. TRIANGLE CORNER CUT AT SOUTH-WEST)

GROSS FLOOR AREA :

BUILDING 1 : 12285 SQ.FT. 1141.2 M²
BUILDING 2 : 15956 SQ.FT. 1482.3 M²
BUILDING 3 : 7582 SQ.FT. 704.4 M²
BUILDING 4 : 12910 SQ.FT. 1199.3 M²

TOTAL AREA : 48733 SQ.FT. = 4527.2 m²

FSR :

(PRIOR TO ROAD DEDICATION)

ALLOWED : MAX. 1.200
PROVIDED : 48733 / 43164 = 1.13

FSR :

(AFTER ROAD DEDICATION)

ALLOWED : MAX. 1.200
PROVIDED : 36601 / 37773 = 0.968

DENSITY :

PROVIDED : 26 UNIT / 0.99 ACRE :
30.2 UNIT / ACRE
74.2 UNIT / HA.

UNIT MIX :

SIDE BY SIDE CAR UNITS : 15
(INCLUDING 7 UNITS WITH 2-1/2 STOREY)
TANDEM UNITS : 11
TOTAL NO. OF UNITS : 26

SITE COVERAGE :

ALLOWED : MAX 45%
PROPOSED : 43.6%
(1582 SQM.)

PARKING :

2 / UNIT : 52
VISITORS
REQUIRED : 0.2 TOTAL UNITS
0.2 X 26 = 5.2
PROVIDED : 6 (INCLUDING 1 ACCESSIBLE)
VISITOR BIKE RACK : 6

SITE SETBACKS :

REQUIRED & PROVIDED :
NORTH : 3.0 M. (10.0')
WEST : 3.0 M. (10.0')
SOUTH : 3.0 M. (10.0')
EAST : 6.0M.(FOR 1ST & 2ND FLOORS)
8.0M. (FOR 3RD FLOOR)

UNIT MIX					
UNIT TYPE	NO. OF BED RM.	NO. OF UNITS	AREA (INC. GARAGE) (SQ.FT.)	AREA (EXC. GARAGE) (SQ.FT.)	TOTAL AREA (INC. GARAGE) (SQ.FT.)
A	4	8	1987	1555	11802
A-6	4	2	2075	1884	4152
B	3	2	1752	1294	3504
B1	3	2	1841	1352	3582
B-6	3	1	1823	1359	1823
C	3	3	1709	1251	5127
C1	3	1	1935	1439	1935
C1a	3	1	1984	1439	1984
D	4	5	1835	1423	9175
D-61	4	2	1882	1450	3724
E	3	1	1845	1358	1845
TOTAL		28			48733

CODE ANALYSIS

1.0 PROJECT DESCRIPTION

The proposed development is planned for a site bounded by 208 Street on the west, 45A Avenue on the south and 46 Avenue on the north. The project will consist of 4 buildings containing :

- Building 1 : 7 units with two tandem parking garage
- Building 2 : 8 units with two side by side parking garage
- Building 3 : 4 units with two tandem parking garage
- Building 4 : 7 units with two side by side parking garage

2.0 BUILDING CLASSIFICATION

This project may be considered under part 9 of the 2024 BCBC. Since all four buildings are within 600 m² maximum building area and 3 storey height, it is allowed under part 9.

The buildings have the characteristics shown in the following table :

CODE CLASSIFICATION SUMMARY

Building	Building area (m ²)	No. of Storeys	Occupancy	Classification
1	388	3	C	Table 9.10.8.1
2	516	3	C	Table 9.10.8.1
3	247	3	C	Table 9.10.8.1
4	438	3	C	Table 9.10.8.1

2.1 Building Classification Details

2.1.1. There are no storeys below ground

2.1.2. Storeys above ground (see 4.0 "Fire Separation")

- Combustible construction is allowed (Table 9.10.8.1)
- Floor assemblies to have min. 45 minute F.R.R. (Table 9.10.8.1)
- Roof assemblies to have min. 60 minute F.R.R. (Table 9.10.8.1)
- Floor rating not required (Table 9.10.8.1)

3.0 FIRE FIGHTING ACCESS

3.1 Unobstructed path of travel requirements

Part 9 is not specific about the fire department access requirements.

Part 3 is more specific about fire fighters' path of travel and is used as a guide

4.0 FIRE SEPARATIONS

Party walls : 1 hour : 9.10.9.14(3)

Floor within suites are not required to be fire separations or to have a fire resistance rating. Roofs are required to have 1 hr. fire resistance rating

5.0 SPATIAL SEPARATIONS AND UNPROTECTED OPENING

Spatial separation and amount of unprotected openings have been reviewed by, for each building on sheets A-3.1 and A-3.2 building elevations.

6.0 FIRE ALARM SYSTEM

A fire alarm system is not required for this type of Part 9 residential occupancy where each suite has direct access to an exterior exit door at grade, as per 9.10.18.2.(5)

Article 9.10.1.3.(8) requires sprinklers to be installed according to certain Part 3 requirements.

Sprinkler system shall be designed in conformance with Articles 3.2.5.8 to 3.2.5.11 and 3.2.5.17 (which refer only to the sprinkler system and not to fire alarms). Therefore no fire alarm system will be provided.

7.0 SPRINKLER SYSTEM

The project will be sprinklered

8.0 EGRESS

Egress from suites conforms to Sentence 9.9.9.1.(2)

9.0 REQUIREMENTS FOR PERSONS WITH DISABILITIES

The buildings are not required to be accessible.



**F. ADAB
ARCHITECTS
INC.**

#136-000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3K4
TEL: (604) 967-3003 FAX: (604) 967-3033
EMAIL: info@f-adab.com

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NO.	DATE	REVISION / ISSUED
3	SEP-10-24	ISSUED FOR REZONING & DP
2	AUG-16-24	ISSUED FOR REZONING & DP
1	JUL-02-24	ISSUED FOR PREAPPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
STATISTICS

DATE: March 2024	SHEET NO: 1
SCALE: N/A	A-1.5
DESIGN: A.A.	
DRAWING: A.A.	



**F. ADAB
ARCHITECTS
INC.**

#13041000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 2N4
TEL: (604) 984-0003 FAX: (604) 984-0003
E-MAIL: info@faden.ca

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3	SEP 10-24	ISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	JUL, 02-24	ISSUED FOR PRE-APPLICATION
NOL	DATE	REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13938 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 2
PERSPECTIVE VIEW
FROM 208 STREET**

DATE:	March 2024	SHEET NO:
SCALE:	NTS.	
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	-	

A-1.6



BUILDING 3
NORTH ELEVATION



BUILDING 1 WEST ELEVATION



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: info@mcgillconcrete.com

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PART 10-3		
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	JUL, 02-24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13985 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDINGS 1 AND 3
COLORED ELEVATIONS

DATE: March 2024	SHEET NO:
SCALE: NTS	A-1.7
DESIGN: AA	
DRAWN: AA	
PROJECT NO: -	

Design Rationale

20815, 45A Avenue, Langley, BC.

Introduction

This Design Rationale is to be read as part of a rezoning and development application for a 26-unit townhome development at 20815, 45A Avenue & 4560, 4570, 4580 - 208 Street, Langley.

The project consists of 19 four-bedroom and 7 three-bedroom units. The four bedroom units have side-by-side garages and three bedroom units have tandem parking.

The areas of each unit are specified in the unit mix schedule and are all family oriented accommodations.

Site Characteristics, History, and Context

This development proposal would occupy four single family lots facing 208 Street to the west, 45A Avenue to the south, and 46 Avenue to the north.

There is a 5.0-meter dedication along 208 Street. There is also a 4.0m x 4.0m corner cut on the north-west and a 5.0m x 5.0m corner cut on the south-west.

The proposed development seeks rezoning from RS1 to CD (Townhouse) and consists of four building blocks.

The buildings follow the existing grade elevations and responds to natural topography of the site.

Zoning, Orientation

The building orientation responds to the size and shape of the site. 19 units are facing 208 Street and have pedestrian access off this street. One unit has a presence on 208 Street and 45A Avenue. Similarly, the end unit to the north has a presence on 46 Avenue as well as on 208 Street.

Low aluminum fences and gates are introduced along the street providing a safe and pleasant pedestrian route to the entries of the units.

Vehicular access is provided through an eight-meter internal road running from 45A Avenue to 46 Avenue.

Massing, Form, and Character

The building design is influenced by Georgian style architecture and along with the finishing materials stands out differently from the other townhouse developments in the City of Langley.

Architectural articulations and decorative character introduce a harmonized linear form with a simple combination of Georgian style and West Coast character.

Entries are identifiable with individual gables and brackets.

The height and massing are reduced on Building 4 facing east neighbouring properties. By cutting the building back and introducing a mid roof the building gives an impression of a 2-1/2 storey on the east side.

Articulations and variations in window sizes enrich the style and character of the design and help defining the Georgian style.



**F. ADAB
ARCHITECTS
INC.**

#130-1035 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 2M4
TEL: 604-461-5623 FAX: 604-461-5623
604-461-5623 info@f.adab.com

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2	AUG 16-24	ISSUED FOR REZONING & DP							
1	JUL 02-24	ISSUED FOR PRE-APPLICATION							
NO.	DATE	REVISION / ISSUED							

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 15386 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
DESIGN RATIONALE
SITE, ZONING, ORIENTATION,
MASSING, FORM AND CHARACTER

DATE:	March 2024	SHEET NO.:	
SCALE:	N/A		
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO.:			

A-1.9

Livability, Energy Saving and Green Measures

The site is located in proximity to public amenities and transportation network.

Below are the public amenities that are within walking distance of the site:

- 1- 9 minutes walk to Town + Field Church
- 2- 12 minutes walk to City Park
- 3- 15 minutes walk to the Stafford Middle School
- 4- 8 minutes walk to Iris Mooney Park
- 5- 8 minutes walk to Upland Elementary School
- 6- 11 minutes walk to Upland Park
- 7- 25 minutes walk to Brookwood Secondary School

Many green building strategies have been incorporated into the project design including the following items:

- The building envelope, glazing, and mechanical system are designed to meet the step 3 code requirements, Comply with the 2024 code and in compliance with ASHRAE 90, 2010
- Low emission adhesives paint and flooring will be used throughout the units
- Water efficient fixtures, energy efficient appliances and drought tolerance plants will be used minimizing the use of potable water
- All units have private patios at grade and decks on the 2nd floor contributing to the livability of the units and creating a family oriented environment
- The water consumption strategy will be used through the use of an alternate solution for the sprinkler system by utilizing the domestic cold water system instead of a separate sprinkler line.
- The mechanical system is equipped with a heat pump system providing both cool and hot air. Also a heat recovery system 'HRV' will be provided for recycling the heat energy.
- All garages are equipped with electric chargers.



**F. ADAB
ARCHITECTS
INC.**

#1304055 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 2H4
TEL: 604-461-5623 FAX: 604-461-5623
604-461-5623 info@f.adab.com

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3	SEP 10 2024	REISSUED FOR REZONING & DP							
2	AUG 16 2024	ISSUED FOR REZONING & DP							
1	JUL 02 2024	ISSUED FOR PRE-APPLICATION							
NO.	DATE	REVISION / ISSUED							

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

FOR:
LEONE HOMES INC.
238 - 13936 CAMBIE ROAD,
RICHMOND, B.C., V6V 2K3

DRAWING TITLE:
**DESIGN RATIONALE
LIVABILITY, ENERGY SAVING
AND GREEN MEASURES**

DATE:	Month 2024	SHEET NO:	
SCALE:	N/A		
DESIGN:	A.A.		
DRAWING:	A.A.		
PROJECT NO:			

A-1.10

Crime Prevention Through Environmental Design. "CPTED"

The rationale behind the CPTED strategy takes into account standard measures as well as items specifically related to this proposal. These provisions are aimed to enhance safety and strengthen the perception of security.

The firm of AMR SYSTEMS LTD. is hired to study the CPTED strategy for the site and their study and report has been reviewed by the architect and the landscape designer and their recommendation are incorporated in the design.

The proposed CPTED measure falls into the following categories:

Provision of identifiable territoriality

Provision of natural surveillance

Defining the hierarchy of space

Provision of access and perimeter control

- The windows and balconies along 208 Street, 45A Avenue and 46 Avenue, ensure the outdoor presence of the people, which provide "eyes on the street" and security for the private and public spaces
- Lights would be installed on both sides of the townhouse entries and garage doors illuminating the entire buildings and internal road. Outdoor lights are regulated by a photo cell system
- The simplicity of the massing and its orientation creates an open space environment visible from every angle with no enclave or semi enclosed spaces for strangers and wandering people
- The Access control is achieved by ensuring visible entrances overlooked by windows and balconies as well as defining the entrance ways and controlling the point of access to the site
- Landscaping, plants, and fences are designed to prevent hidden spaces and secure resident's control. The Strata Corporation should implement a maintenance manual.



**F. ADAB
ARCHITECTS
INC.**

#1304055 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 2H4
TEL: 604-461-5453 FAX: 604-887-3333
604.612.2161 info@fmadab.com

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3	SEP 10-24	REISSUED FOR REDRAWING & DP							
2	JUNE 19-21	ISSUED FOR REDRAWING & DP							
1	JUL 02-24	ISSUED FOR PRE-APPLICATION							
NO.	DATE	REVISION / ISSUED							

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

FOR:
LEONE HOMES INC.
238 - 13936 CAMBIE ROAD,
RICHMOND, B.C., V6V 2K3

DRAWING TITLE:
DESIGN RATIONALE
CPTED

DATE:	Month 2024	SHEET NO:
SCALE:	N/A	A-1.11
DESIGN:	A.A.	
DRAWING:	A.A.	
PROJECT NO:	-	

Exterior Finishes and Colour

The selection of the exterior finishes has been based on the enhanced durability/longevity of the construction materials as part of a sustainable approach.

A variety of building materials are used with emphasis on richer urban elements. Brick is the main finish on base of the buildings. Board & batten is introduced on the projected bays with two contrast colors. Black panels combined with black vinyl windows in order to emphasize on vertical elements on bays. 4" lap siding is also provided with warm beige color between the bays. Natural maple wood is used under the entry gables and brackets.

No vinyl material is introduced on any facades of the buildings.

The colours are selected with emphasis on black brick, black and white board & batten, black panels and windows and the natural maple wood colour in selected areas.



BUILDING 1 WEST ELEVATION

EXTERIOR FINISH COLOUR SCHEME



1
ASPHALT SHINGLE ROOF :
MOUNTAIN SLATE -
BY IKO ROYAL ESTATE



2
BRICK
ONYX IRONSPOT - BY I.X.L.



3
HARDIE SIDING
WEATHERED CLIFF-
BY JAMES HARDIE MAGNOLIA
COLLECTION



4
HARDIE PANELS, FASCIAS
& TRIMS
SW 6258 TRICORN BLACK -
BY SHERWIN WILLIAMS (251)



5
6" TRIMS, BAND BOARDS &
BRACKETS -
NATURAL MAPLE WOOD



6
HARDIE BOARD & BATTEN :
SW 7005 PURE WHITE-
BY SHERWIN WILLIAMS



7
HARDIE BOARD & BATTEN :
SW 7069 IRON ORE-
BY SHERWIN WILLIAMS



F. ADAB
ARCHITECTS
INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3N4
TEL: (604) 967-3025 FAX: (604) 967-3023
EMAIL: info@f.adabarchitects.com

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3	SEP 10 2024	REISSUED FOR REZONING & OP							
2	JUNE 19 2021	ISSUED FOR REZONING & OP							
1	JUL 02 2024	ISSUED FOR PREAPPLICATION							
NO.	DATE	REVISION / ISSUED							

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

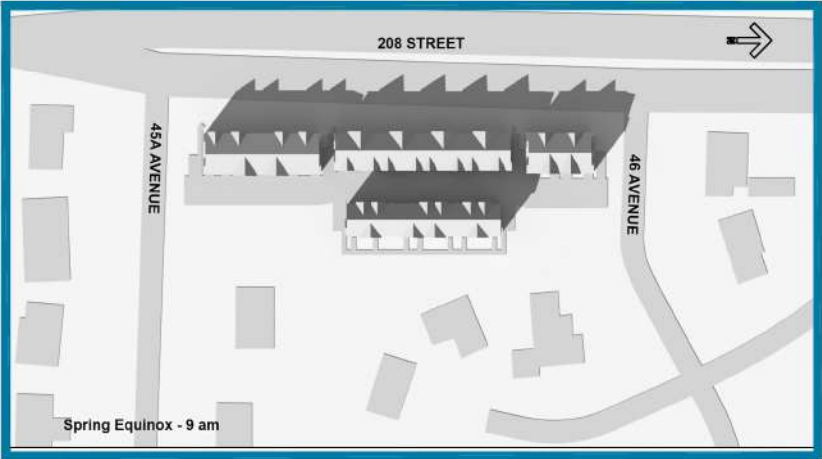
FOR:
LEONE HOMES INC.,
238 - 13888 CAMBIE ROAD,
RICHMOND, B.C., V6V 2K3

DRAWING TITLE:
EXTERIOR FINISHES

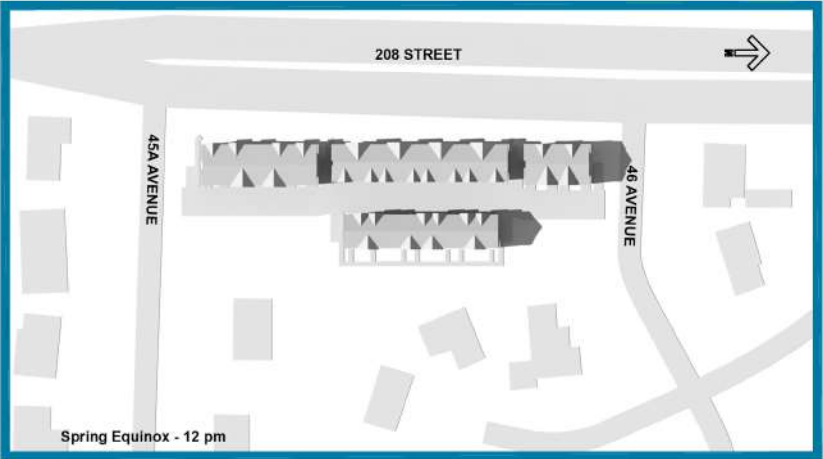
DATE:	March 2024	SHEET NO:	
SCALE:	N/A		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO:			

A-1.12

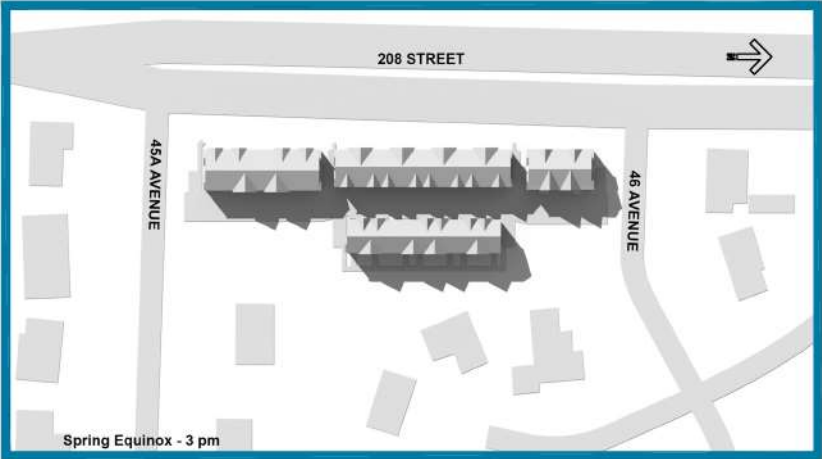
SHADOW ANALYSIS



MARCH 21 - 9 AM



MARCH 21 - 12 PM



MARCH 21 - 3 PM



F. ADAB
ARCHITECTS
INC.

#135-1003 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3N4
TEL: (604) 961-4000 FAX: (604) 961-4003
EMAIL: info@f.adab.com

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	REVISIT FOR RECOGNITION & CP
2	AUG 16-24	ISSUED FOR RECOGNITION & CP
1	JUL 02-24	ISSUED FOR PREAPPLICATION

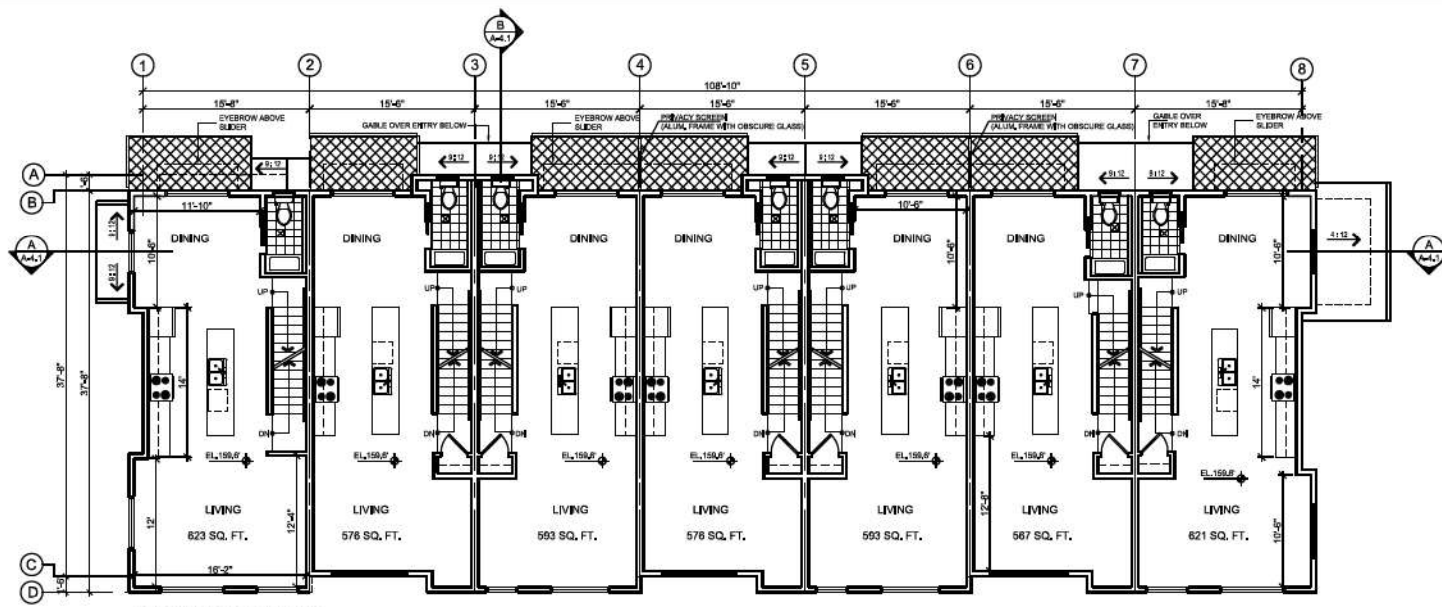
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20816 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13988 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

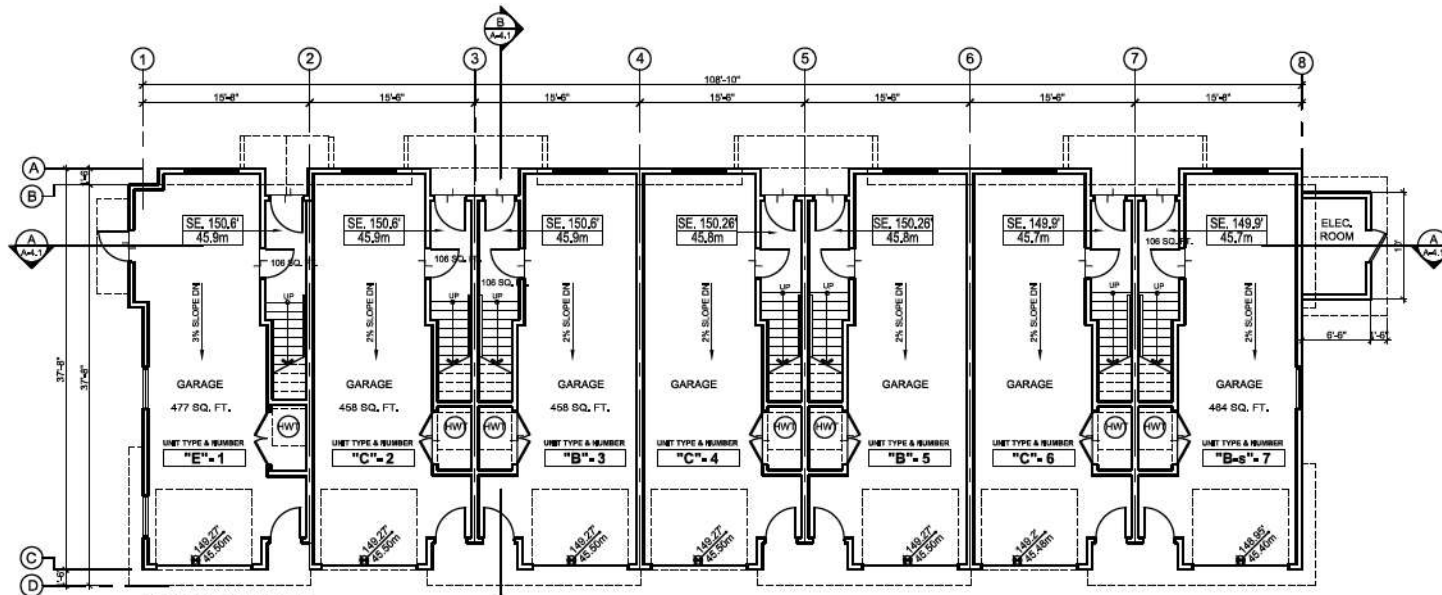
DRAWING TITLE:
SHADOW ANALYSIS

DATE:	March 2024	SHEET NO.:
SCALE:	N/A	
DESIGN:	A/A	
DRAWING:	A/A	
PROJECT NO.:	-	

A-1.13



SECOND FLOOR PLAN



FIRST FLOOR PLAN

NOTE :
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



**F. ADAB
ARCHITECTS
INC.**

#150-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3M4
TEL: (604) 967-0003 FAX: (604) 967-0003
E-MAIL: info@fadab.ca

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3	SEP 10 24	REISSUED FOR REVISIONS & DP
2	AUG 16 24	ISSUED FOR REVISIONS & DP
1	JUL 22 24	ISSUED FOR PRE-APPLICATION
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 1
FIRST AND SECOND
FLOOR PLANS

DATE:	March 2024	SHEET NO:
SCALE:	N.T.S.	
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

A-2.1a



#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3000 FAX: (604) 987-3003
E-MAIL: mfa@mfa.onfash.com

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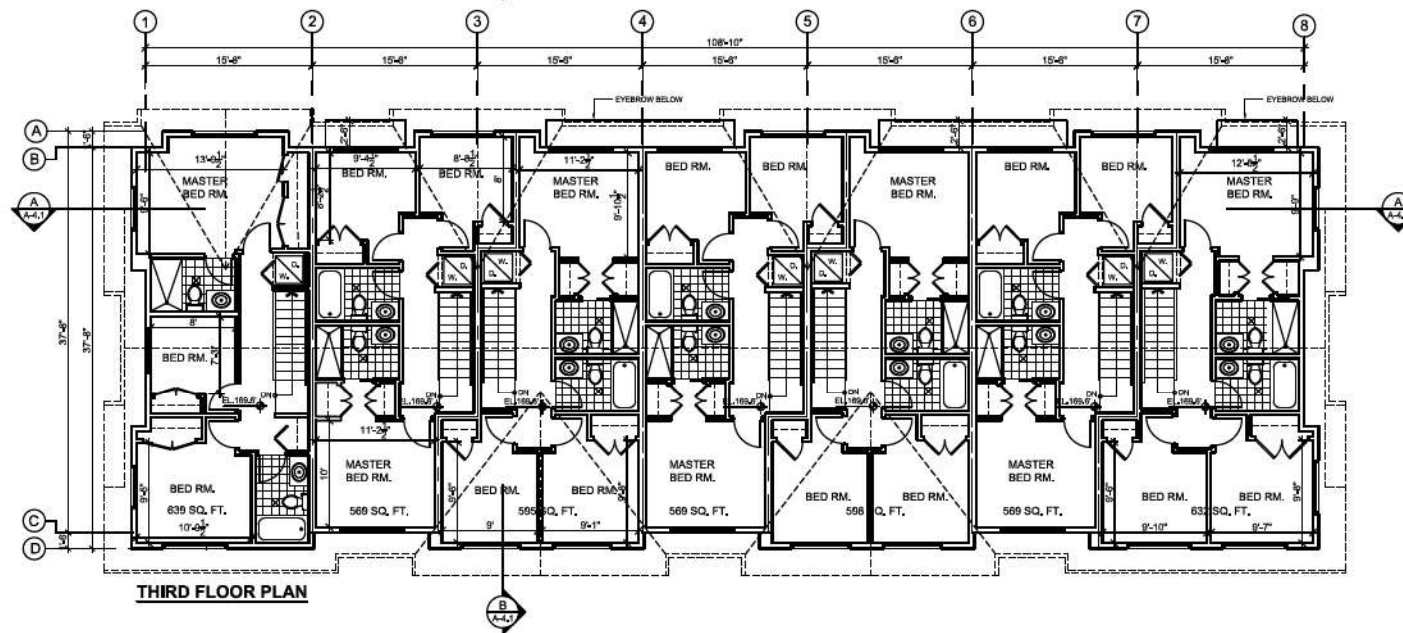
Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

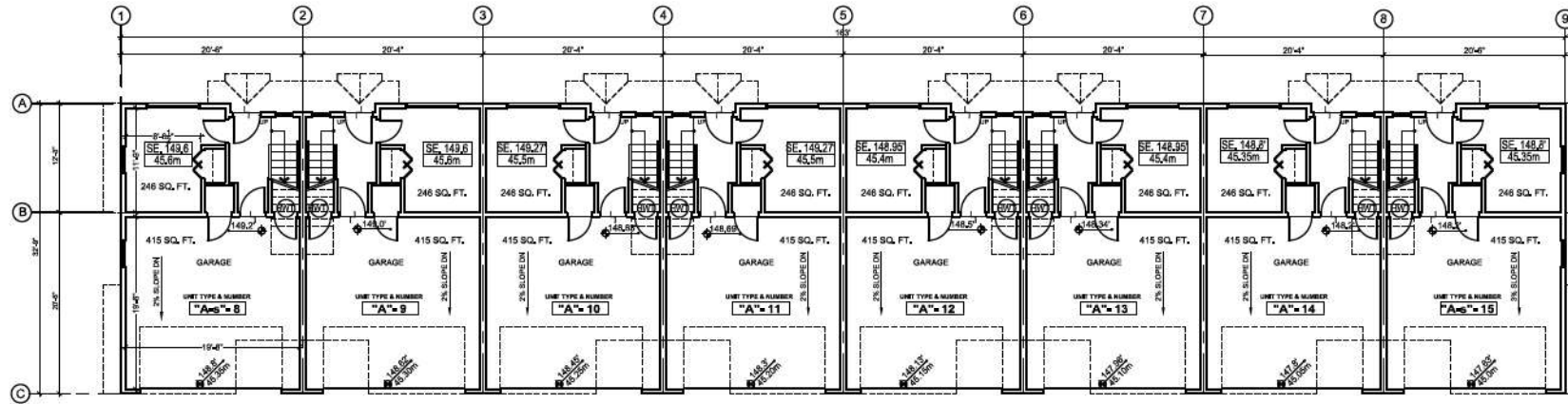
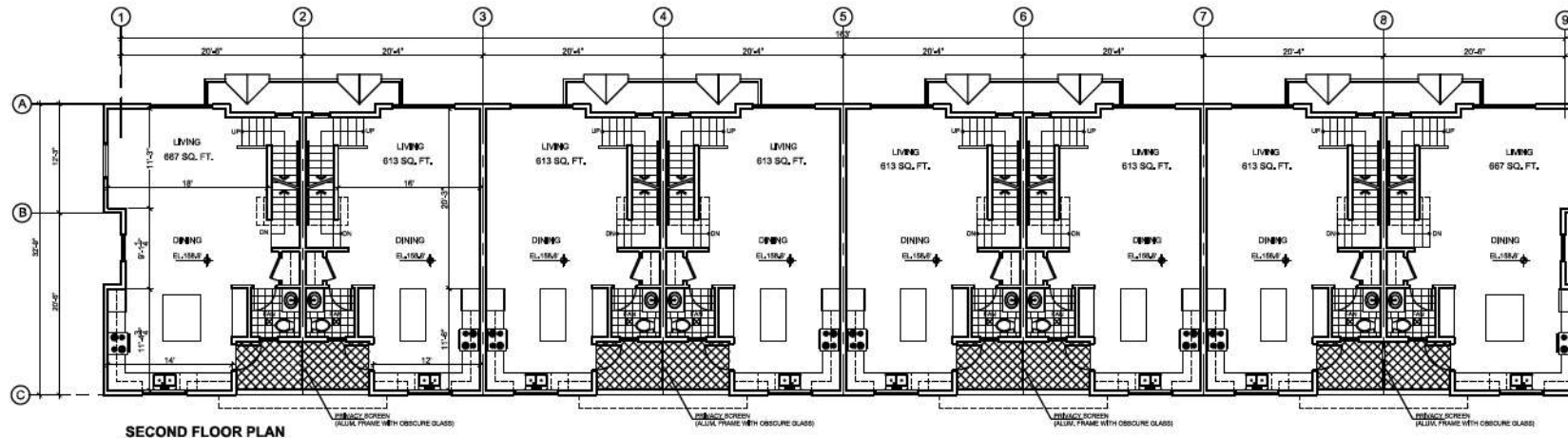
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FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DATE: March 2024	SHEET NO: A-2.1b
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	





NOTE:
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE



**F. ADAB
ARCHITECTS
INC.**

P130-1000 ROOSEVELT CRESCENT
1820TH VANCOUVER, BC V7P 3S6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@fadam.com

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 16-24	ISSUED FOR REZONING & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

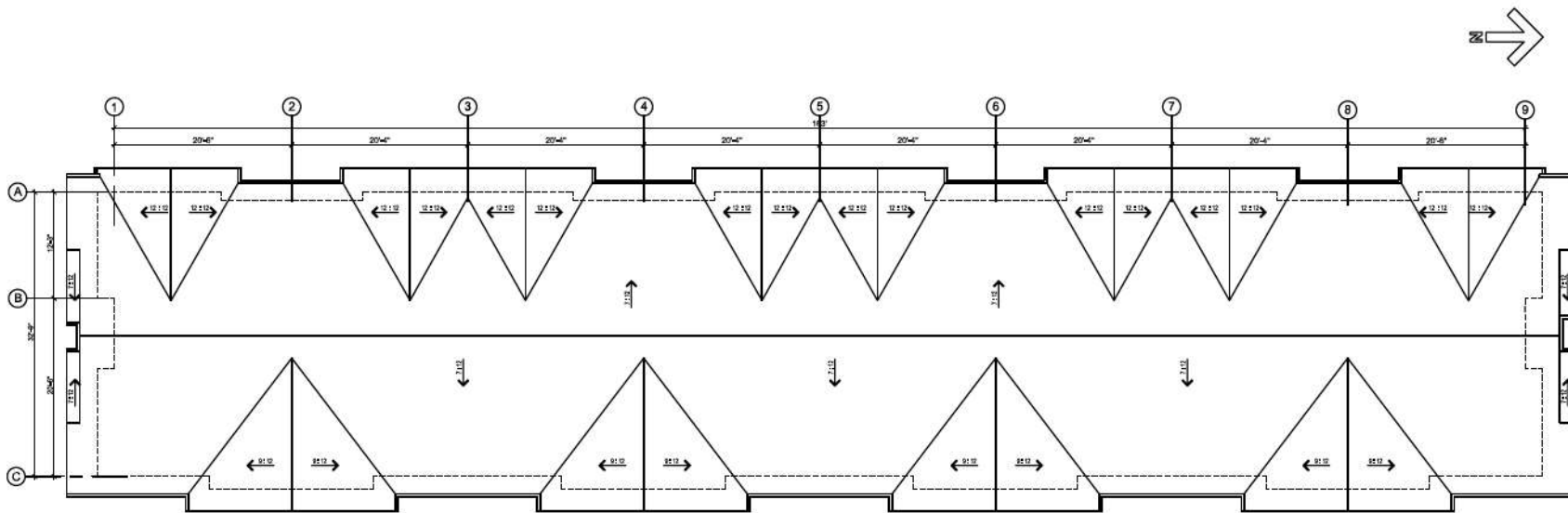
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

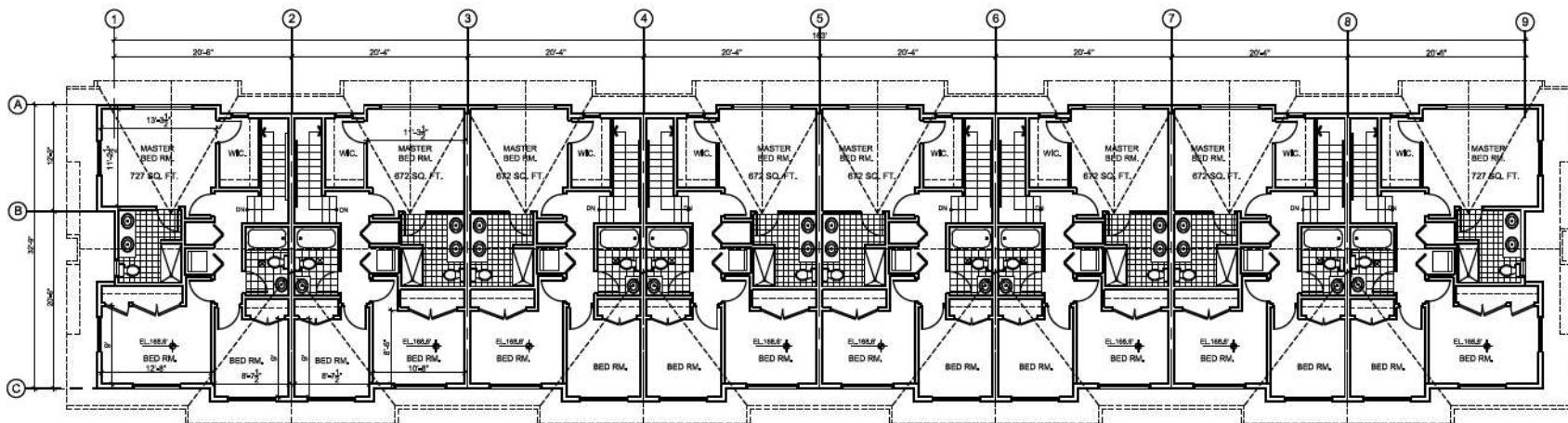
DRAWING TITLE:
**BUILDING 2
FIRST & SECOND
FLOOR PLANS**

DATE: Sep 2021	SHEET NO:
SCALE: N.T.S.	
DESIGN: AA	
DRAWING: AA	
PROJECT NO: -	

A-2.2a



ROOF PLAN



THIRD FLOOR PLAN



**F. ADAB
ARCHITECTS
INC.**

#10-1000 ROOSEVELT CRESCENT
#2070 VANCOUVER, BC V7P 3B6
TEL: (604) 987-0033 FAX: (604) 987-0033
E-MAIL: info@fadam.com

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REVISIONS & DP
2	AUG 16-24	ISSUED FOR REVISIONS & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

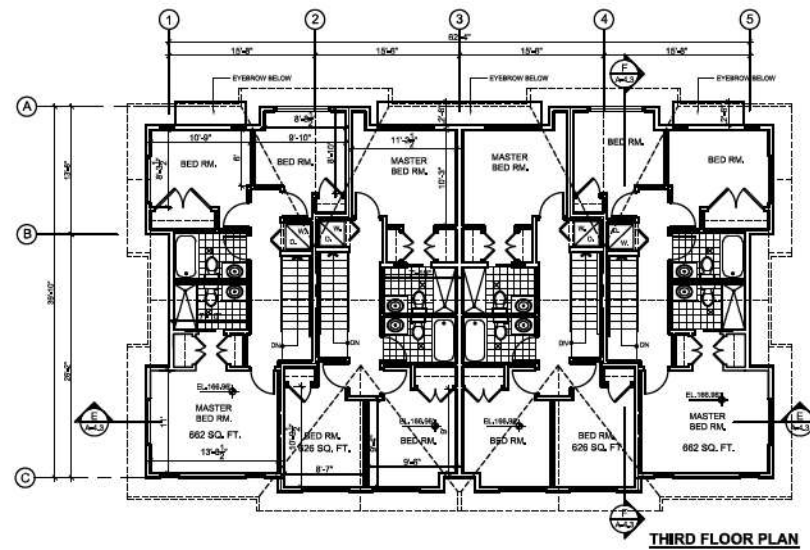
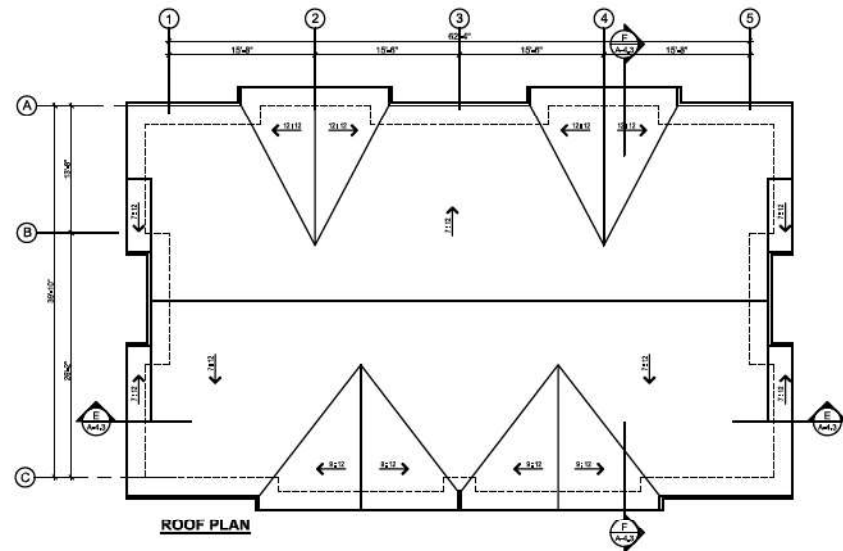
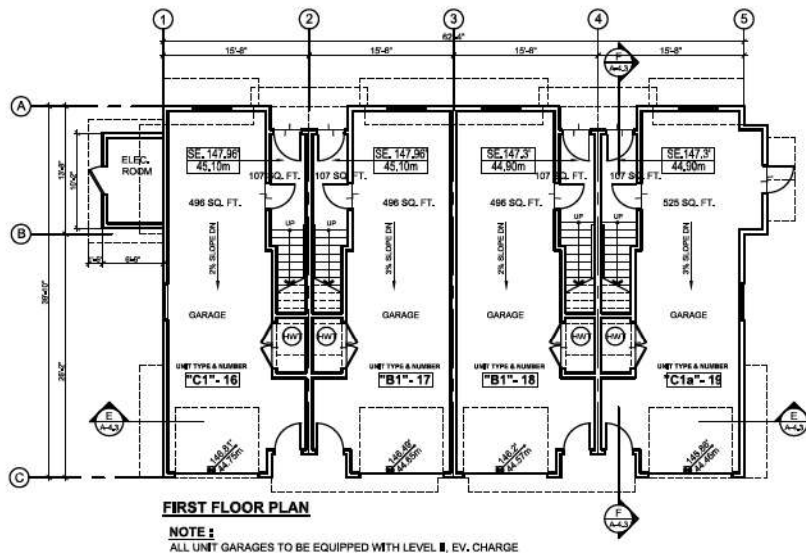
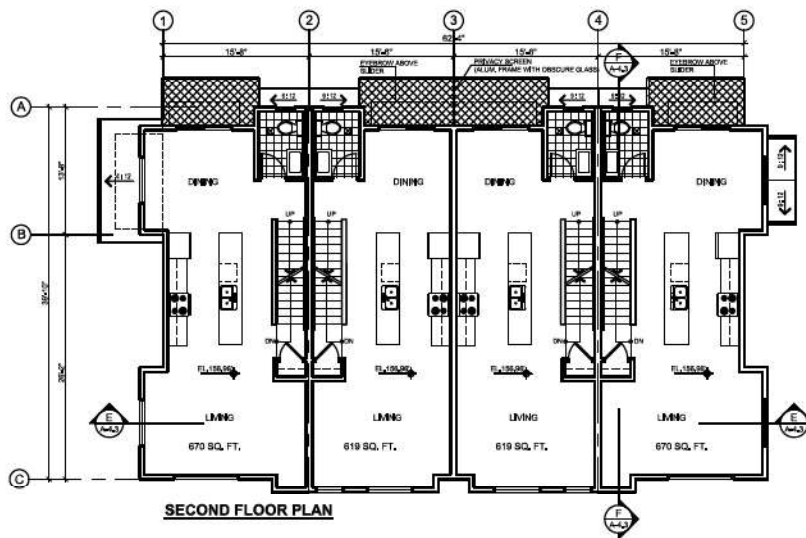
PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13996 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 2
THIRD FLOOR &
ROOF PLAN**

DATE:	March 2024	SHEET NO:
SCALE:	NTS	
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:	-	

A-2.2b



F. ADAB ARCHITECTS INC.

#133-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 964-0003 FAX: (604) 964-0003
EMAIL: info@f-adab.com

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR RECORDING & DP
2	AUG 18-24	ISSUED FOR RECORDING & DP
1	JUL 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC,

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 3
FLOOR PLANS**

DATE:	SEP 2021	SHEET NO:
SCALE:	NTS	
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO:		

A-2.3



F. ADAB ARCHITECTS INC.

P130-1000 ROOSEVELT CRESCENT
18307H VANCOUVER, BC V7P 3B6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@fadam.com

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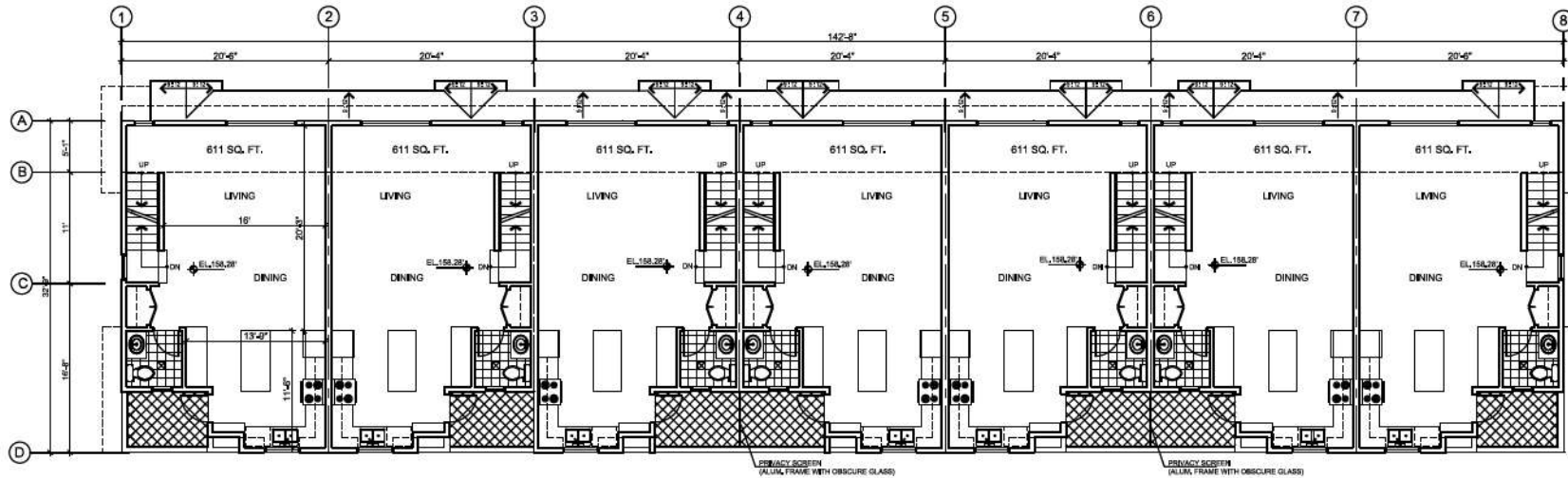
NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REVISION & DP
2	AUG 16-24	ISSUED FOR REVISION & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

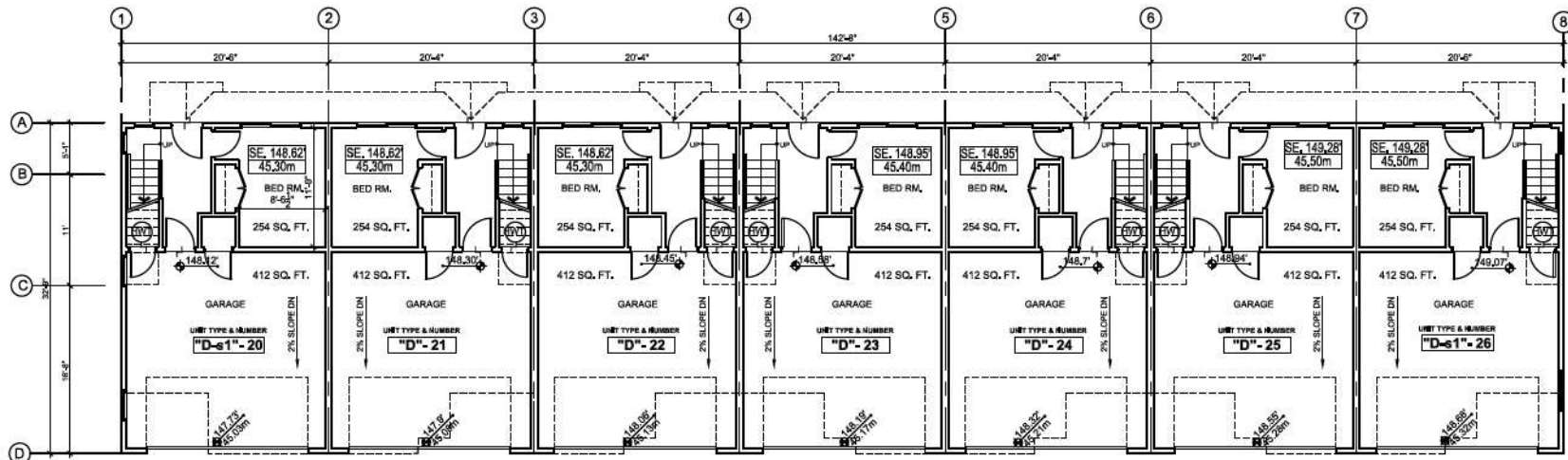
FOR:
LEONE HOMES INC.
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 4
FIRST & SECOND
FLOOR PLANS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS	
DESIGN:	AA	A-2.4a
DRAWING:	AA	
PROJECT NO:	-	



SECOND FLOOR PLAN



FIRST FLOOR PLAN

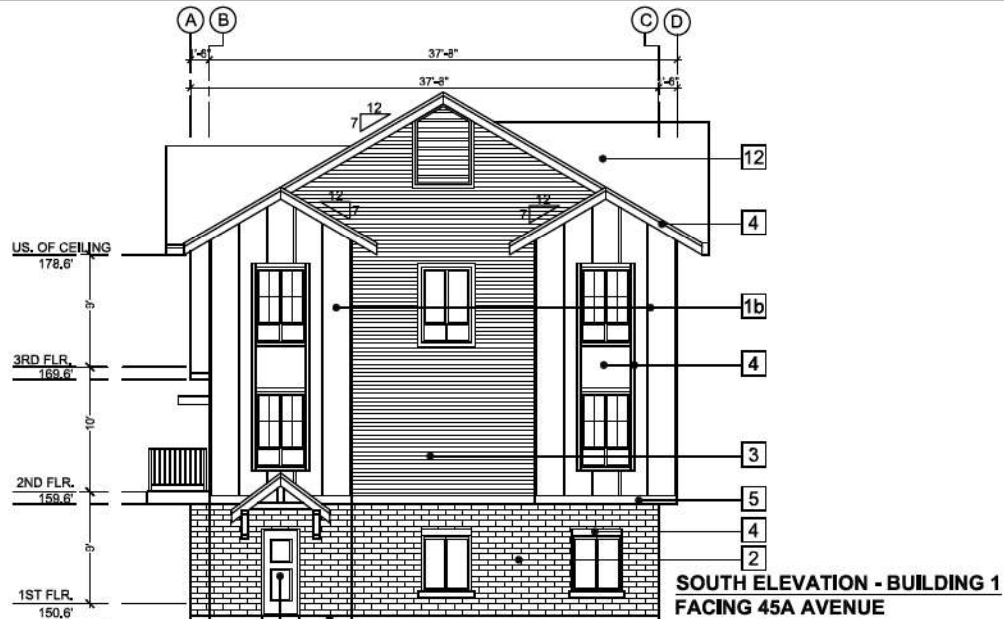
NOTE:
ALL UNIT GARAGES TO BE EQUIPPED WITH LEVEL II, EV. CHARGE

DATE: March 2024	SHEET NO: A-2.4b
SCALE: NTS	
DESIGN: AA	
DRAWN: AA	
PROJECT NO: -	

THIRD FLOOR PLAN

EXTERIOR FINISHES

1a	HARDBOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD : SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDBOARD & BATTEN : SW 7005 IRON ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT(SMOOTH) - BY LXL, (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDBOARD SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDBOARD PANELS, TRIMS, FASCIA & WINDOW SILLS SW 8258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IRO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7038 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3M4
TEL: (604) 967-0003 FAX: (604) 967-0003
E-MAIL: info@fadab.ca

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	REISSUED FOR REVISIONS & DP
2	AUG 14-24	ISSUED FOR REVISIONS & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13886 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

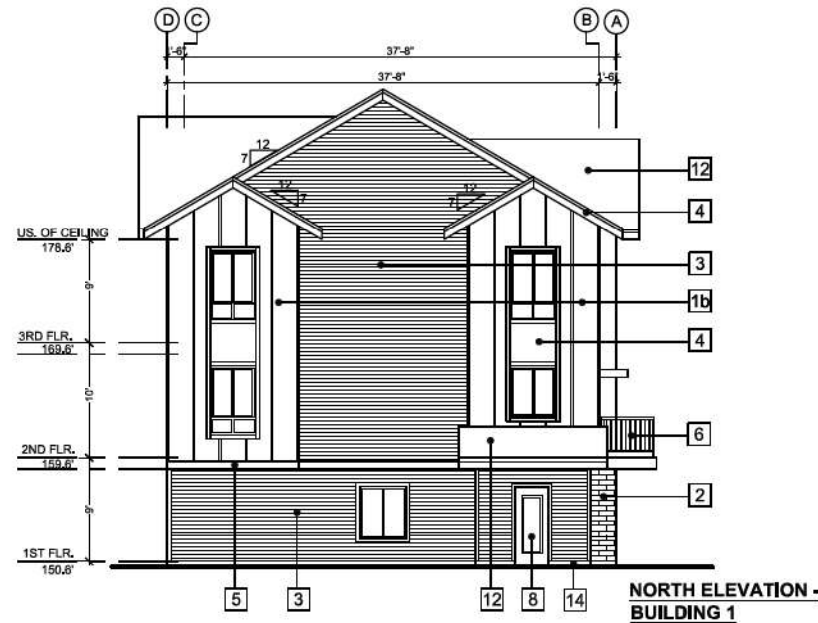
DRAWING TITLE:
**BUILDING 1
WEST AND SOUTH
ELEVATIONS**

DATE: March 2024	SHEET NO:
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	

A-3.1a

EXTERIOR FINISHES

1a	HARDE BOARD & BATTEN: SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD: SW 6258 TRICORN BLACK- BY SHERWIN WILLIAMS (251)
1b	HARDE BOARD & BATTEN: SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX BRONSPOT(SMOOTH) - BY LXL (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDE SIDING WEATHERED CLIFF- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDE PANELS, TRIMS, FASCIAS & WINDOW SELLS SW 6258 TRICORN BLACK- BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF: MOUNTAIN SLATE - BY KID ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**NORTH ELEVATION -
BUILDING 1**



EAST ELEVATION - BUILDING 1



**F. ADAB
ARCHITECTS
INC.**

#135-100 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V8P 3K4
TEL: (604) 984-0003 FAX: (604) 984-0003
E-MAIL: info@f-adab.com

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NO.	DATE	REVISION / ISSUED
1	SEP 10-24	ISSUED FOR PERMITTING & DP
2	AUG 18-24	ISSUED FOR PERMITTING & DP
3	JUL 12-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815-45A AVENUE,
LANGLEY, B.C.

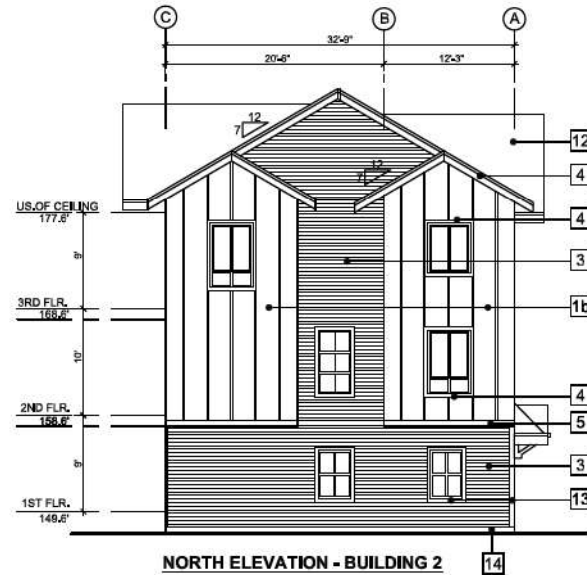
FOR:
LEONE HOMES INC.
238 - 13886 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
**BUILDING 1
NORTH AND EAST
ELEVATIONS**

DATE: March 2024	SHEET NO.:
SCALE: NTS.	A-3.1b
DESIGN: AA	
DRAWN: AA	
PROJECT NO.:	

EXTERIOR FINISHES

1a	HARDE BOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD : SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDE BOARD & BATTEN : SW 7009 IRON ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT(SMOOTH) - BY LXL, (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDE SIDING WEATHERED CLIFF- BY JAMES HARDE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY K&D ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7030 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESSCOTT
#2070 VANCOUVER, BC V7P 3K6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@fadam.com

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

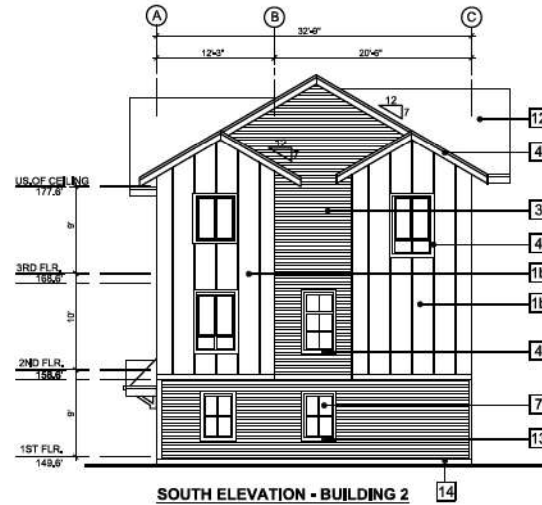
DRAWING TITLE:
**BUILDING 2
NORTH & WEST
ELEVATIONS**

DATE:	Sep 2021	SHEET NO:
SCALE:	NTS	
DESIGN:	AA	
DRAWING:	AA	
PROJECT NO:	-	

A-3.2a

EXTERIOR FINISHES

1a	HARDE BOARD & BATTEN : SW 7025 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD : SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDE BOARD & BATTEN : SW 7059 BROWN ORE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX (IRONSPOT(SMOOTH) - BY L&L (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBTUSE GLASS (SANDBLASTED)
3	HARDE SIDING WEATHERED CLIFF- BY JAMES HARDE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDE PANELS, TRIMS, FASCIA & WINDOW SILLS SW 5258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
#2070 VANCOUVER, BC V7P 3B6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@f.adab.com

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.,
238 - 13096 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 2
EAST AND SOUTH
ELEVATIONS

DATE: Month 2024	SHEET NO:
SCALE: N.T.S.	
DESIGN: AA	
DRAWING: AA	
PROJECT NO: -	

A-3.2b



F. ADAB ARCHITECTS INC.

#150-000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3M4
TEL: (604) 967-0003 FAX: (604) 967-0003
E-MAIL: info@fadab.ca

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	REISSUED FOR REVISION & DP
2	AUG 18-24	ISSUED FOR REVISION & DP
1	JUL 12-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

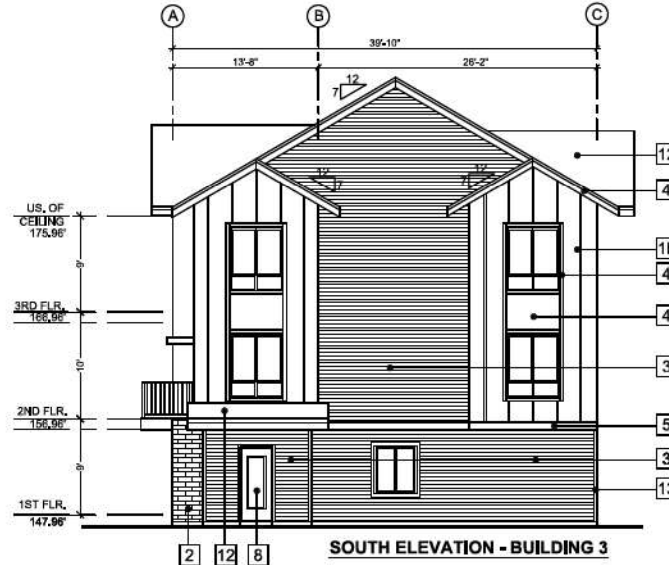
DRAWING TITLE:
**BUILDING 3
SOUTH & WEST
ELEVATIONS**

DATE:	March 2024	SHEET NO:
SCALE:	NTS.	
DESIGN:	A.A.	
DRAWN:	A.A.	
PROJECT NO:	-	

A-3.3a

EXTERIOR FINISHES

- | | | | |
|----|---|----|--|
| 1a | HARDE BOARD & BATTEN :
SW 7005 PURE WHITE
BY SHERWIN WILLIAMS (255) | 9 | ENTRY DOORS & MAN DOORS AT GARAGE
PAINTED WOOD :
SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) |
| 1b | HARDE BOARD & BATTEN :
SW 7059 IRON ORE
BY SHERWIN WILLIAMS (251) | 9 | GARAGE DOORS
- SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
- GLASS |
| 2 | BRICK
ONYX IRONSPOT(SMOOTH) - BY LXL
(BLACK MORTAR) | 10 | PRIVACY SCREEN
- BLACK ALUMINUM FRAME
- OBSCURE GLASS (SANDBLASTED) |
| 3 | HARDE SIDING
WEATHERED CLIFF -
BY JAMES HARDE MAGNOLIA HOME | 11 | SOFFITS
VINYL - BLACK |
| 4 | HARDE PANELS, TRIMS, FASCIAS & WINDOW SILLS
SW 6258 TRICORN BLACK -
BY SHERWIN WILLIAMS (251) | 12 | ASPHALT SHINGLE ROOF :
MOUNTAIN SLATE - BY BCO ROYAL ESTATE
(FASCIA TO MATCH ROOF COLOR) |
| 5 | 6" TRIMS, BAND BOARDS & BRACKETS -
NATURAL STAINED MAPLE WOOD | 13 | EYEBROWS & TRIMS AT SIDING
SW 7036 ACCESSIBLE BEIGE -
BY SHERWIN WILLIAMS (249) |
| 6 | RAILING
ALUMINUM - BLACK | 14 | EXPOSED CONCRETE BASE |
| 7 | WINDOWS - VENT GRILLS
VINYL - BLACK | | |

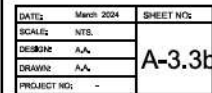


SOUTH ELEVATION - BUILDING 3



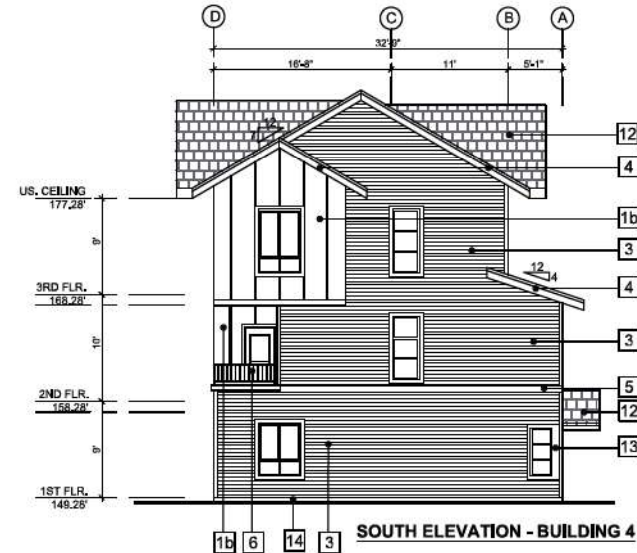
**WEST ELEVATION - BUILDING 3
FACING 208 STREET**

1a		HARDIE BOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAIN DOORS AT GARAGE PAINTED WOOD : SW 6256 TRICORN BLACK -BY SHERWIN WILLIAMS (251)
1b		HARDIE BOARD & BATTEN : SW 7069 IRON ORE. BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS = SW 6256 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2		BRICK ONYX IRONSPOT(SMOOTH)- BY LXL- (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3		HARDIE SHING WEATHERED CLIFFS- BY JAMES HARDIE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4		HARDIE PANELS, TRIMS, FASCIAS & WINDOW SELLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5		6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6		RAILINGS ALUMINUM - BLACK	14	EXPPOSED CONCRETE BASE
7		WINDOWS - VENT GRILLS VINYL -BLACK		



EXTERIOR FINISHES

1a	HARDBOARD & BATTEN : SW 7009 PURE WHITE - BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDBOARD & BATTEN : SW 7069 IRON ORE - BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS • SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) • GLASS
2	BRICK ONYX (IRON SPOT) (SMOOTH) - BY LXL, (BLACK MORTAR)	10	PRIVACY SCREEN • BLACK ALUMINUM FRAME • OBSCURE GLASS (SANDBLASTED)
3	HARDBOARD WEATHERED CLIFF - BY JAMES HARDEE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDBOARD PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY KO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
#2070 VANCOUVER, BC V7P 3B6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@f.adab.com

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NO.	DATE	REVISION / ISSUED
3	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13696 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

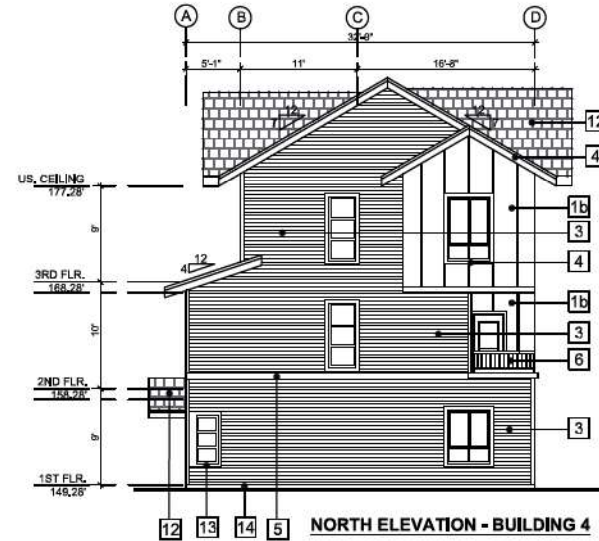
DRAWING TITLE:
**BUILDING 4
EAST & SOUTH
ELEVATIONS**

DATE:	Sep 2021	SHEET NO.:
SCALE:	NTS	
DESIGN:	AA	
DRAWING:	AA	
PROJECT NO.:	-	

A-3.4a

EXTERIOR FINISHES

1a	HARDEE BOARD & BATTEN : SW 7005 PURE WHITE- BY SHERWIN WILLIAMS (255)	8	ENTRY DOORS & MAN DOORS AT GARAGE PAINTED WOOD : SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)
1b	HARDEE BOARD & BATTEN : SW 7069 IRON ONE- BY SHERWIN WILLIAMS (251)	9	GARAGE DOORS - SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251) - GLASS
2	BRICK ONYX IRONSPOT(SMOOTH) - BY I.X.L. (BLACK MORTAR)	10	PRIVACY SCREEN - BLACK ALUMINUM FRAME - OBSCURE GLASS (SANDBLASTED)
3	HARDEE SIDING WEATHERED CLIFF- BY JAMES HARDEE MAGNOLIA HOME	11	SOFFITS VINYL - BLACK
4	HARDEE PANELS, TRIMS, FASCIAS & WINDOW SILLS SW 6258 TRICORN BLACK - BY SHERWIN WILLIAMS (251)	12	ASPHALT SHINGLE ROOF : MOUNTAIN SLATE - BY IKO ROYAL ESTATE (FASCIA TO MATCH ROOF COLOR)
5	6" TRIMS, BAND BOARDS & BRACKETS - NATURAL STAINED MAPLE WOOD	13	EYEBROWS & TRIMS AT SIDING SW 7036 ACCESSIBLE BEIGE - BY SHERWIN WILLIAMS (249)
6	RAILING ALUMINUM - BLACK	14	EXPOSED CONCRETE BASE
7	WINDOWS - VENT GRILLS VINYL - BLACK		



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESSWENT
#8207H VANCOUVER, BC V7P 3B6
TEL: (604) 967-0033 FAX: (604) 967-0033
E-MAIL: info@fadam.com

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NO.	DATE	REVISION / ISSUED
1	SEP 10-24	ISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
3	AUG 02-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

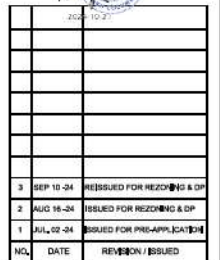
DRAWING TITLE:
**BUILDING 4
WEST & NORTH
ELEVATIONS**

DATE: Sep 2021	SHEET NO:
SCALE: N.T.S.	
DESIGN: A.A.	
DRAWING: A.A.	
PROJECT NO: -	

A-3.4b



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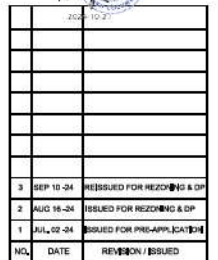
DRAWING TITLE:
BUILDING 1
SECTIONS A-A & B-B

DATE: March 2024	SHEET NO: A-4.1
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	



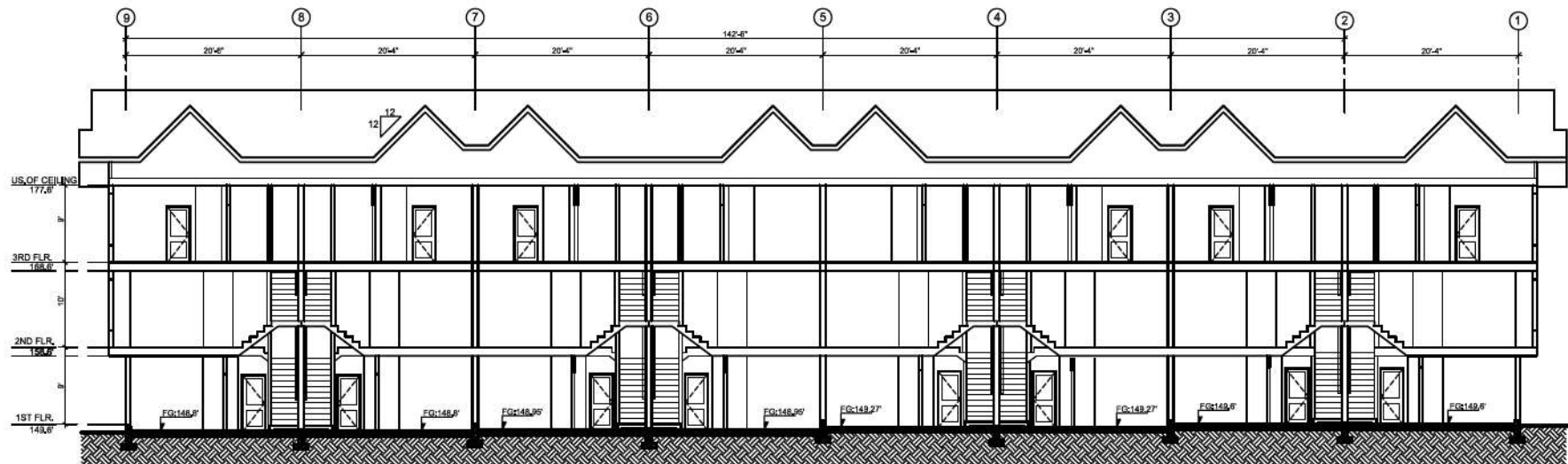
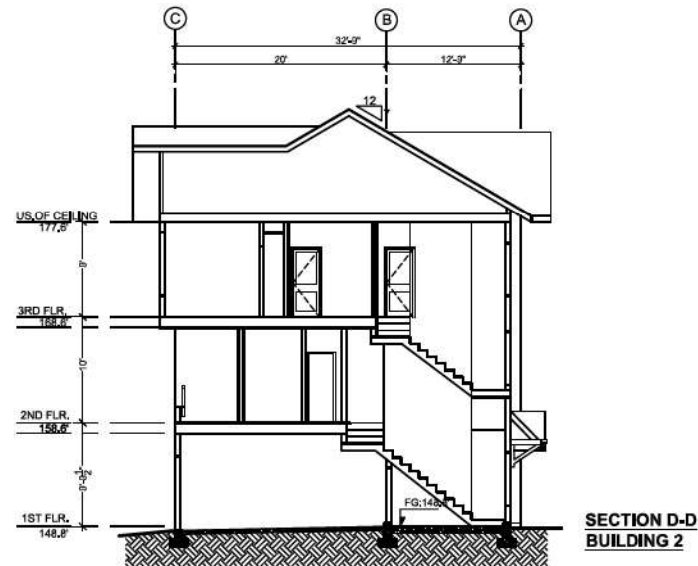


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DRAWING TITLE:
BUILDING 2
SECTIONS C-C & D-D

DATE: March 2024	SHEET NO: A-4.2
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	



SECTION C-C
BUILDING 2



**F. ADAB
ARCHITECTS
INC.**

#130-100 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3M4
TEL: (604) 967-0003 FAX: (604) 967-0003
E-MAIL: info@fadab.ca

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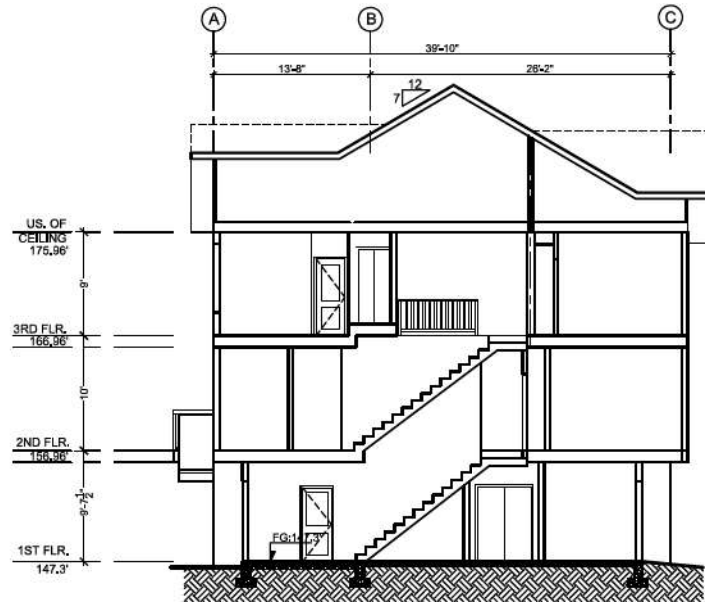
NO.	DATE	REVISION / ISSUED
3	SEP 10-24	REISSUED FOR REZONING & DP
2	AUG 18-24	ISSUED FOR REZONING & DP
1	JUL 22-24	ISSUED FOR PRE-APPLICATION

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT
20815 - 45A AVENUE,
LANGLEY, BC.

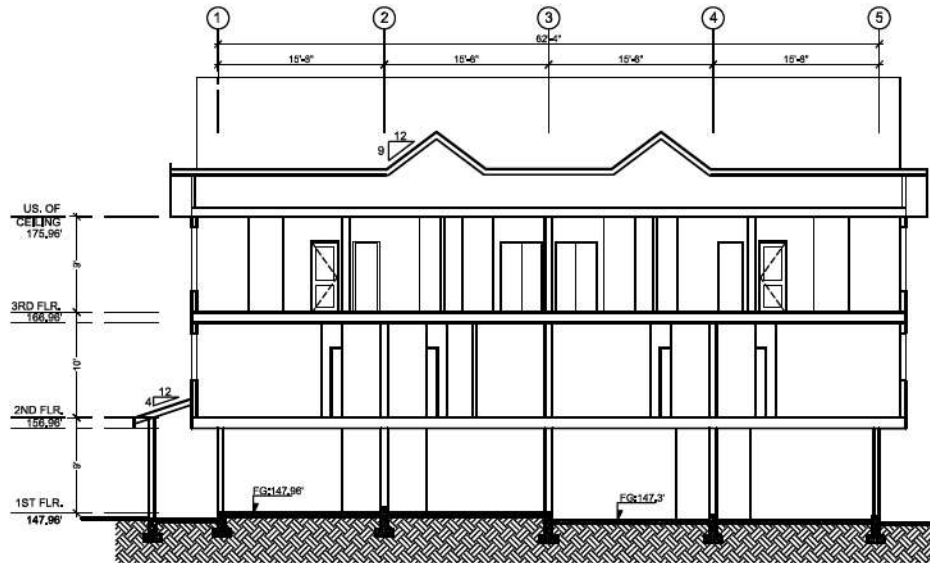
FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD,
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 3
SECTIONS E-E & F-F

DATE: March 2024	SHEET NO:
SCALE: NTS.	A-4.3
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	



**SECTION F-F
BUILDING 3**



**SECTION E-E
BUILDING 3**



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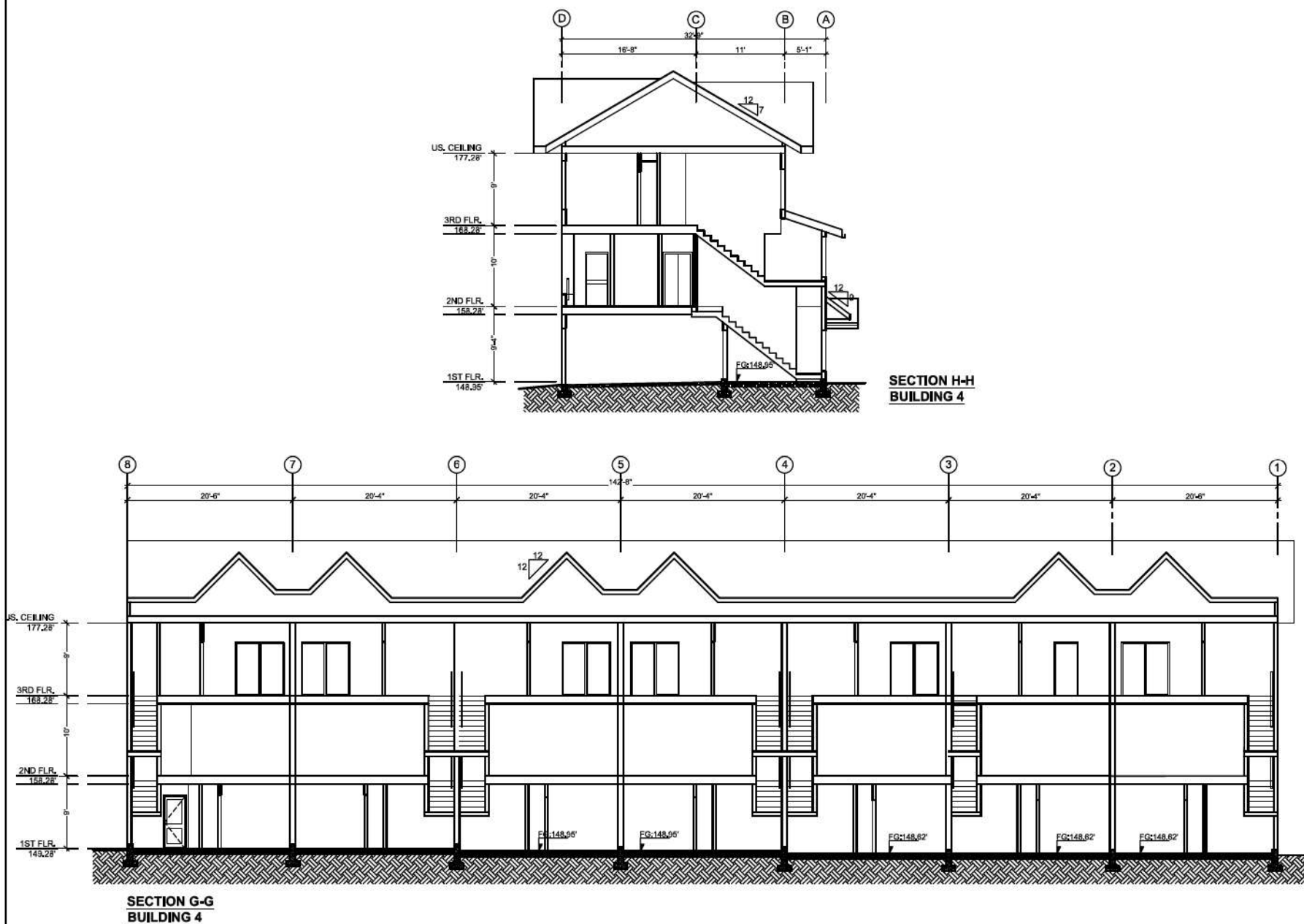
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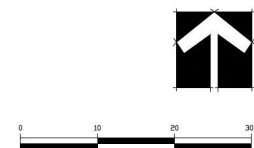
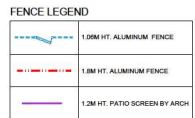
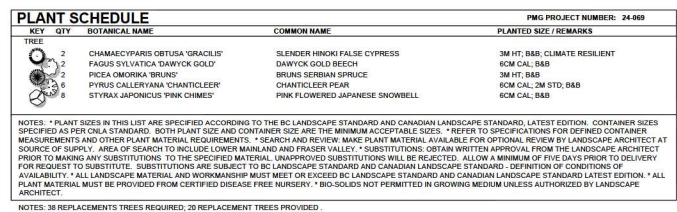


FOR:
LEONE HOMES INC.
238 - 13986 CAMBIE ROAD.
RICHMOND, B.C. V6V 2K3

DRAWING TITLE:
BUILDING 4
SECTIONS G-G & H-H

DATE: March 2024	SHEET NO: A-4.4
SCALE: NTS.	
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	





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p m g
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

[illegible]

6	28.OCT.15	NEW SITE PLAN	RJ
5	24.SEP.19	UPDATE PL	RJ
4	28.AUG.15	ISSUED FOR DP	
3	24.AUG.12	CITY COMMENTS	RJ
2	24.JUN.25	NEW SITE PLAN	RJ/YR
1	24.JULY.10	PER CLIENT'S REQUIREMENTS	WR
NO.	DATE	REVISION DESCRIPTION	DR

CLIENT:

PROJECT:

26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 24.MAY.29 DRAWING NUMBER

SCALE: 1:300

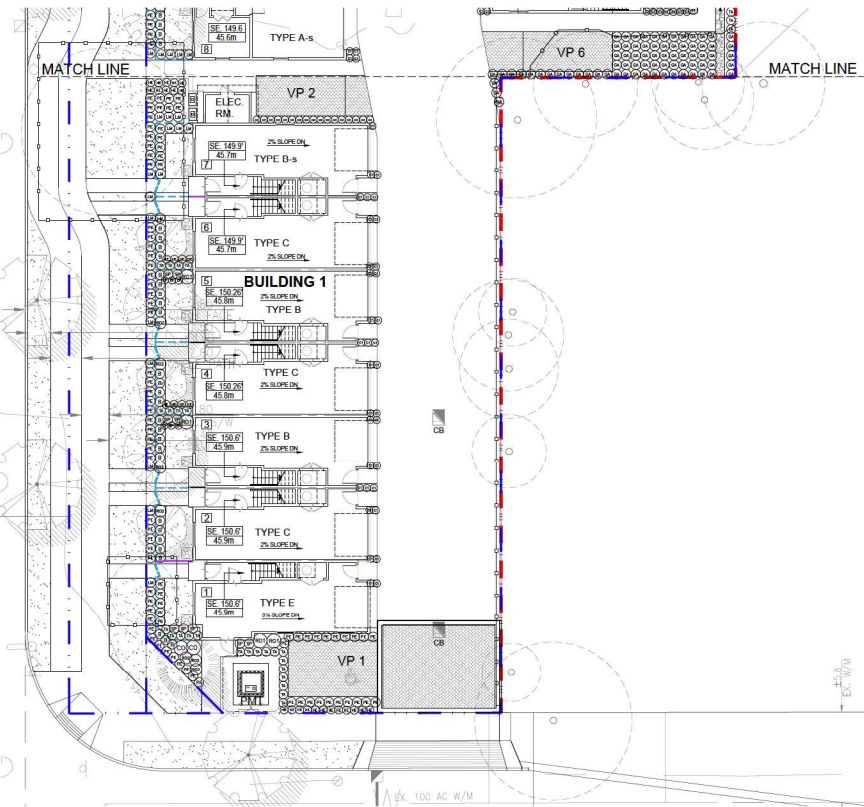
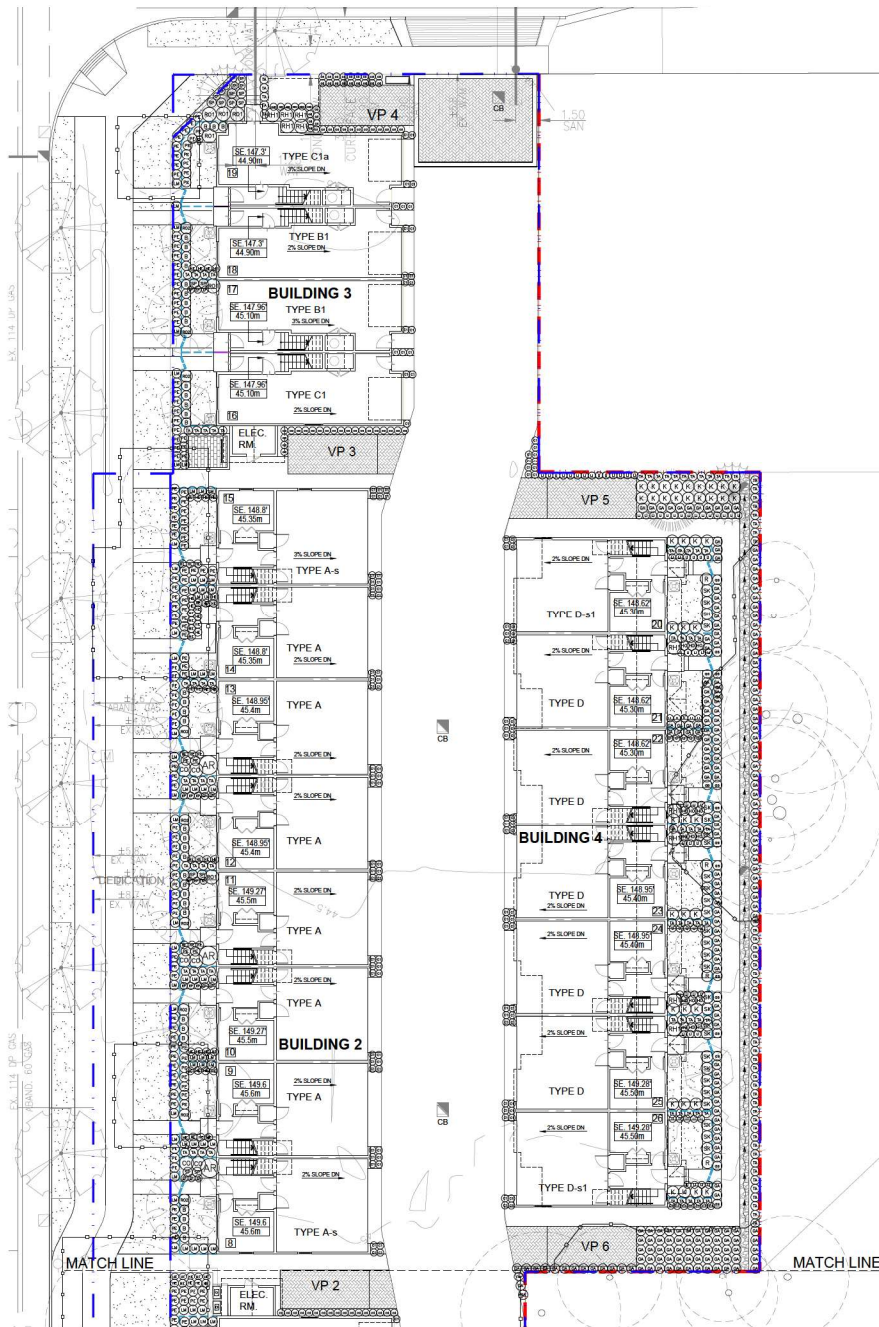
DRAWN: RJ

DESIGN: RJ

CHK'D: YR

PMG PROJECT NUMBER

OF 5



PLANT SCHEDULE				PMG PROJECT NUMBER: 24-069	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
SHRUB	3	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY BUSH	#3 POT, 80CM	
	63	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT, 40CM	
	8	CORNUS SERICEA	REDTIG DOGWOOD	#2 POT, 80CM	
	41	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT, 50CM	
	4	RHODODENDRON 'BOON BELLS'	RHODODENDRON	#3 POT, 50CM	
	10	RHODODENDRON 'P.J.M.'	RHODODENDRON, LIGHT PURPLE; E. MAY	#2 POT, 50CM	
	10	ROSA MIDLAND 'BONICA'	BONICA ROSE	#2 POT, 40CM	
	16	ROSA MIDLAND 'RED'	MIDLAND ROSE, RED	#2 POT, 40CM	
	28	SKIMMIA JAPONICA (90% MALE)	JAPANESE SKIMMIA	#2 POT, 30CM	
	21	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT, 40CM	
GRASS	149	TAXUS X MEDIA 'YELLIE'	HILL YEW	1.0M BALL	
	170	CAREX FLAGELIIFERA 'NOM'	KW WEEPING SEDGE	#1 POT	
	81	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT	
PERENNIAL	202	PENNISTEM ALOPECUROIDES 'HAEMELIN'	DWARF FOUNTAIN GRASS	#1 POT	
	15	ASTILBE X ARENDSEI 'RED SENTINEL'	FALSE SPIRÉE, RED	#1 POT	
	33	ECHINACEA PURPUREA	PURPLE CONEFLOWER	15CM POT	
T	81	HEMIDICALLIS 'WHITE TEMPTATION'	DAYLILY, WHITE	#1 POT, 30CM	
	15	HOSTA 'PATRIOT'	HOSTA, GREEN AND WHITE VARIEGATED	#1 POT, 1EYE	
	76	LAURELULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT; VIOLET-BLUE	#1 POT	
	78	LIRIOPE MUSCARI	BLUE LILY-TURT	#1 POT	
	201	GAULTHERIA SHALLOON	SALAL	#1 POT, 20CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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LANDSCAPE
ARCHITECTS

Suite C100 - 4185 SMI Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 • f. 604 294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.OCT.23	NEW SITE PLAN	SL
2	24.OCT.23	UPDATE PL	SL
3	24.AUG.23	ISSUED FOR DP	SL
4	24.AUG.23	CITY COMMENTS	SL
5	24.AUG.23	NEW SITE PLAN	SL
6	24.AUG.23	FOR CLIENT COMMENTS	SL

CLIENT:

PROJECT:

**26 UNIT TOWNHOUSE
DEVELOPMENT**

**4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC**

DRAWING TITLE:

**SHRUB
PLAN**

DATE: 24 MAY 29 DRAWING NUMBER:

SCALE: 1:150

DRAWN: RJ

DESIGN: RJ

CHKD: YR

PMG PROJECT NUMBER:

OF 5

24-069

24069-3.2P



A close-up photograph of a variegated Hosta plant. The leaves are broad and ovate, featuring a striking pattern of green and white variegation. The plant is growing in a dark, mulched garden bed.

A close-up photograph of several pink Echinacea flowers with prominent brown, cone-shaped centers. The petals are a vibrant pink, and the background is a soft-focus green.

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Burnaby, British Columbia, V5C 6P6
p: 604 294-0011 : f: 604 294-0011

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR
6	24.OCT.15	NEW SITE PLAN	R
5	24.SEP.19	UPDATE PL	R
4	24.AUG.15	ISSUED FOR DP	
3	24.AUG.12	CITY COMMENTS	R
2	24.JUN.25	NEW SITE PLAN	R/
1	24.JUN.10	FOR CLIENT COMMENTS	

CLIENT:

PROJECT:

26 UNIT TOWNHOUSE DEVELOPMENT

4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC

DRAWING TITLE:

PLANT IMAGES

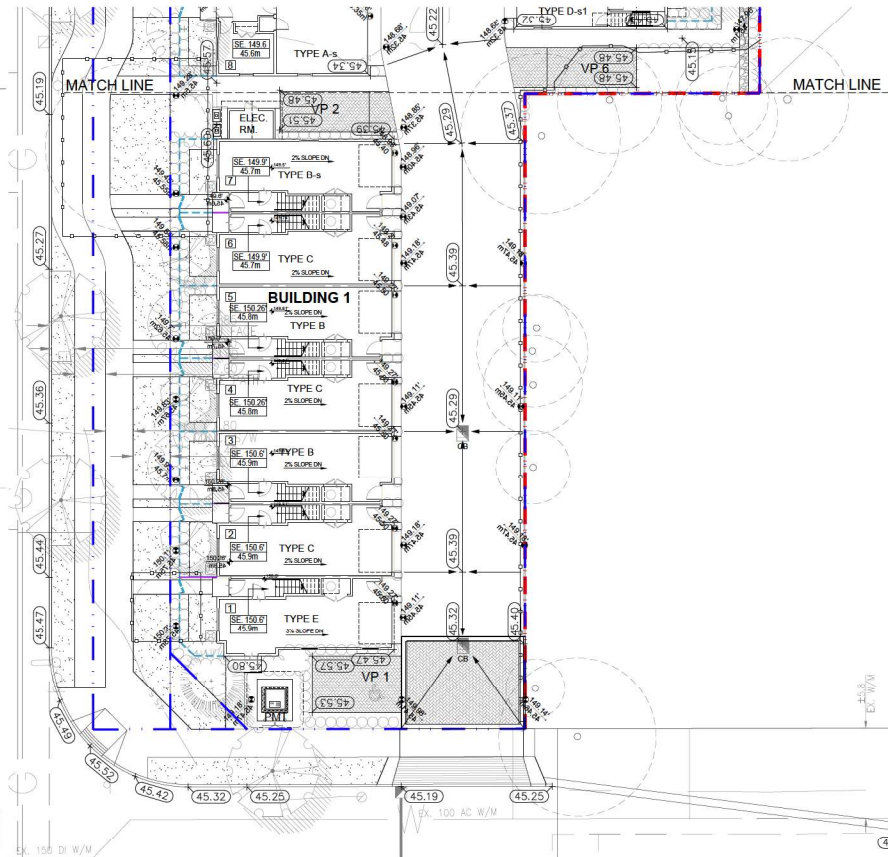
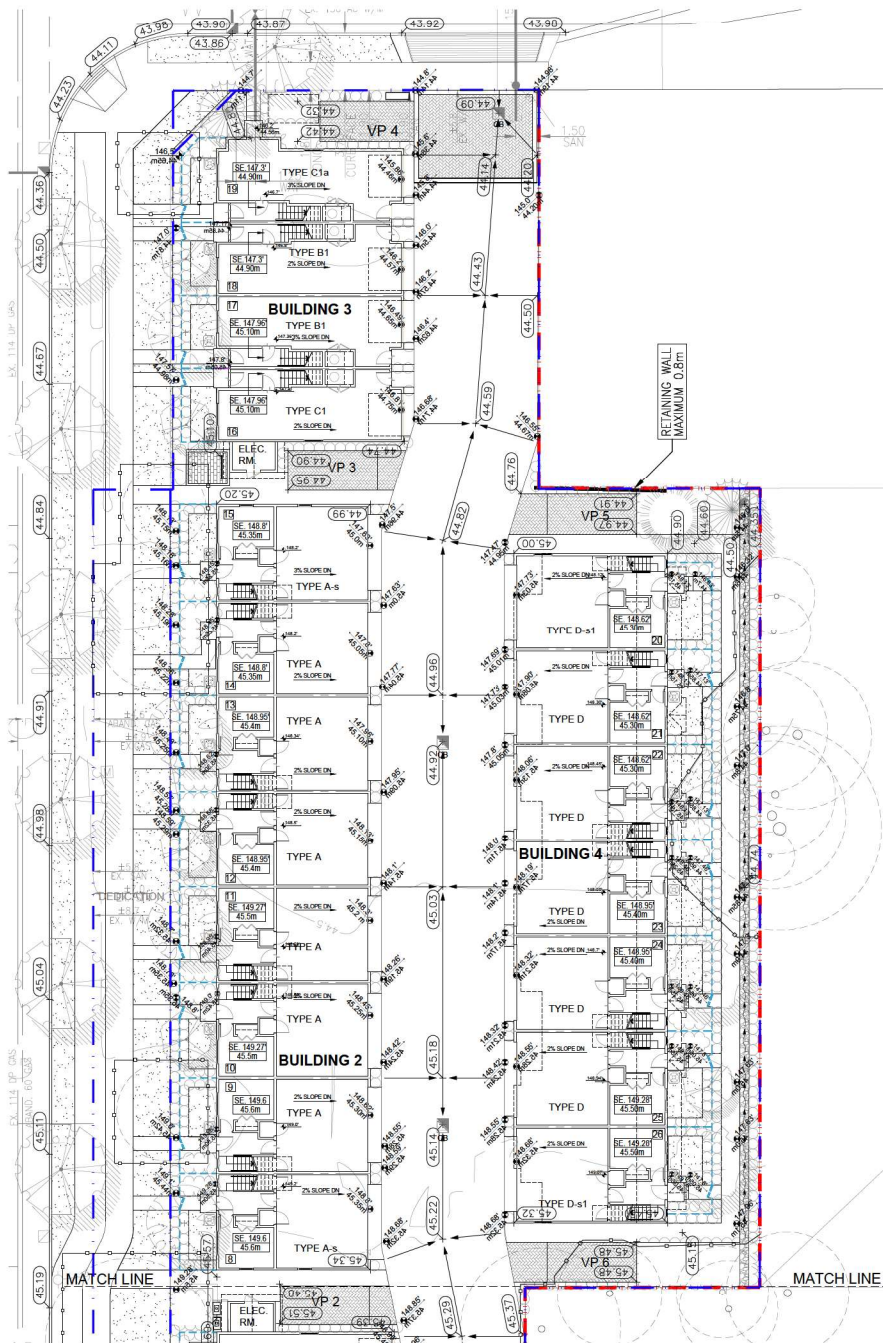
DATE: 24 MAY 29 DRAWING NUMBER

SCALE:

DRAWN: RJ 3

DESIGN: RJ
CHKD: YR OF 5

PMG PROJECT NUMBER: 24-069



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p. 604 294-0011 : f. 604 294-0022

SEAL:



1.	26.OCT.23	NEW SITE PLAN	RI
2.	26.OCT.23	UPDATE PL	RI
3.	26.OCT.23	ISSUED FOR DP	RI
4.	26.OCT.23	CITY COMMENTS	RI
5.	26.OCT.23	NEW SITE PLAN	RI
6.	26.OCT.23	PER CLIENT COMMENTS	RI
7.	26.OCT.23	REVISION DESCRIPTION	DR

CLIENT:

PROJECT:

**26 UNIT TOWNHOUSE
DEVELOPMENT**

**4560, 4570, 4580 208 STREET
& 20815 45A AVENUE
CITY OF LANGLEY, BC**

DRAWING TITLE:
**GRADING
PLAN**

DATE: 24.MAY.23 DRAWING NUMBER:
SCALE: 1:150
DRAWN: RI
DESIGN: RI
CHKD: YR

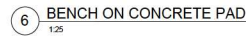
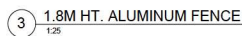
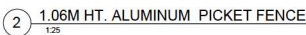
L4

OF 5

24069-3.ZIP

PMG PROJECT NUMBER:

24-069



24-069