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RE-ISSUED FOR DP AMENDMENT SEPTEMBER 04, 2025

Langley Lions - Alder Replacement for Langley Lions Housing Society

Civic Address: 5470 203rd Street, Langley, BC

CONSULTANT TEAM

OWNER: Langley Lions Housing Society
LANDSCAPE: ETA Landscape Architecture
ARCHITECT: d/s Architecture
CIVIL: BINNIE
GEOTECHNICAL: GeoPacific Consultants Ltd.
CODE: GHL Consultants Ltd
SURVEYOR: Underhill Geomatics Ltd.

Sheet	Drawing Title
L0.0	Cover Sheet
L0.1	Landscape Notes & Schedules
L0.2	Landscape Illustrative Plan
L1.0	Arborist Tree Management Plan
L2.0	Offsite Plan
L3.0	Landscape Materials Plan
L3.1	Landscape Plan - Roof
L4.0	Lighting Plan
L5.0	Landscape Grading & Drainage Plan
L6.0	Planting Plan
L7.0	Soil Depth & Servicing Plan
L8.0	Landscape Sections & Elevations
L9.1	Details
L9.2	Details
L9.3	Details
L9.4	Details

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2025-07-09	Issued for DP Amendment
B	2025-09-04	Re-issued for DP Amendment

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Project
**Langley Lions
Alder Replacement**
5470 203rd Street
Langley, BC

Drawing Title

Cover Sheet

Legal

Project Manager	Project ID
MS	20517
Drawn By	Scale
Drawn By	NTS
Reviewed By	Issued By
	L0.0
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	19

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO THE CURRENT EDITION OF THE CSLA LANDSCAPE STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO
ARRANGE FOR INSPECTION AND MATERIAL TO BE ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN
50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT BASIS).

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS,
INVASIVE AND NOXIOUS PLANT AND THEIR REPRODUCIBLE PARTS, PLANT PATHOGENIC
ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS
AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7
INCLUSIVE OF THE CURRENT EDITION CANADIAN LANDSCAPE STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW TRAFFIC LAWN
AREAS, TREES AND LARGE SHRUBS (1 IN TABLE T-6.3.5.1 OF THE CURRENT EDITION OF THE
CANADIAN LANDSCAPE STANDARDS).
IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE
"COARSE GRAVEL (LARGER THAN 10mm AND SMALLER THAN 40mm): 0-1%
"ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%
"SAND (LARGER THAN 0.05mm AND SMALLER THAN 2mm): 50-70%
"SILT (LARGER THAN 0.002mm AND SMALLER THAN 0.05mm): 10-25%
"CLAY (SMALLER THAN 0.002mm): 0-20%
"CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0 as per CANADIAN LANDSCAPE STANDARDS

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER
AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T-6.3.5.5 OF THE CURRENT EDITION CANADIAN
LANDSCAPE STANDARDS:

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
LARGE TREE (TREES 10cm PER TREE)	750mm(30")	915mm(36")
LARGE SHRUBS	600mm(24")	600-600mm(24"-36")
SMALL SHRUBS	450mm(18")	450-500mm(18"-20")
LAWN-IRRIGATED	150mm(6")	150mm(6")
LAWN-NOT IRRIGATED	150mm(6")	225mm(9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN AND PROVIDED BY VETICOT, OR AN APPROVED
ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR EXCEED THE GUIDELINES FOR
COMPOST QUALITY UNDER CANADIAN COUNCIL OF MINISTERS OF THE ENVIRONMENT (CCME).

SOIL IS **NOT** TO BE BLOWN IN FOR INSTALLATION.

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO DELIVERY TO SITE.

BEDS TO HAVE 3" MULCH LAYER (after setting) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS
ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS **PRIOR** TO
DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE
RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE
CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL
COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL
THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD
CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED BY
SOIL REPORT.

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE
CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE
WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO
COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE CSLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL SOFTSCAPE AREAS ON SLAB TO INCLUDE MIN. 75MM GRAVEL DRAINAGE LAYERS IN
ADDITION TO INDICATED SOIL DEPTH.

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT
SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENCE. THE CONTRACTOR IS TO VERIFY
ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

BIRD FRIENDLY PLANTING

PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE BEEN
SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS GROUPED IN
NATURALIZED LAYERS OF TREES, TALL SHRUBS, LOW SHRUBS AND GROUNDCOVERS, MIMICKING
THE IDEAL ENVIRONMENTAL CONDITIONS FOR BIRDS. THESE LAYERS WILL BE VARIED WITH A
DIVERSITY OF TEXTURES AND DENSITIES THAT ATTRACTS AND PROVIDES MANY BIRD SPECIES.
SPECIFIC LOCAL AND NON-INVASIVE PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR
ABILITY TO PROVIDE YEAR-ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING
OPPORTUNITIES.

GENERAL NOTES

1 DO NOT SCALE DIRECTLY FROM DRAWINGS
2 WHERE PLANS AND SPECIFICATIONS ARE FOUND TO BE IN CONFLICT, OR WHERE VARIOUS
ITEMS OF WORK ARE SEEN TO BE IN CONFLICT, THE CONSULTANT IN WRITING
IMMEDIATELY PRIOR TO COMMENCING CONSTRUCTION.
3 THE CONTRACTOR IS REQUIRED TO INVESTIGATE AND VERIFY THE ALIGNMENT AND LOCATION
OF ALL EXISTING SERVING LANDSCAPE FEATURES ON SITE PRIOR TO
COMMENCING CONSTRUCTION.
4 THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO
COMMENCEMENT OF LANDSCAPE WORKS. MOCK UPS MAY BE REQUIRED AS NOTED/REQUIRED.
5 THIS DIMENSIONS ARE TO BE READ IN MILLIMETRES UNLESS OTHERWISE STATED AS REQUIRED BY THE
CITY.
6 THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH CORRESPONDING ARCHITECTURE
AND CIVIL ENGINEER'S DRAWINGS.
7 VERIFY LOCATION OF ALL UNDERGROUND STRUCTURES INCLUDING, BUT NOT LIMITED TO,
VAULTS, ELECTRICAL, DUCT BANKS, MANHOLES, CONDUITS AND PIPING, DRAINAGE STRUCTURES
AND OTHER UTILITIES WITH CORRESPONDING WET AND DRY ENGINEERS AND CIVIL DRAWINGS.
8 ALL VEHICULAR ROADS SUB LAYERS TO BE READ FROM GEOTECHNICAL SPECIFICATIONS.
9 THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL WORK DISTURBED BY CONSTRUCTION
OUTSIDE OF LIMIT LINES DEFINED ON DRAWINGS OR THROUGH HISHERS MEANS AND METHODS
TO A CONDITION BETTER THAN OR EQUAL TO THE EXISTING CONDITIONS PRIOR TO
COMMENCEMENT OF CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
10 FOR PHASED PROJECT, A SOIL TEST SUBMITTAL WILL BE REQUIRED AT EACH PHASE AND THE
TEST IS TO BE WITHIN 3 WEEKS OF THE DELIVERY TO SITE.

PLANTING NOTES-REFER TO CURRENT NOTES LIST.

1 THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCE AS INDICATED ON THE DRAWINGS
OR ARBORIST REPORT IN COMPLIANCE WITH ALL MUNICIPAL AND PROFESSIONAL REQUIREMENTS.
2 TREE PROTECTION TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.
3 DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, EXCAVATED MATERIAL OR EQUIPMENT
WITHIN TREE PROTECTION ZONE.
4 FINISH GRADING SHALL MEET EXISTING GRADE OF PROTECTED TREES 0.5M OR (20 INCHES)
BEYOND THE DRAINAGE.
5 EXACT LOCATIONS OF PROPOSED PLANT MATERIALS SHALL BE FLAGGED / STAKED AND
APPROVED BY LANDSCAPE ARCHITECT CONSULTANT ON SITE PRIOR TO INSTALLATION. THE
LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS ON SITE.
6 LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT UNSUITABLE MATERIAL DELIVERED
OR INSTALLED ON SITE WITHOUT NOTICE.
7 THE CONTRACTOR SHALL OBTAIN AN AGRONOMIC SOIL ANALYSIS REPORT, WHICH TESTS THE
SOIL QUALITY CRITERIA SUCH AS PH, NUTRIENT LEVELS, AND ORGANIC MATTER CONTENT, USING
LABORATORY FOR APPROVAL BY THE LANDSCAPE ARCHITECT. THE REPORT SHALL INCLUDE
RECOMMENDATIONS FOR PREPARATION OF GROWING MEDIUM TO MEET THE CSLA/CNA & CNA
ACQPS.
8 EXCESS SOIL FROM LANDSCAPE GRADING IS TO BE REMOVED AND DISPOSED OFF SITE BY
THE CONTRACTOR IN A VARIATION APPROVED BY LOCAL REPRESENTATIVE.
9 REFER TO PLANT SCHEDULE FOR THE LIST OF SPECIES, INCLUDING SIZE AND FORM AND OTHER
SPECIFIED INFO.
10 CONTRACTOR TO OBTAIN APPROVAL OF LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OF
PLANT SPECIES OR FORMS.
11 ALL TREES MUST BE GUYYED OR STAKED AS PER DETAILS AND SPECIFICATIONS.
12 THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL TREES LOCATED WITHIN TWO
(2.0) METERS OF PAVING OR UNDERGROUND UTILITIES.
13 THE CONTRACTOR SHALL MANUALLY IRRIGATE OR ACTIVATE IRRIGATION SYSTEMS
NECESSARY TO WATER AND MAINTAIN PROPOSED AND EXISTING VEGETATION.
14 FOR PLANTING SOIL DEPTH, FOLLOW THE CITY'S RECOMMENDATION AND REQUIREMENTS.
15 ONLY IF THE CITY'S REQUIREMENTS FOR SOIL DEPTH EXCEEDS CSLA OR CNA STANDARDS AND
REQUIREMENTS.
16 A SHOP DRAWING INDICATING THE SOIL DEPTH TO BE PROVIDED FOR THE LANDSCAPE REVIEW
PRIOR TO INSTALLATION.
15 LIGHT-WEIGHT BLOW-IN SOIL WILL NOT BE ACCEPTED UNLESS IT IS REQUIRED BY
STRUCTURAL ENGINEER.
17. LANDSCAPE ARCHITECT SHALL BE ON SITE AT SOIL DELIVERY DATE.

HARD LANDSCAPE & FURNITURE NOTES

1 PROVIDE EXPANSION JOINTS ALIGNED WITH PROPOSED PAVING PATTERN AND PAVING
MODULES. THE SPACING OF EXPANSION JOINTS TO STRUCTURAL ENGINEER'S RECOMMENDATION.
2 UNLESS SPECIFIC SITE FURNITURE DIMENSIONS ARE INDICATED ON DRAWINGS ARE
APPROXIMATE AND MUST BE APPROVED ON SITE BY THE LANDSCAPE ARCHITECT BEFORE
INSTALLATION.
3 CONTRACTOR TO SUBMIT ENLARGED DETAILED PLANS AND SHOP DRAWINGS FOR ALL
HARDSCAPE MATERIAL PAVING, CLADDING AND CAPPING SHOWING PATTERNS, EXACT
DIMENSIONS AND ARRANGEMENT FOR THE LANDSCAPE ARCHITECT'S APPROVAL.
4 ALL PAVING MATERIALS COLORS AND FINISHES ARE AS INDICATED ON DRAWINGS AND
SPECIFICATIONS OR AS APPROVED BY THE LANDSCAPE ARCHITECT.
5 CONTRACTOR TO BUILD A 2M LONG X MINIMUM WIDTH OR 2M WIDTH (WHICH EVER IS LESS),
MOCKUP FOR ALL HARDSCAPE MATERIALS AS SHOWN ON DRAWINGS AND SPECIFICATION.
6 SETS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION ON SITE. APPROVED
MOCKUP SHALL BE THE ONLY MATERIALS TO BE USED FOR THE INSTALLATIONS.
6 ALL SITE FURNITURE COLORS AND FINISHES IS AS INDICATED ON DRAWINGS AND
SPECIFICATIONS OR AS APPROVED BY THE LANDSCAPE ARCHITECT.
7 CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS FOR INSTALLATION AND
FIXATION OF ALL SITE FURNITURE AND TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE
ARCHITECT'S APPROVAL.

SITE LAYOUT & GRADING NOTES

1 ALL PROPOSED DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH
CONSTRUCTION.
2 SITE LAYOUT DIMENSIONS ARE IN M, UNLESS OTHERWISE INDICATED.
3 ALL PROPOSED LEVELS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH
CONSTRUCTION.
4 STAKES NUMBERS AND RISERS HEIGHT SHOULD BE VERIFIED ON SITE AND ADJUSTED AS SEEN
NECESSARY AND AS APPROVED BY ENGINEER.
5 CONTRACTOR TO CROSS CHECK ALL EXTERNAL WORKS LEVELS WITH EXISTING BUILDINGS. ANY
DISCREPANCIES TO BE SUBMITTED FOR THE LANDSCAPE ARCHITECT'S FEEDBACK.
6 DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS.
7 FOR LAYING OF ROADS AND CAR PARKING AND ASSOCIATED DRAINAGE REFER TO ENGINEER'S
DRAWINGS AND SPECIFICATIONS.
8 THE FINISH GRADING OF PLANTING AREAS SHALL BE 50MM BELOW ADJACENT CURB OR
PAVEMENT.

IRRIGATION NOTES

1 HIGH EFFICIENCY IRRIGATION SYSTEM TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS
SHOWN ON THE DRAWING, BY LANDSCAPE CONTRACTOR.
2 IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FROM THE STUB
OUTS PROVIDED (TYP 2). CONFIRM WITH MECHANICAL. PROVIDE SUBMITTALS OF DESIGN FOR
LANDSCAPE REVIEW AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING
WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE. TO INCLUDE SLEEVING, DROP LINE, PIPE
SIZE, VALVE BOXES, ETC. VALVE BOXES TO BE LOCATED IN LOW-VISIBILITY PLANTED AREAS ONLY
AND LOCATIONS TO BE APPROVED.
3. IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH CANADIAN
LANDSCAPE STANDARDS.
4. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS
DOCUMENTED EXPERIENCE, AND BE A MEMBER IN GOOD STANDING OF THE IABC (IRRIGATION
INDUSTRY ASSOCIATION OF BC).
5. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL
CONSULTANTS AND TRADES.
7. SEPARATE ZONE AND REQUIRED SLEEVES TO BE PROVIDED FOR SPRAY IRRIGATION OF
OFFSITE AREAS, PER CITY STANDARDS.
8. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
9. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND
SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET
STANDARDS.
10. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS
THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
11. PROVIDE COPIES OF INSTRUCTION MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM
AND CONTROLS, SEASONAL ACTIVITY, AND SHUTDOWN AND MANUFACTURER'S PARTS
CATALOGUE.

LANDSCAPE LIGHTING NOTES

1 ALL LIGHTING POINTS SHOWN ON LANDSCAPE PLANS ARE FOR REFERENCE ONLY FOR ALL
LIGHTING FIXTURES AND TYPES, REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS.
2 CONTRACTOR TO SUBMIT SAMPLES OF ALL LIGHT FIXTURES WITH REFERENCE

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2025-07-09	Issued for DP Amendment
B	2025-08-04	Re-issued for DP Amendment

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Project

**Langley Lions
Alder Replacement**

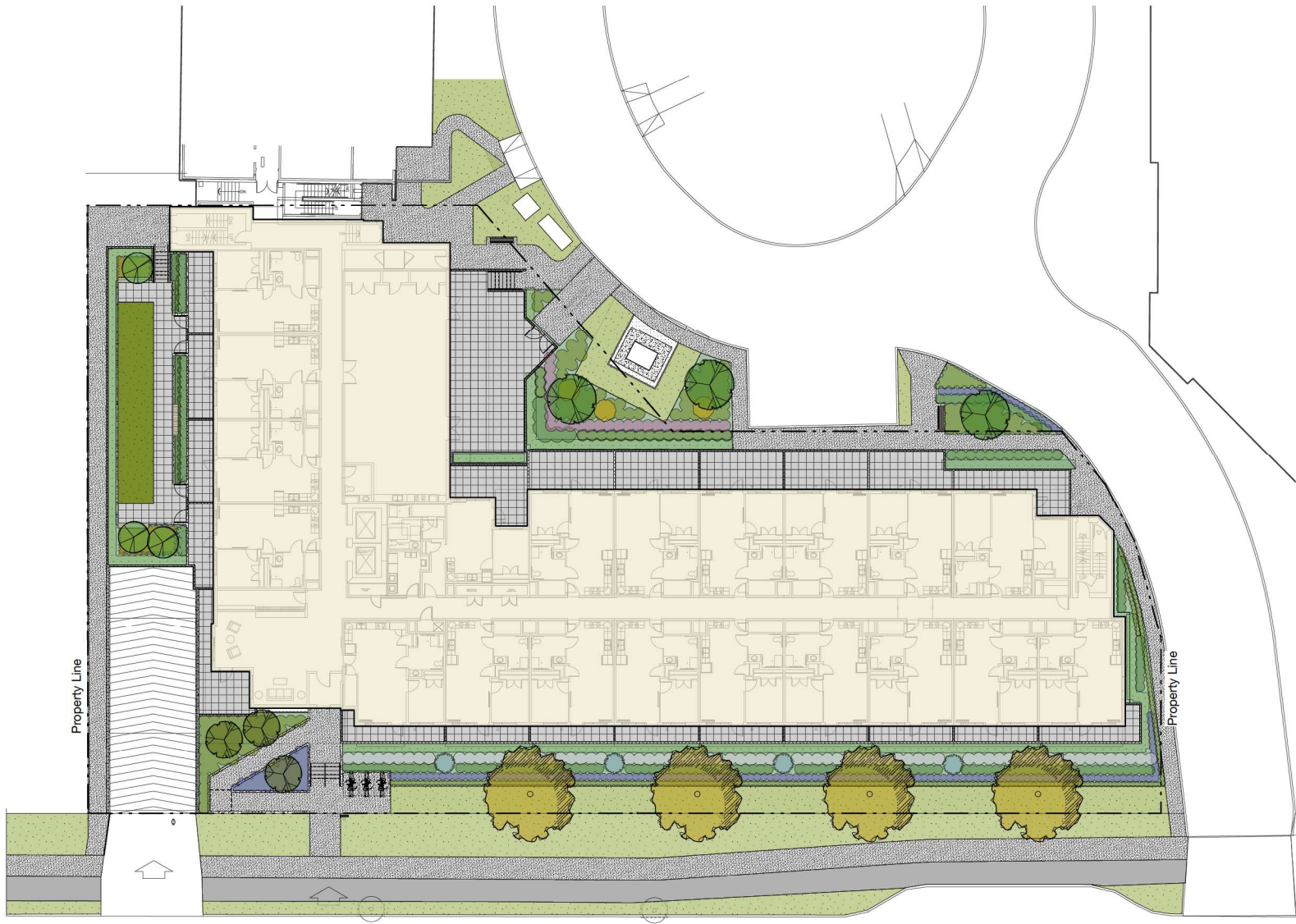
5470 203rd Street
Langley, BC

Drawing Title

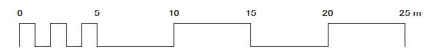
**Landscape
Illustrative Plan**

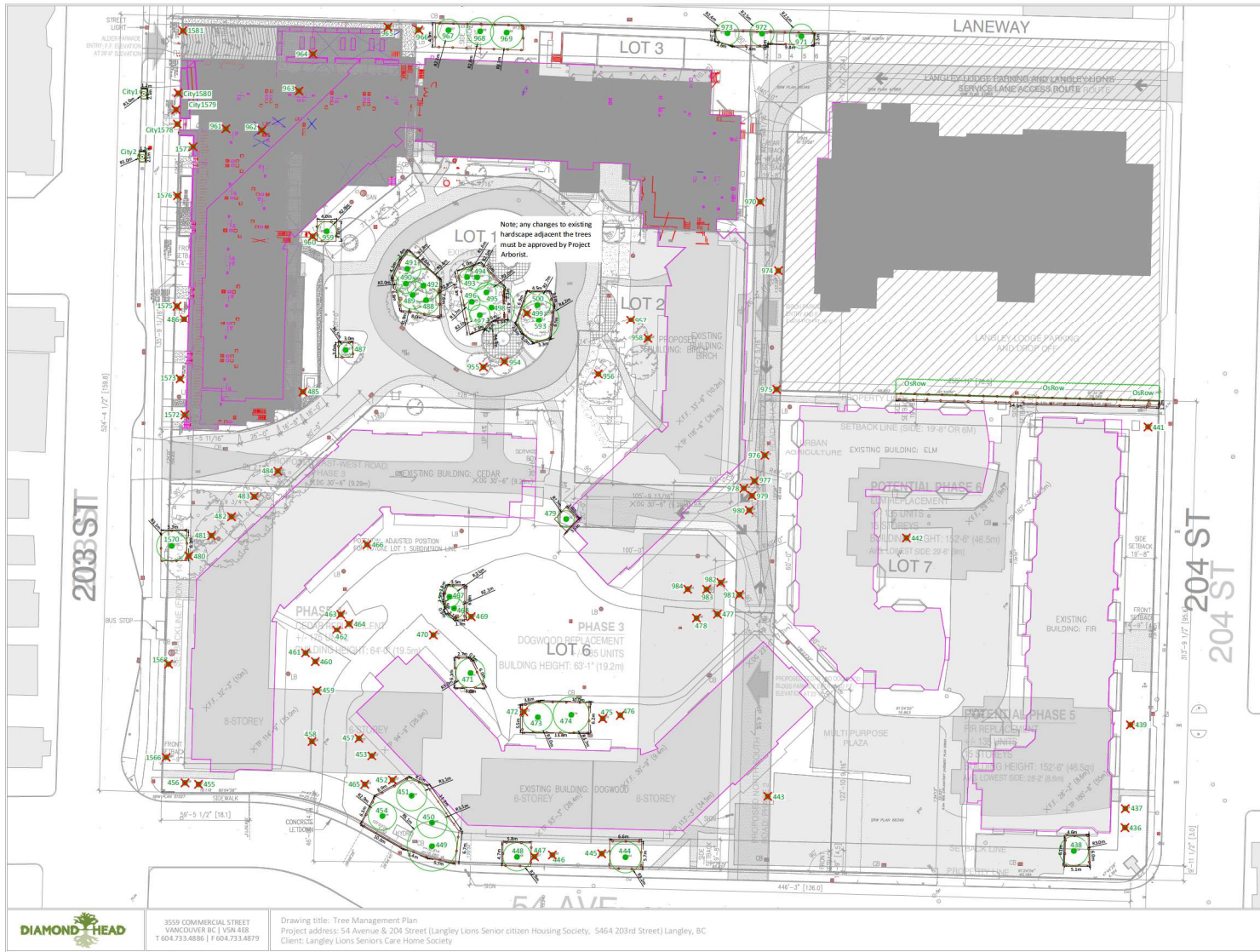
Legal

Project Manager M.S.	Project ID 22517
Drawn By As Noted	Scale As Noted
Reviewed By	Issued For L0.2
	3 of 19



206 St





- LEGEND**
- CRITICAL ROOT ZONE
 - TREE PROTECTION ZONE AND FENCING
 - TREE TO BE RETAINED
 - UN-SURVIVED TREE
 - TREE TO BE REMOVED

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. If the tree diameter was added to the graphical tree protection circle to accommodate the survey point being in the corner of the trust.
 - Any construction activities or grade changes within the Tree Protection Zone must be approved by the project arborist.
 - This plan is based on a topographic and tree inventory survey prepared by the owner's Registered British Columbia Land Surveyor (BCLC) and landscape architect (the owner's engineer (P Eng)).
 - This plan is provided for consultation and is not intended to be used for any other purpose. Any other use, reuse or modification of the documents without the consent of the owner is prohibited. The owner is responsible for any and all liability or legal exposure to the Consultant.

REFERENCE DRAWINGS

- Base Survey by:

Drawing No: 001
Date: Oct 22, 2020
Drawn by: CL
Page Size: ARCH D (24"x36")

Page #
1 of 1

Revision No.	Date	Revision Notes
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Project
Langley Lions
Alder Replacement
5470 203rd Street
Langley, BC

Drawing Title
Arborist Tree
Management Plan

Legal

Project Manager	Project ID
MS	20517
Drawn By	Drawn By
Drawn By	As Noted
Reviewed By	Reviewed By
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NOTE: For reference only. Refer to full Arborist report for additional information.

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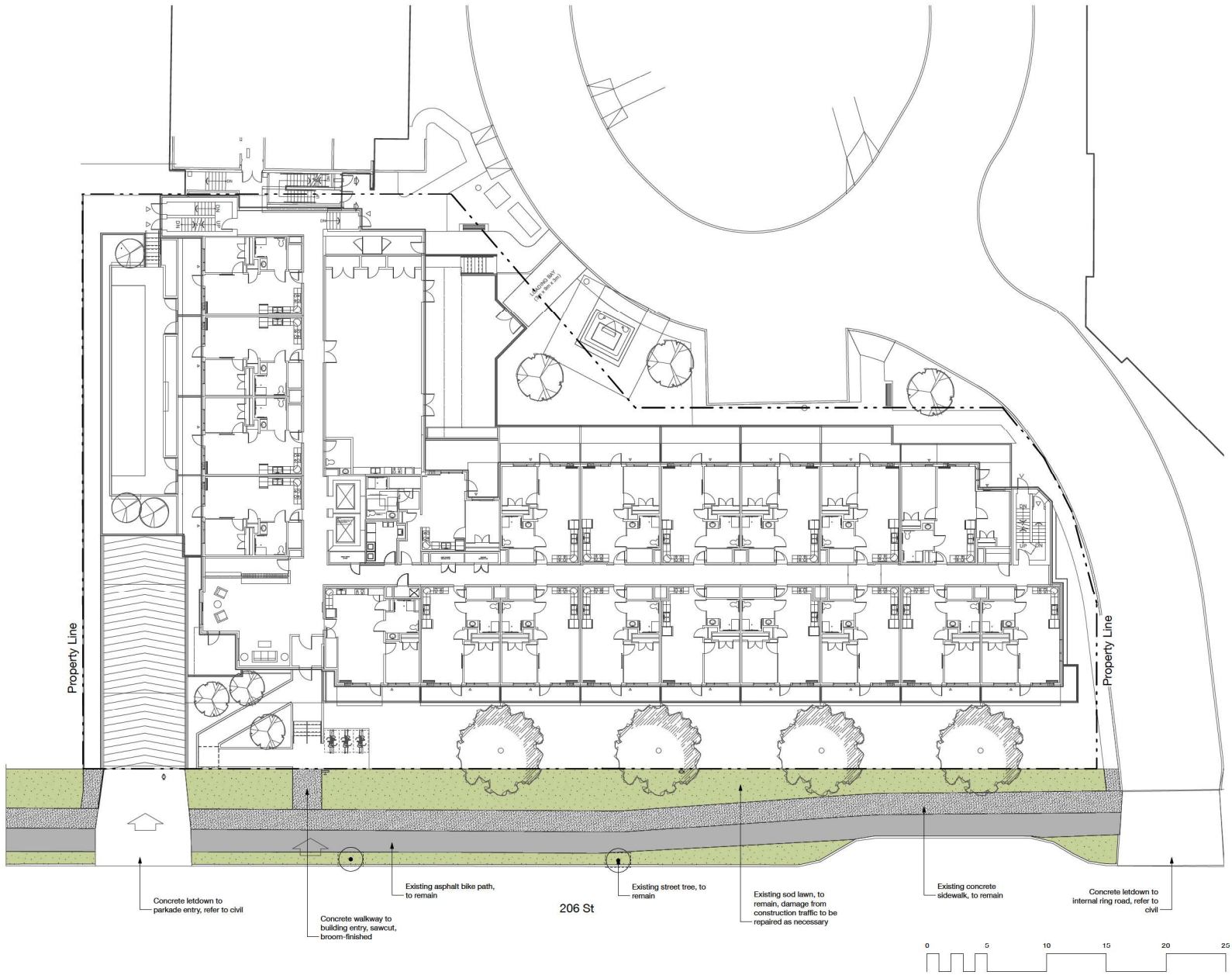
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Alder Replacement**
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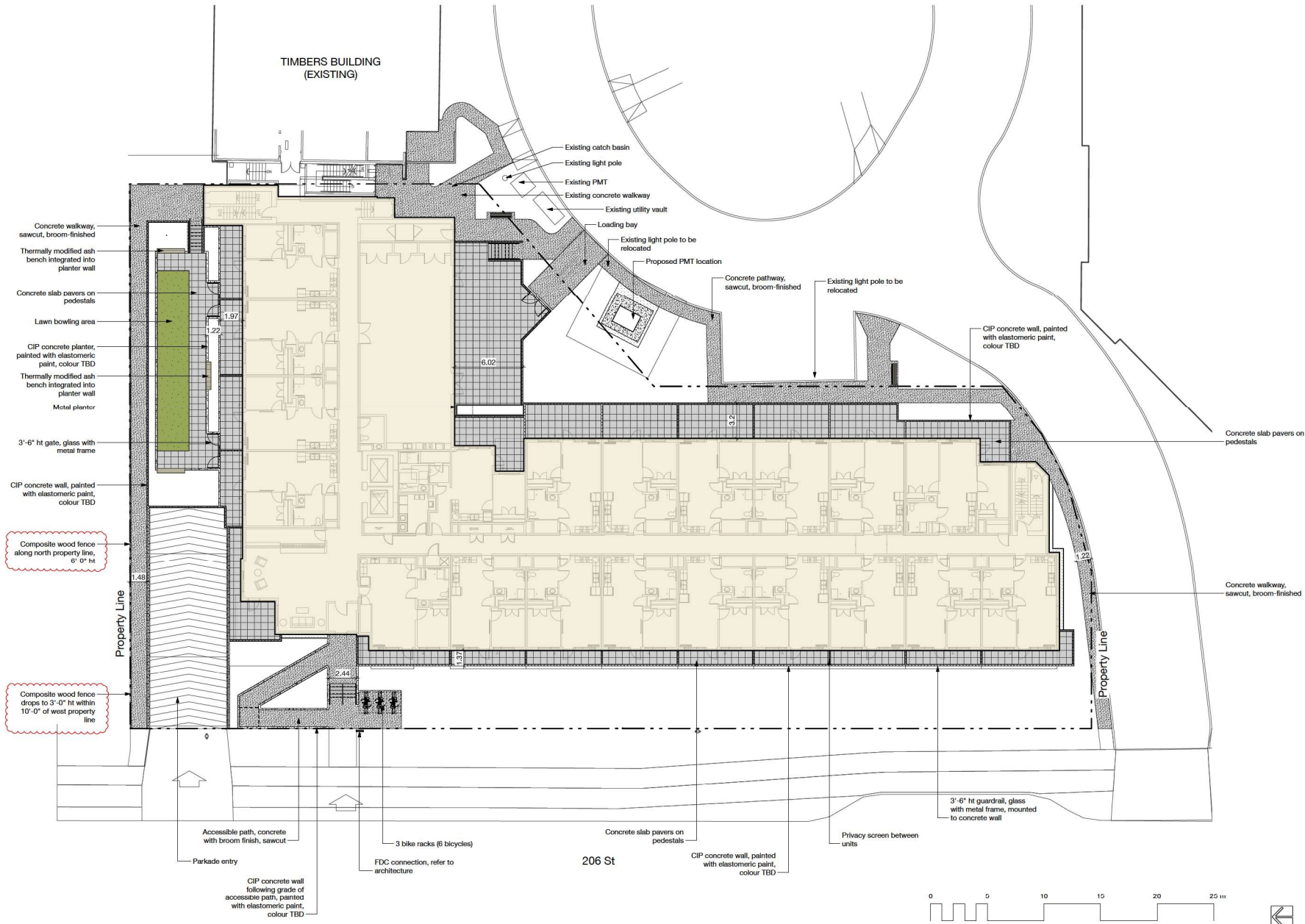
Drawing Title
Offsite Plan

Legend

Project Manager M.S.	Project ID 22517
Drawn By As Noted	Scale As Noted
Reviewed By	Checked By

L2.0
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19





Revision
No. Date Revision Notes

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Issue
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2025-05-14

455

DAVID JAMES TAYLOR

LANDSCAPE ARCHITECT

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Alder Replacement**

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Langley, BC

Drawing Title

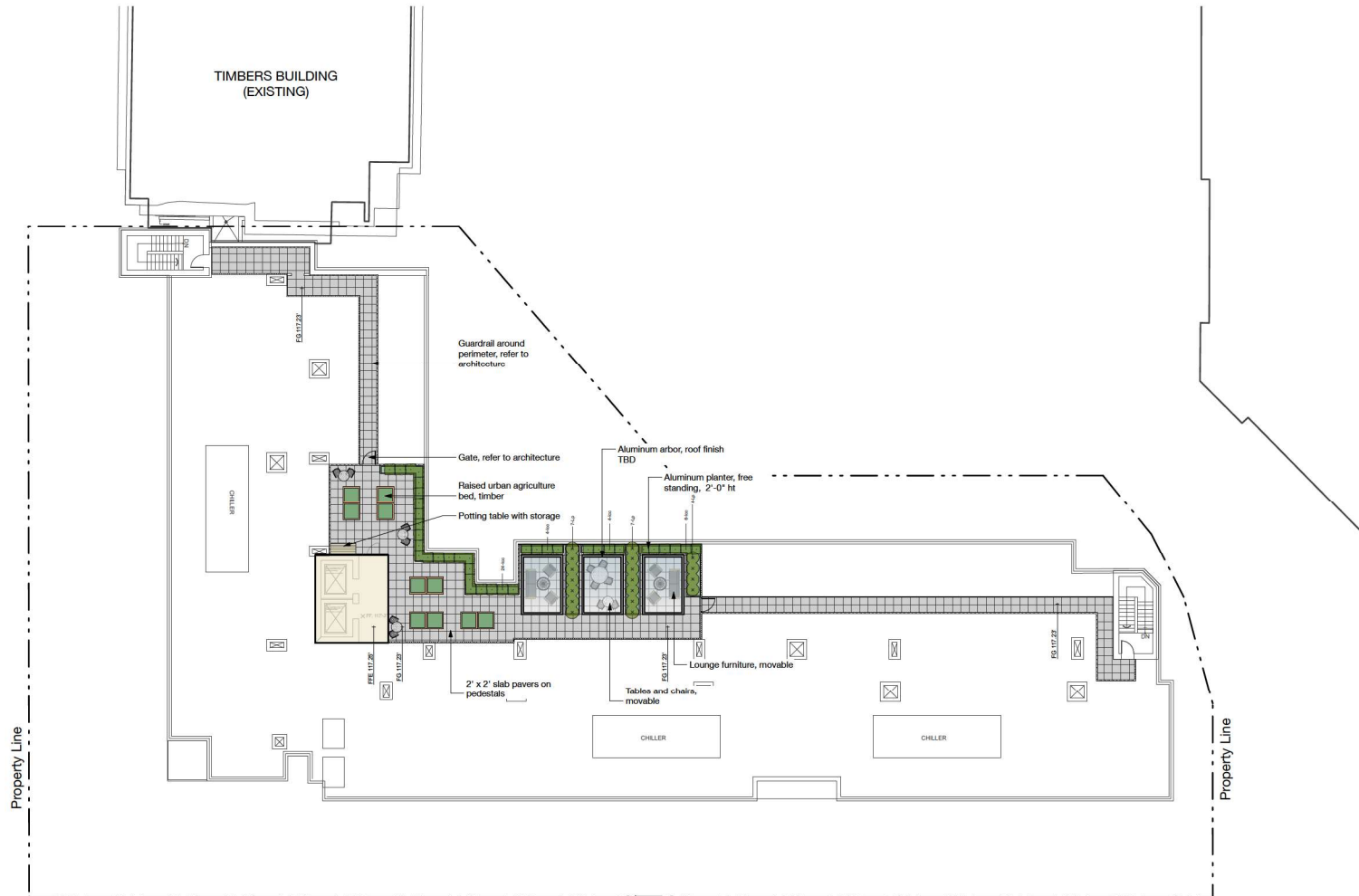
**Landscape Materials
Plan**

Legend

Project Manager	Project ID
M3	22517
Drawn By	Scale
Reviewed By	As Noted

L3.0

9 of 19



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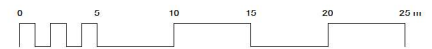
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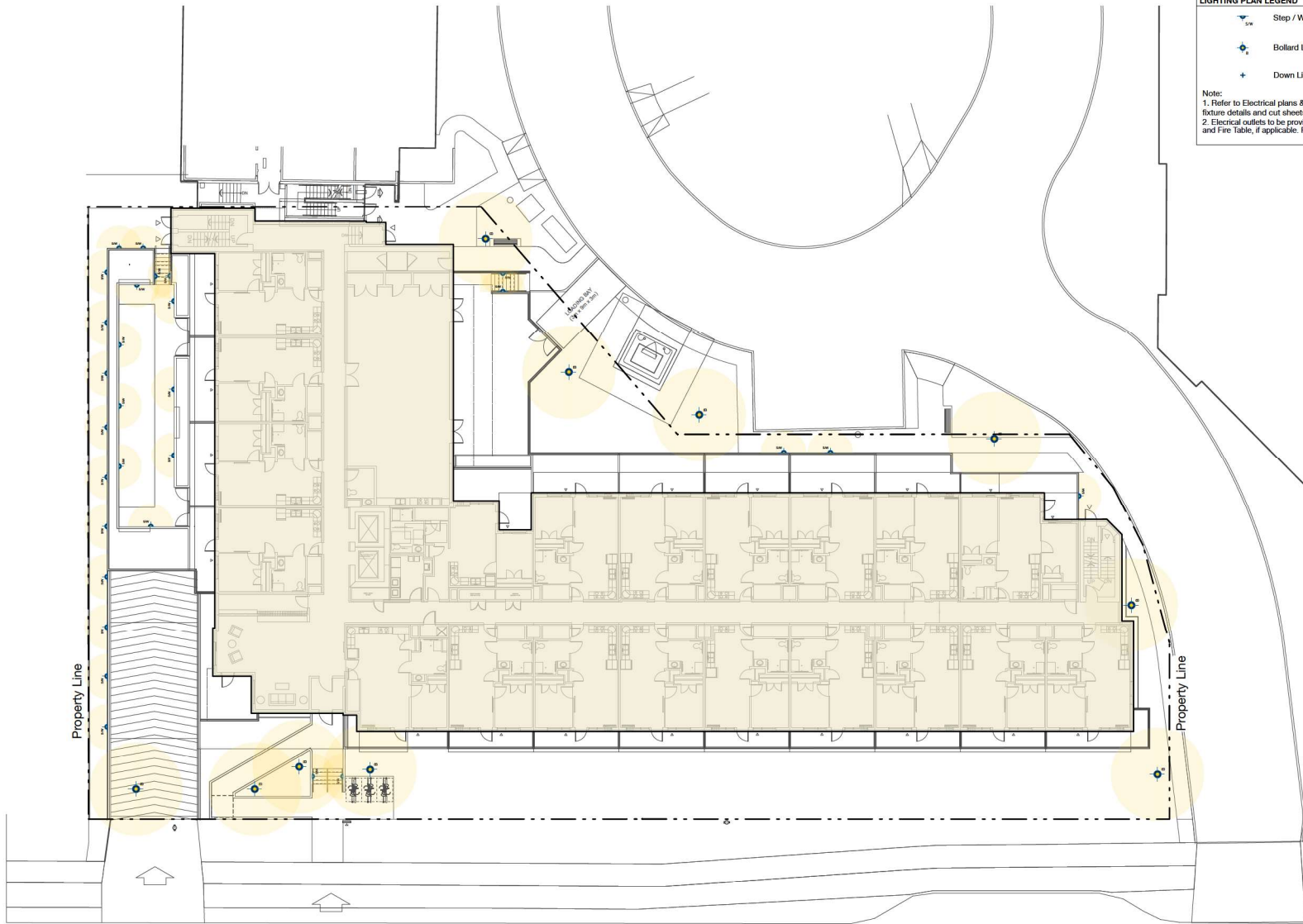
Drawing Title
**Landscape Plan -
Roof**

Legal

Project Manager	Project ID
MJ	22517
Drawn By	Scale
As Noted	As Noted
Reviewed By	Reviewed By

L3.1
7
19





LIGHTING PLAN LEGEND

 Step / Wall Light

 Bollard Light

 Down Light

Note:
1. Refer to Electrical plans & specs for final locations, fixture details and cut sheets.
2. Electrical outlets to be provided for each BBQ, Trellis, and Fire Table, if applicable. Refer to Electrical.

Revision No.	Date	Revision Notes
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Rev.	Date	Issue Notes
A	2025-07-29	Issued for DP Amendment
B	2025-08-04	Re-issued for DP Amendment

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Project
Langley Lions Alder Replacement
5470 203rd Street
Langley, BC

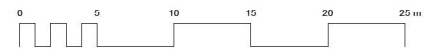
Drawing Title
Lighting Plan

Legal

Project Manager M.S.	Project ID 22517
Drawn By As Noted	Scale As Noted
Reviewed By	Drawing No. L4.0 8 of 19

206 St





Project Manager M3	Project ID 22517
Drawn By Drawn By	Scale As Noted
Reviewed by Reviewed By	Drawing no. L5.0 9 of 19

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
A 2025-07-29 Issued for DP Amendment
B 2025-08-04 Re-issued for DP Amendment

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Project

**Langley Lions
Alder Replacement**

5470 203rd Street
Langley, BC

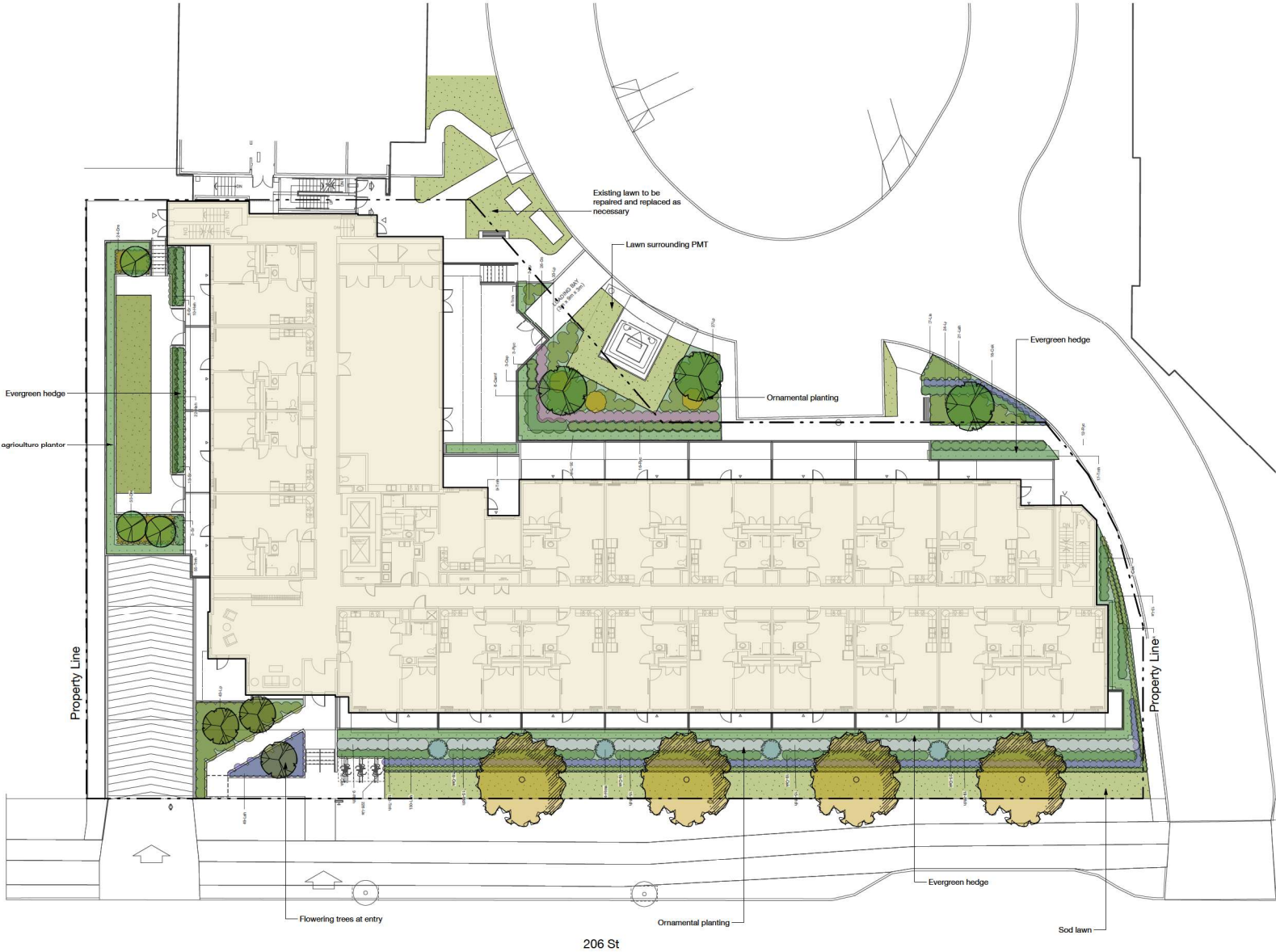
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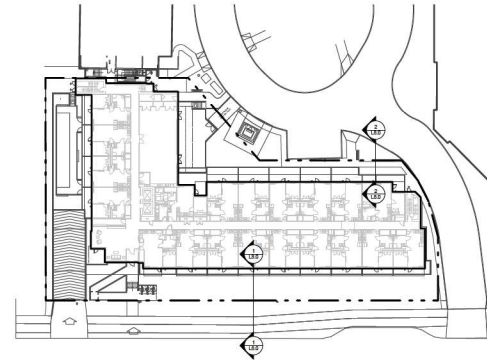
Planting Plan

Legal

Project Manager	Project ID
MJ	22517
Drawn By	Scale
As Noted	As Noted
Reviewed By	Reviewed By

L6.0
10
19





Revision No.	Date	Revision Notes
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Project

Langley Lions Alder Replacement

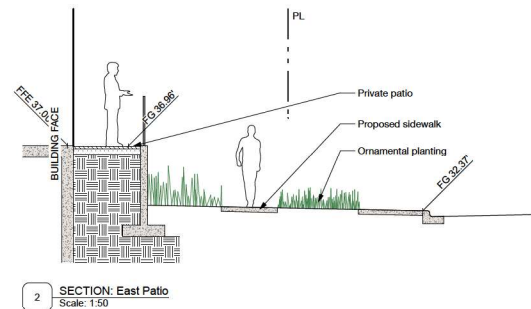
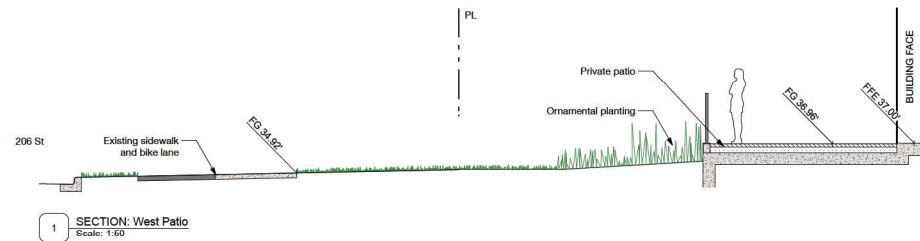
5470 203rd Street
Langley, BC

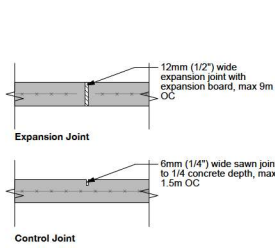
Drawing Title

Landscape Sections & Elevations

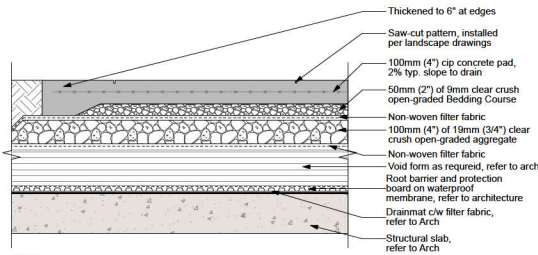
Legal

Project Manager M.S.	Project ID 22517
Drawn By Reviewed By	Scale As Noted
	L8.0 12 of 19

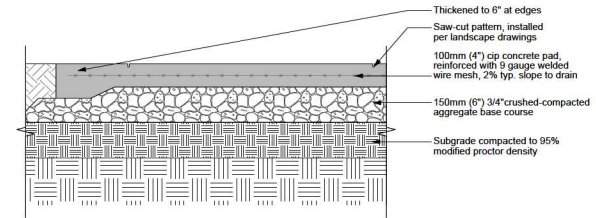




1 DETAIL: CIP Concrete on Slab
Scale: 1:10

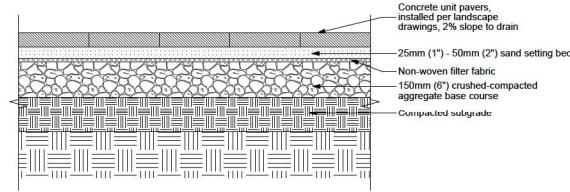


NOTE:
-Saw-cuts to be installed per layout plan, completed within 24hrs of pouring the slab
-Control joints to be 1/4 slab depth
-Control joints max 3m OC, as per MMCD
-Expansion joints to be max 9m OC as per MMCD
-Concrete to be broom-finished unless otherwise noted

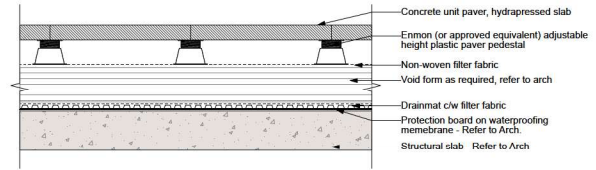


NOTE:
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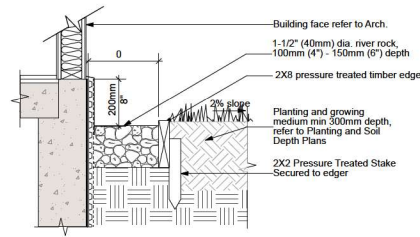
2 DETAIL: CIP Concrete on Grade
Scale: 1:10



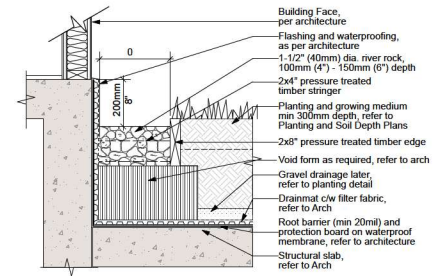
3 DETAIL: Unit Pavers on Grade
Scale: 1:10



4 DETAIL: Slab Pavers on Pedestal
Scale: 1:10



5 DETAIL: Drip Strip on Grade
Scale: 1:10



6 DETAIL: Drip Strip on Slab
Scale: 1:10

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	2025-07-29	Issued for CP Amendment
B	2025-09-04	Re-issued for CP Amendment

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Project

**Langley Lions
Alder Replacement**

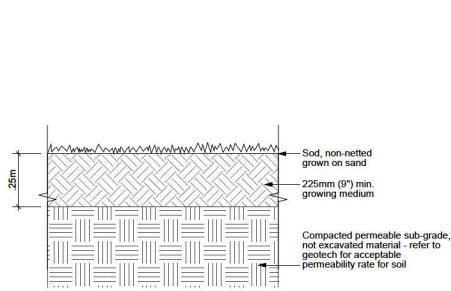
5470 203rd Street
Langley, BC

Drawing Title

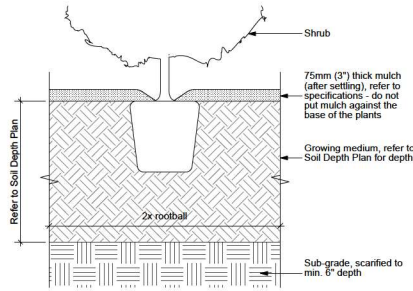
Details

Legal

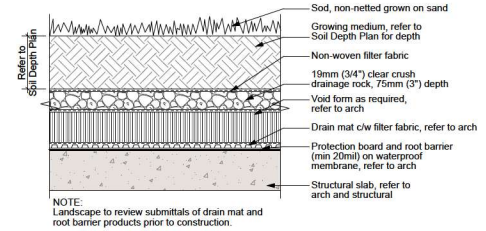
Project Manager MJ	Project ID 23517
Drawn By [Signature]	Scale As Noted
Reviewed By [Signature]	Issued For L9.1
	19 of 19



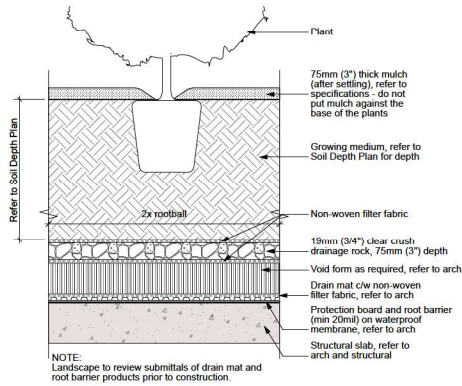
1 DETAIL: Sod on Grade
Scale: 1:10



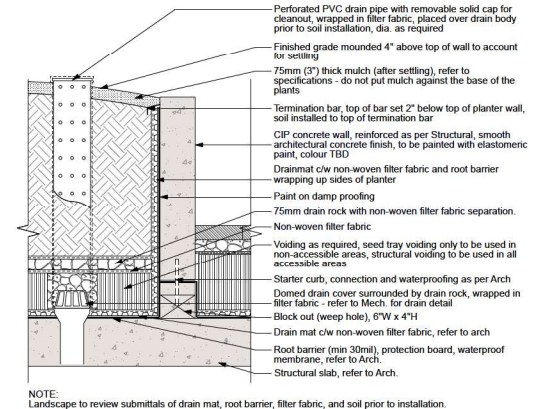
2 DETAIL: Plant on Grade
Scale: 1:10



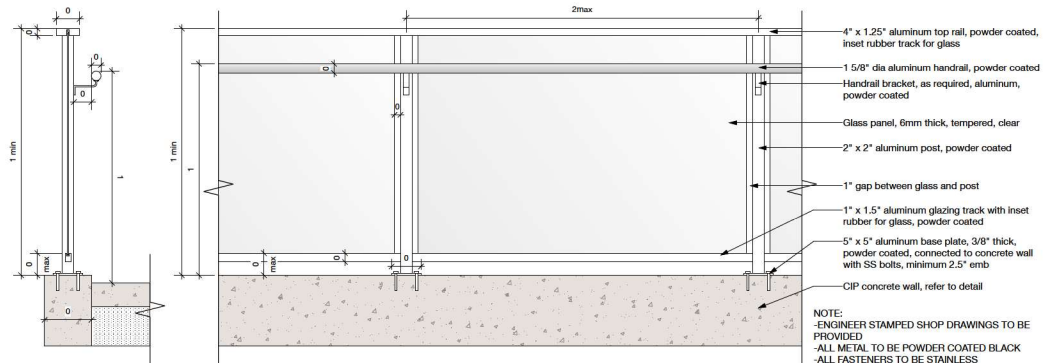
3 DETAIL: Sod on Slab
Scale: 1:10



4 DETAIL: Plant on Slab
Scale: 1:10



5 DETAIL: Concrete Planter on Slab
Scale: 1:10



6 DETAIL: Metal and Glass Guardrail
Scale: 1:10

Revision No.	Date	Revision Notes
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Project

Langley Lions
Alder Replacement

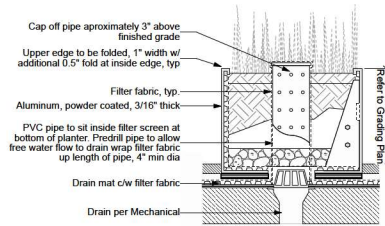
5470 203rd Street
Langley, BC

Drawing Title

Details

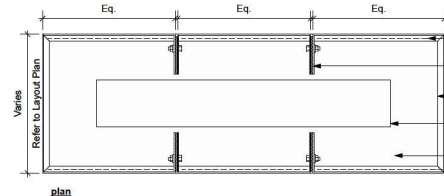
Legend

Project Manager M3	Project ID 22517
Drawn By As Noted	Scale As Noted
Reviewed By	Issued By L9.2
	14
	19



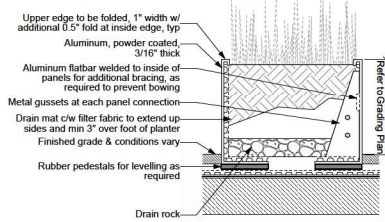
section w/ drain

Notes:
-Shop drawings to be provided for Landscape review prior to construction.



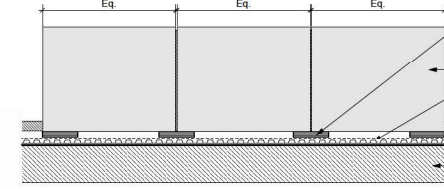
plan

Aluminum flatbar welded to inside of panels for additional bracing, as required to prevent bowing
Metal gussets at each panel connection
Fold 1\"/>



section

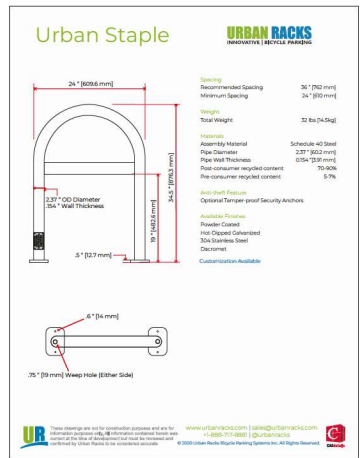
Notes:
-Shop drawings to be provided for Landscape review prior to construction.



elevation

Rubber pedestals as required for leveling
Aluminum, powder coated, 3/16\"/>

1 DETAIL: Metal Planter
Scale: 1:10



2 DETAIL: Bike Rack
Scale: Actual Size



3 DETAIL: Bench
Scale: Actual Size

Revision No.	Date	Revision Notes
--------------	------	----------------

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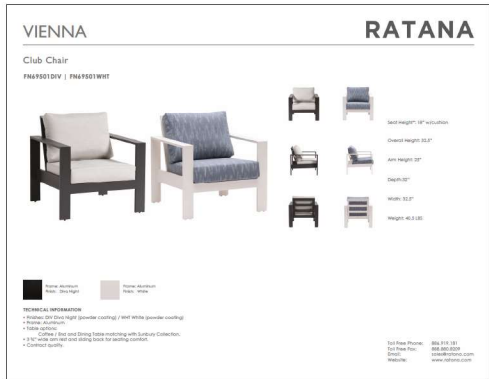
Project
Langley Lions
Alder Replacement
5470 203rd Street
Langley, BC

Drawing Title
Details

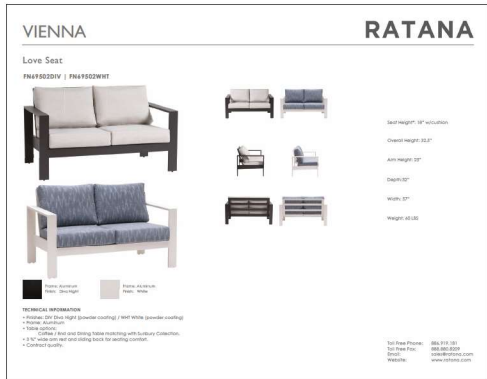
Legend

Project Manager MS	Project ID 22517
Drawn By As Noted	Scale As Noted
Reviewed By	Reviewed By

L9.3
19
19



1 DETAIL: Lounge Chair
Scale: Actual Size



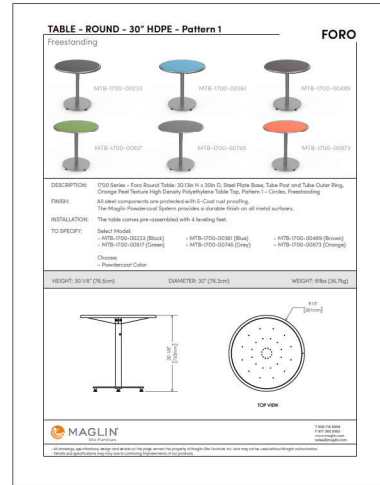
2 DETAIL: Lounge Couch
Scale: Actual Size



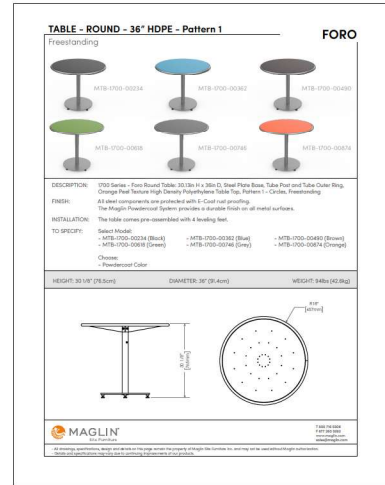
3 DETAIL: Coffee Table
Scale: Actual Size



4 DETAIL: Chair
Scale: Actual Size



5 DETAIL: Small Table
Scale: Actual Size



6 DETAIL: Large Table
Scale: Actual Size

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
A 2025-07-09 Issued for LP Attachment

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Project

Langley Lions
Alder Replacement

5470 203rd Street
Langley, BC

Drawing Title

Details

Legend

Project Manager MS	Project ID 22517
Drawn By MS	Scale As Noted
Reviewed By MS	Reviewed By L9.4
	19
	19